

Res Code - Clause 55

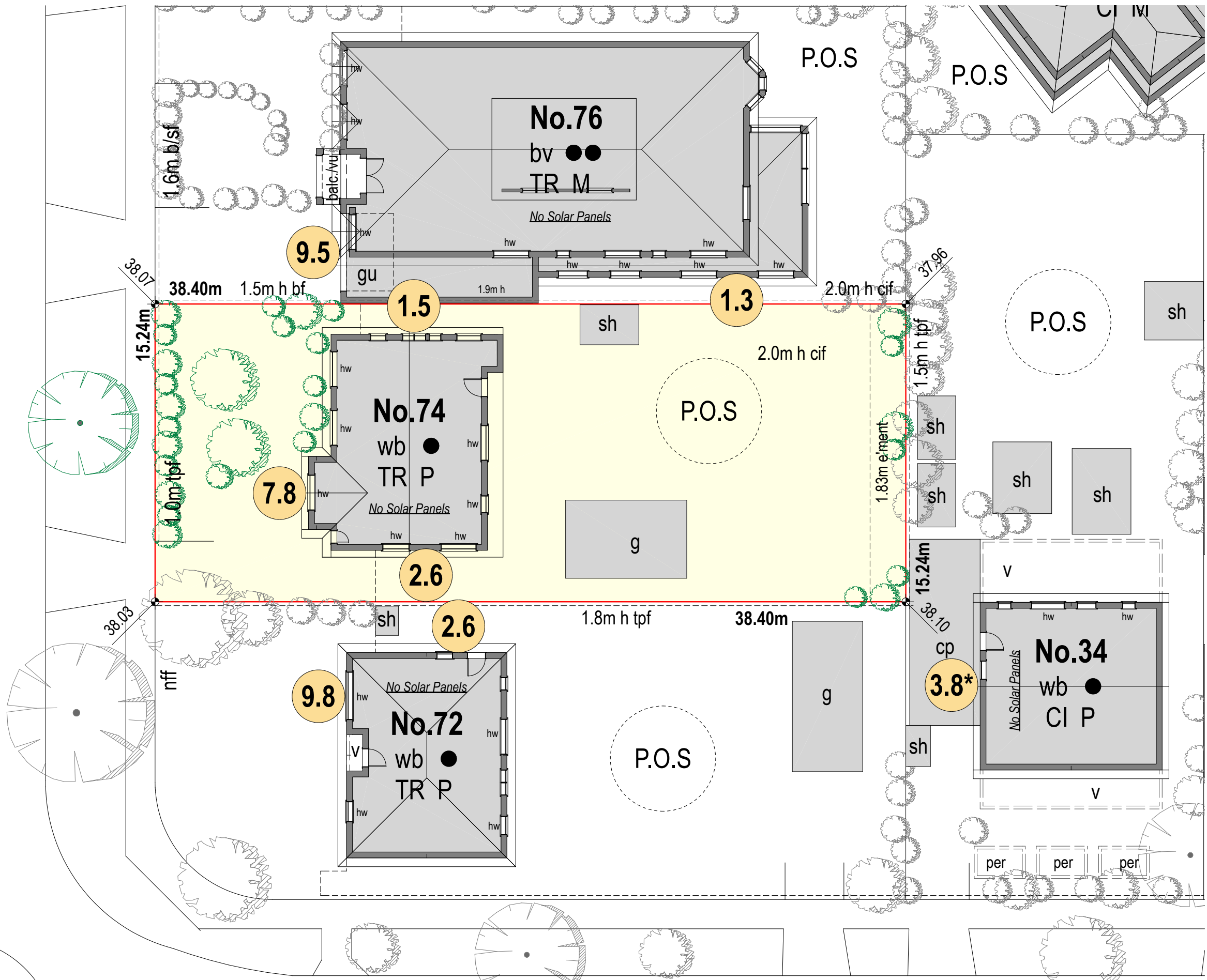
