

Development Expectations

Information Sheet



What is the purpose of this information sheet?

The purpose of this information sheet is to outline Council's expectations for multi-unit (townhouse) developments within the City. It also serves to highlight common issues which may delay the issue of a Statement of Compliance (where relevant) pursuant to Section 21 of the *Subdivision Act 1988*.

Not all aspects of this fact sheet may be relevant to each development. Any questions should be directed to Council's Urban Planning Department via the contact details on the next page.

When should landscaping be completed?

Landscaping plays an important role in the urban environment, with greening often used to soften a new development and assist with integrating new buildings into the streetscape.

Council expects that that all landscaping is completed prior to the issue of Statement of Compliance and/or issue of a Certificate of Occupancy (whichever occurs first).

This requirement may be varied by Council's Urban Planning Department where a development is nearing completion during the hotter summer months where establishing landscaping is more difficult. Where a variation is granted it may require the lodgement of a landscaping bond, which will be returned once landscaping is satisfactorily completed.

Most developments will have an approved landscape plan as part of the town planning process. Should you seek to vary the landscape plan (i.e. by including more hard surfaces or by substituting plant species) you must seek prior written consent from Council's Urban Planning Department.

Does Council allow artificial grass/turf?

Council will not generally allow artificial grass/turf within a development.

Artificial grass is made from petrochemicals which can leach micro-plastics into urban waterways, which ultimately end up in Port Phillip Bay. Artificial turf/grass retains heat during summer and makes it more difficult for water to permeate into the soil. It reduces flora for native birds and bees in urban environments.

Unlike natural plantings, artificial grass/turf generally requires replacement every 10-15 years with old artificial grass/turf ending up in landfill.

If your approved landscape plan shows grass, Council suggests a drought tolerant species such as Kikuyu, Couch or Buffalo Grass.

Should you wish to amend your landscape plan to a more drought tolerant palette (i.e. native shrubs or succulents), you'll need prior written permission from Council's Urban Planning Department.

Where should drainage pits and other storm water infrastructure be installed?

You will generally need approval from Council's Drainage Engineers to connect into the Council drainage network (legal point of discharge).

It is your responsibility to ensure that drainage, stormwater and similar infrastructure is not placed in areas shown as 'landscaped/landscaping' on approved town planning drawings. Instead, such infrastructure should be placed in paved areas such as driveways and/or pathways.

Should you need to amend your landscape plan to accommodate drainage infrastructure you'll need prior written permission from Council's Urban Planning Department.

Where should fire hydrants, boosters and other fire suppression infrastructure be located?

In larger developments or developments which include a basement, Fire Rescue Victoria (FRV) may require fire hydrants, boosters or similar infrastructure.

FRV generally requires this infrastructure to be located close to the front property boundary for easy access in the case of an emergency. If properly designed, this infrastructure can be an attractive feature of a development.

While a necessary component of some developments, the location must be approved by Council and shown on all relevant town planning drawings.

If your Fire Engineer or FRV advises that such infrastructure is required (and is not already shown on your approved/endorsed town planning drawings) you should speak with Council's Urban Planning Department as soon as possible to determine an appropriate location.

Failure to consult with Council prior to construction commencing may result in costly relocations.

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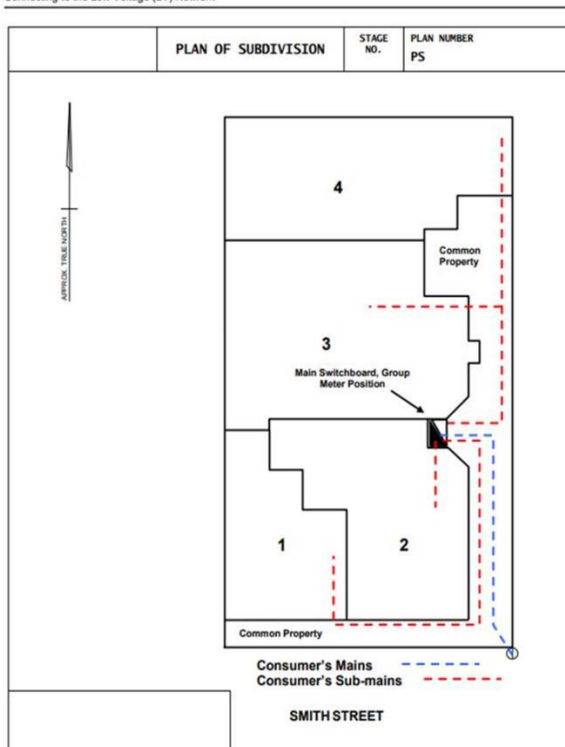


Where should electrical meterboxes (and similar) be placed?

Electrical meterboxes including the main distribution point, should be located out of the front setback and integrated within the development.

Meterboxes located near the front property boundary and within the front setback **are not acceptable locations**.

Connecting to the Low Voltage (LV) Network



Source: Page 152 of 256 of the Victorian Service and Installation Rules | Victorian Electricity Distributors.

This expectation for appropriate meterbox locations are in general accordance with the Victorian Service & Installation Rules for multi occupancy developments and electricity distributors (Jemena or Powercor).

Where a development has a communal driveway any common electrical meterboxes should be placed adjacent the side wall of the front dwelling. Electrical meterboxes placed adjacent the footpath may obstruct vehicles entering/exiting the site and create an unacceptable visual intrusion into the streetscape.