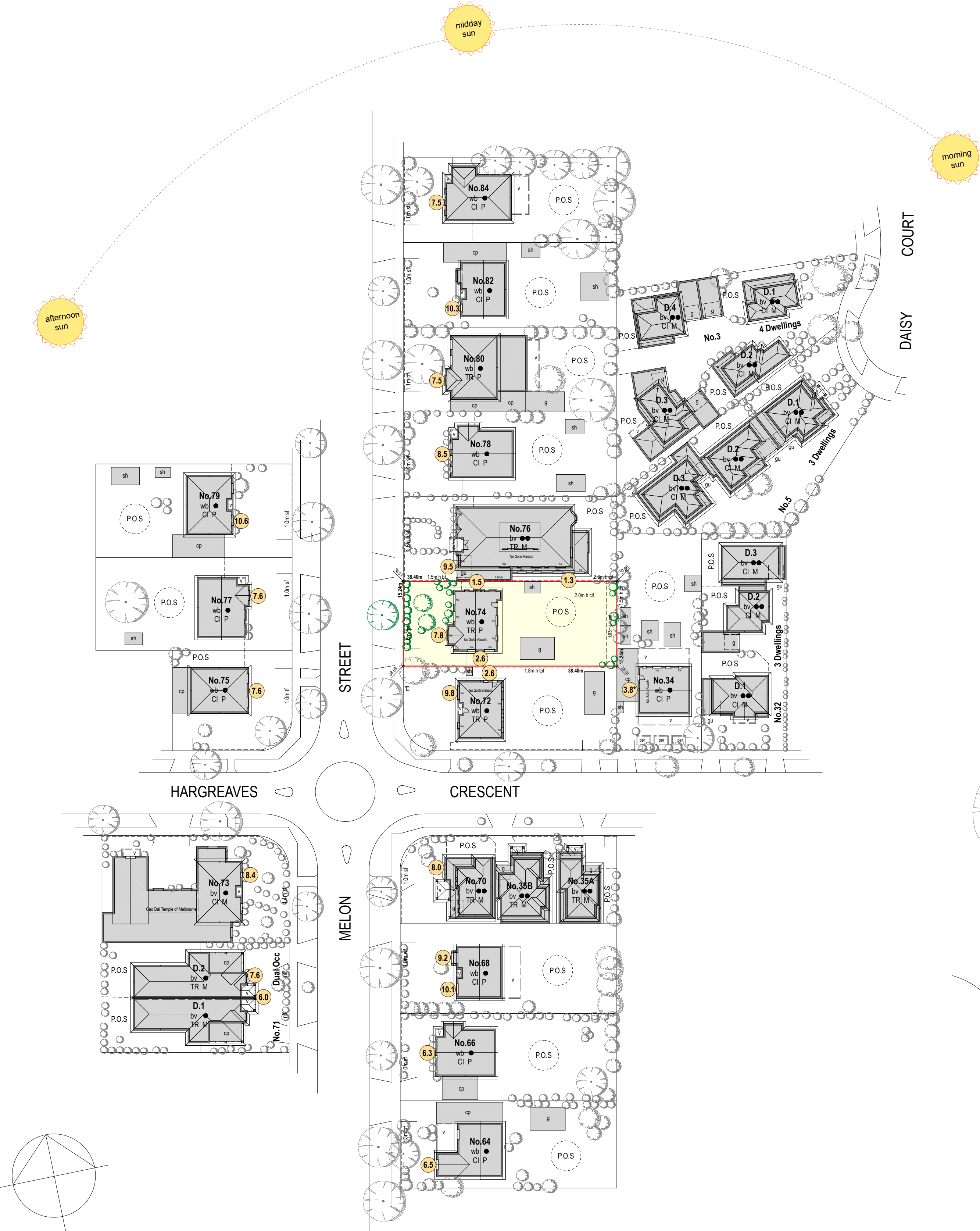
NEIGHBOURHOOD AND SITE DESCRIPTION PLAN

CITY OF MARIBYRNONG
RECEIVED
03/02/2025
URBAN PLANNING

CITY OF MARIBYRNONG
ADVERTISED PLAN



STREETSCAPE VIEW OF THE SITE



Site 1:250

Approx. 110mm Landfall*

NEIGHBOURHOOD & SITE LEGEND

In relation to the neighbourhood

Building materials and height:

bv	Brick Veneer Construction	Single Storey
cc	Concrete Construction	2 Storey
wb	Weatherboard Construction	3 Storey
rbv	Rendered Brick Construction	
fc	Fibro Construction	
ci	Corrugated iron	

Architectural styles & roof materials:

P	Period Style	TR	Tiled Roof
M	Modern Contemporary	CI	Corrugated Iron Roof

Fencing:

cif	Corrugated iron fence	sf	Steel fence
wf	Wire fence	b/sf	Brick / steel fence
pf	Picket fence	b/lf	Brick / timber fence
bf	Solid brick fence	b/pf	Brick / picket fence
tf	Timber fence	rw	Retaining wall
tpf	Timber paling fence	nff	No front fence

Other Notable Features:

1.0	Setback from front and side boundaries	vu	Verandah Under
v	Verandah	c	Canopy
perg	Pergola	ob	Outbuilding
sh	Shed	gu	Garage Under
g	Garage	cpu	Carport Under
cp	Carport	balc	Balcony
cs	Carspace		

In relation to the site (as indicated on plan)

Approx. site area 585.29m sq.*

Site shape, orientation and easements

Levels of site and surrounding properties

Location of existing buildings on site

Location and height of walls built to the boundary

The use of surrounding buildings (residential unless otherwise indicated)

Location of trees on site

h	Habitat room windows only which have an outlook to the site within 9m
P.O.S	Secluded private open space which have an outlook to the site within 9m
Small	Small to Medium ornamental trees & shrubs
Mature	Mature significant canopy trees
R	Recently removed trees

No contaminated soils

Street frontage features

D	Drainage pit	Water valve
T	Telecommunication pit	Telstra Bollard
P	M.M.B.W. pit	Traffic Control Box
E	Electricity pit	Sanitary Sewer Manhole
U	Utility Pole	Sewer Inspection Chamber
S	Street sign	Postal Box
F	Fire hydrant	Solar Panel

Kerb crossovers as indicated

Street trees as indicated

Denotes to be confirmed by the Designer or the Owner

Notation:

[COS] Where access and visibility to adjoining properties is restricted indicatives are shown. It is recommended a site visit is carried out by the designer. This drawing should not be used as a feature survey and is intended as a neighbourhood and site description plan for town planning purposes only.

Although every endeavour has been made to provide correct dimensions and details of adjoining properties, it is policy of Site Matters that it shall not trespass unless written consent is provided. Where consent is not given, estimates are provided on plan.

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SITE MATTERS

SITE ANALYSIS CONSULTANTS

Ph. 9388 8365 Fax. 9388 8369



Proposed Unit Development

Address 74 Melon Street
Braybrook

Date May 2024

Drawn by HT

Sheet no. 1

Scale 1:500

Ref. no. 24 0408

CITY OF MARIBYRNONG
ADVERTISED PLAN

LEGEND:

Visibility plays for each driveway:
All vegetation and structures are to be less than 1m in height within 2.5 metres of the front boundary and for 2 metres along the front boundary.

EM - Electrical meter
WM - Water meter

TREE LEGEND:

Tree Protection Zone (TPZ)
Structural Root Zone (SRZ)

PROPOSED GROUND FLOOR PLAN SCALE 1:100

SCALE
1 0 1 2 3 4
LENGTHS ARE IN METRES

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PROJECT DETAILS
Proposed two town houses on one lot
No. 74 Melon St Braybrook