Where each dwelling faces the street (i.e. a side-by-side 'dual-occupancy') electricity meters should be placed adjacent the front door of each dwelling.

Electrical meterboxes placed adjacent the footpath may obstruct vehicles entering/exiting the site and create an unacceptable visual intrusion into the streetscape.

If a communal electrical meterbox is placed adjacent or at the front of the property Council may not issue a Statement of Compliance, delaying settlement of the property and costing significant amounts to rectify.

If you wish to change the location of the electrical meterbox, water meters and/or gas meters please seek prior written permission from Council's Urban Planning Department.

Can I appeal a decision?

Planning appeals are ordinarily made to the Victorian Civil and Administrative Tribunal (VCAT).

You should seek your own town planning and/or legal advice before deciding whether to appeal a decision.

What if my development doesn't comply?

While not Council's preferred approach, failure to comply with the requirements of your approved town planning permit/endorsed plans may lead to fines, enforcement through VCAT and/or the Courts.

Need further information?

Should you have questions relating to this information sheet or the specific requirements of your development please contact Council's Urban Planning Department on (03) 9688 0200 during business hours or email; urbanplanning@maribyrnong.vic.gov.au

Need help contacting us?

Interpreting Services

The free Telephone Interpreting Service (TIS) is available by calling 131 450, and ask the service operator to contact Maribyrnong City Council on 9688 0200.

Deaf, speech or hearing impaired

Contact Council through the National Relay Service using one of the methods below. Once you are connected ask for 9688 0200.

- TTY users: 133 677
- Speak and Listen: 1300 555 727 (speech to speech users)

These services are free to use.

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Image 1 – integrated into side wall of development
✓ Acceptable location for electrical meterbox



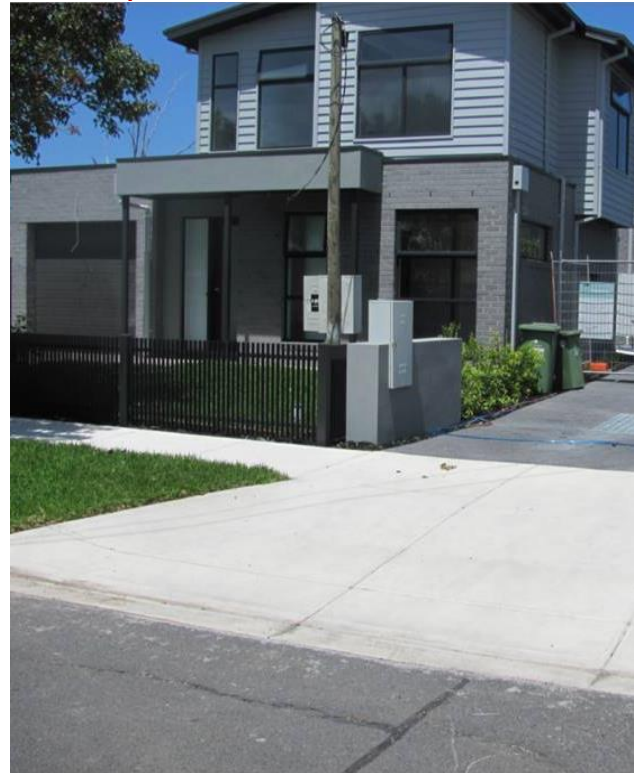
Image 2 – high structure in front setback
✗ Unacceptable location for electrical meterbox



Image 3 – setback and integrated into fence
✓ Acceptable location for electrical meterbox



Image 4 – blocking view of footpath for exiting vehicles
✗ Unacceptable location for electrical meterbox



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Image 3 - integrated into side wall of development
✓ **Acceptable location for fire hydrant/booster**



Image 4 – standalone structure in front setback
✗ **Unacceptable location for fire hydrant/booster**



Image 5 – natural and drought tolerance planting
✓ **Acceptable landscaping**



Image 6 – artificial grass with no canopy tree
✗ **Unacceptable landscaping**

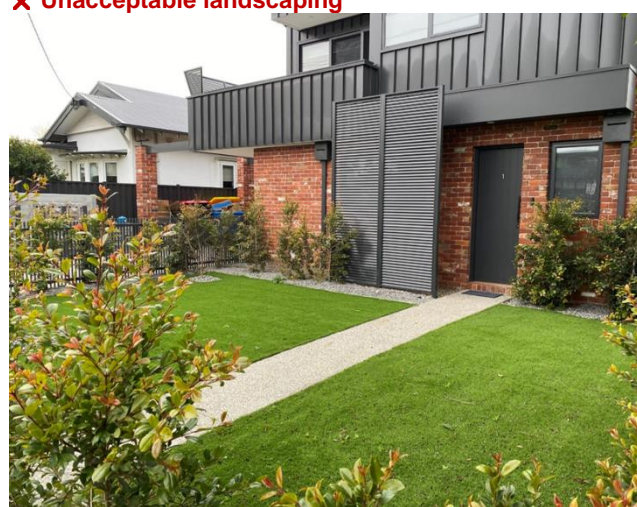


Image 7 - natural and drought tolerance planting
✓ **Acceptable landscaping**



Image 8 - artificial grass with no canopy tree
✗ **Unacceptable landscaping**