CLIENT DETAILS
Julia Nguyen

DRAWING TITLE
Ground floor plan

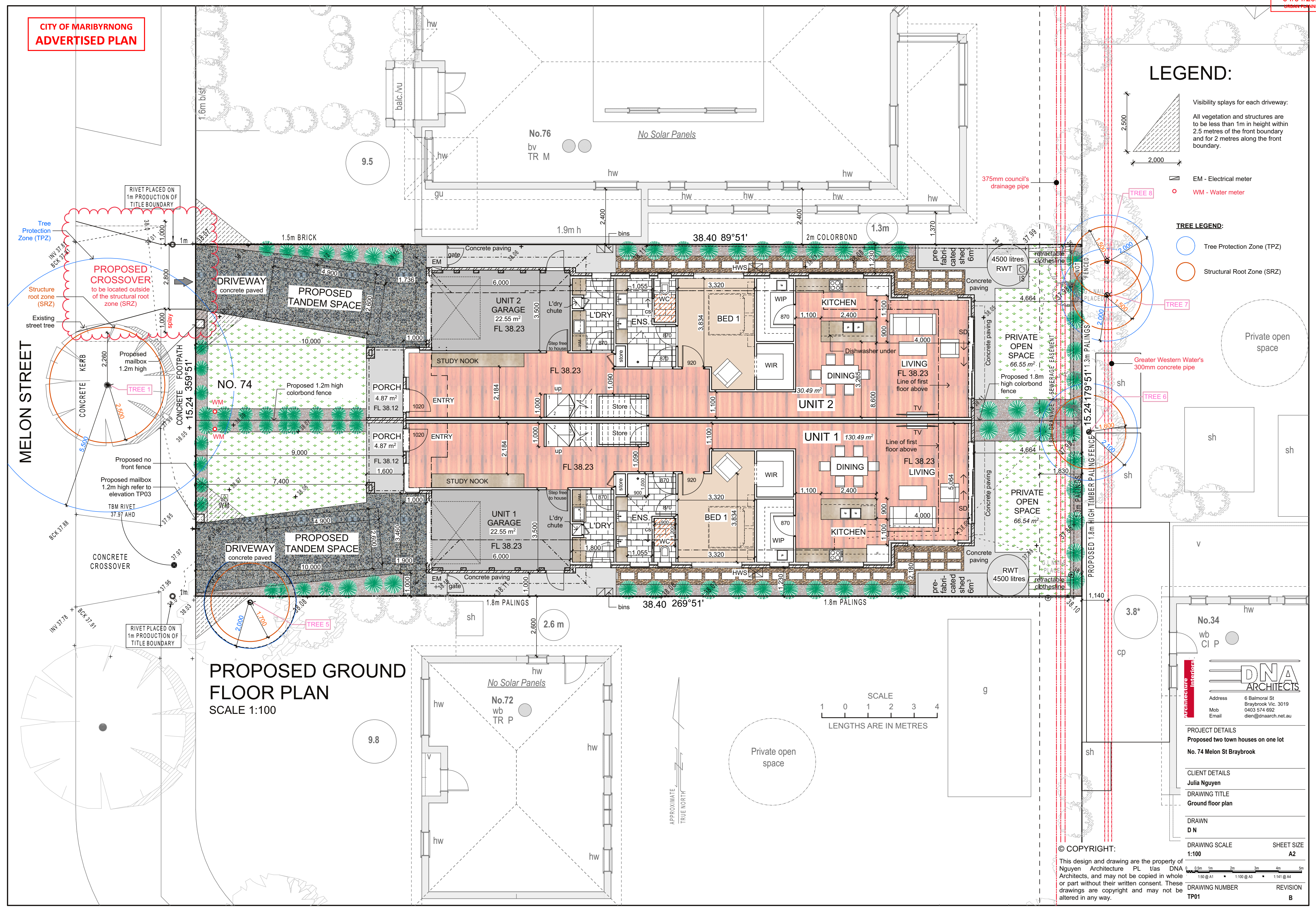
DRAWN
DN

DRAWING SCALE
1:100

SHEET SIZE
A2

DRAWING NUMBER
TP01

REVISION
B



MELON STREET

PROPOSED FIRST
FLOOR PLAN
SCALE 1:100



No.34
wb
CI P

DNA
ARCHITECTS

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Email dien@dnaarch.net.au

PROJECT DETAILS
Proposed two town houses on one lot
No. 74 Melon St Braybrook

CLIENT DETAILS
Julia Nguyen

DRAWING TITLE
First floor plan

DRAWN
D N

DRAWING SCALE
1:100

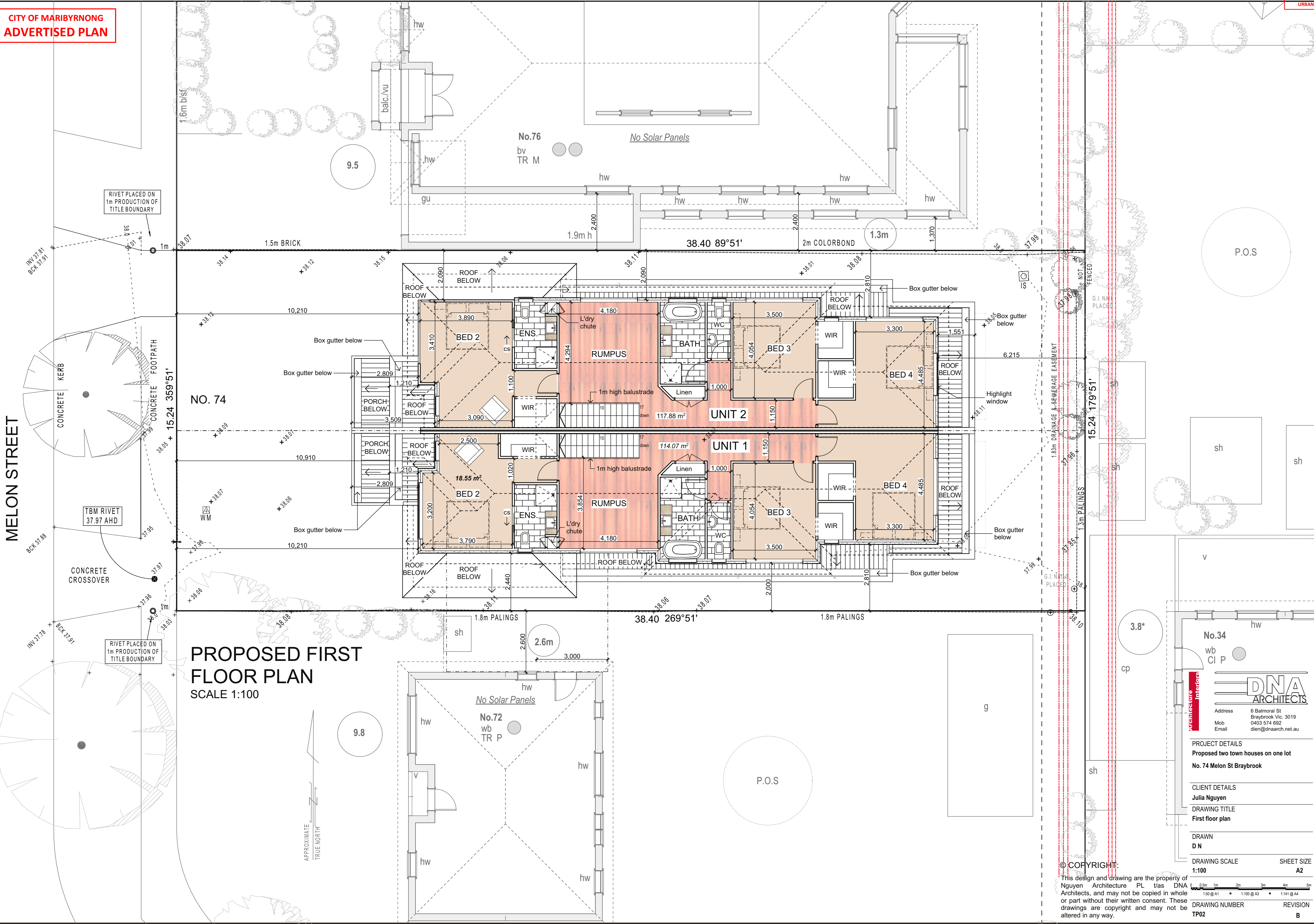
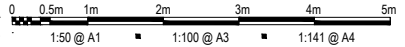
SHEET SIZE
A2

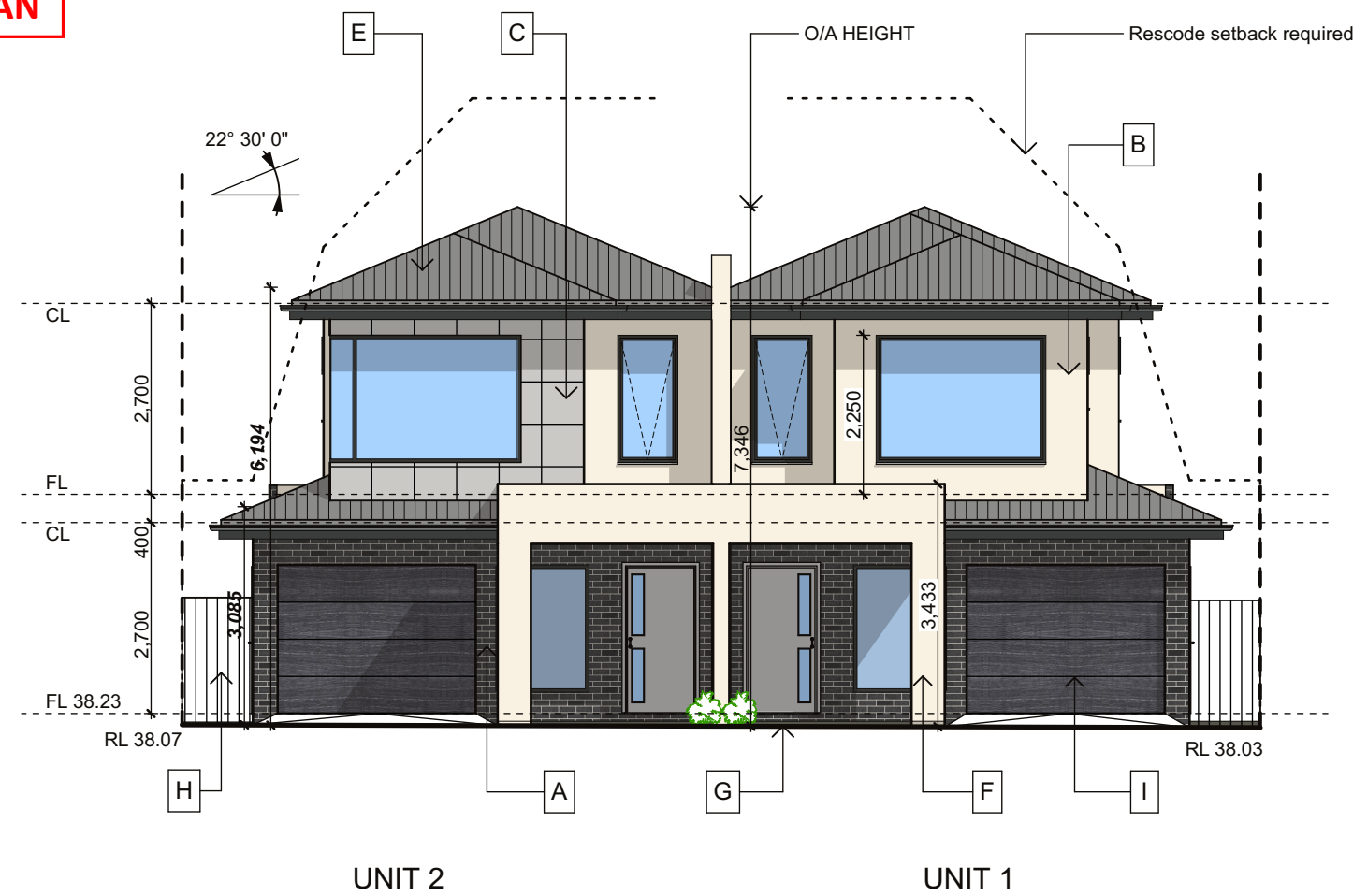
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TP02

REVISION
B

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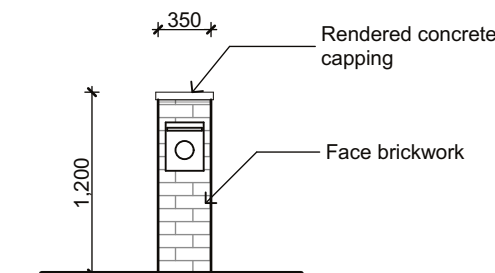




WEST ELEVATION - FRONT
SCALE 1:100

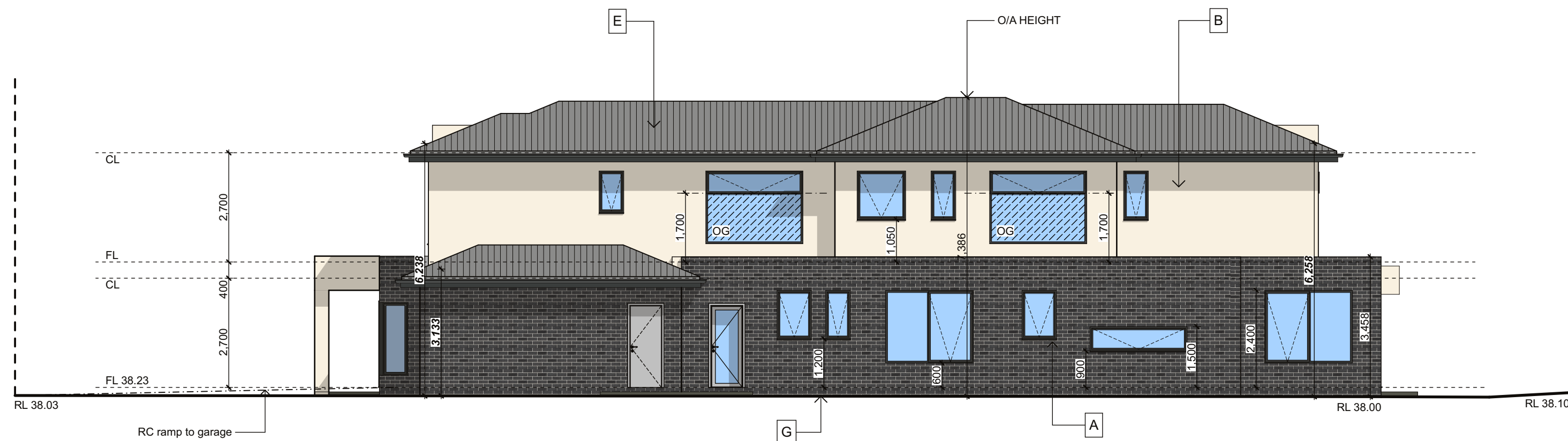
- LEGEND:**
- A FACE BRICK WORK
 - B POLYSTYRENE PANEL CLADDING TO STUDWALL TO BE PAINTED
 - C SCYON MATRIX CLADDING TO WALLS TO BE PAINTED
 - D WALL BUILT ON BOUNDARY
 - E COLORBOND ROOF - PITCH AS SHOWN
 - F RENDERED TO PORCH AND CANOPY
 - G NATURAL GROUND LINE
 - H PROPOSED 1.8M HIGH TIMBER PALING FENCE
 - XXXX GROUND FLOOR AND FIRST FLOOR WALL HEIGHTS TO BE SHOWN IN *ITALIC*
 - OG OBSCURED GLAZING TO BE FITTED TO WINDOW
 - I PROPOSED TIMBER LOOK STEEL GARAGE DOOR

AREA ANALYSIS			
Unit		Area (m2)	
1	Site area	585.29	Site coverage = 54%
	U1 - Ground Floor	130.49	
	U1 - Porch	4.87	Impervious area
	U1 First floor	114.07	percentage = 72.3%
	U1 Garage	22.55	
2	U1 Open Space	66.54	Garden area = 33%
	U2 - Ground Floor	130.49	
	U2 - Porch	4.87	
	U2 First floor	117.88	
	U2 Garage	22.55	
	U2 Open Space	66.55	



MAIL BOX ELEVATION
SCALE 1:50

NOTE: MAIL BOXES FOR UNIT 1 AND UNIT 2 ARE IDENTICAL



SOUTH ELEVATION - UNIT 1
SCALE 1:100

DNA ARCHITECTS
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Email dien@dnaarch.net.au

PROJECT DETAILS
Proposed two town houses on one lot
No. 74 Melon St Braybrook

CLIENT DETAILS
Julia Nguyen
DRAWING TITLE
Elevations

DRAWN
D N

DRAWING SCALE 1:1, 1:100, 1:50
SHEET SIZE A2

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DRAWING NUMBER TP03
REVISION B



LEGEND:

- A FACE BRICK WORK
- B POLYSTYRENE PANEL CLADDING TO STUDWALL TO BE PAINTED
- C SCYON MATRIX CLADDING TO WALLS TO BE PAINTED
- D WALL BUILT ON BOUNDARY
- E COLORBOND ROOF - PITCH AS SHOWN
- F RENDERED TO PORCH AND CANOPY
- G NATURAL GROUND LINE
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- OG OBSCURED GLAZING TO BE FITTED TO WINDOW

UNIT 1 UNIT 2
EAST ELEVATION - REAR
SCALE 1:100



NORTH ELEVATION - UNIT 2
SCALE 1:100

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CITY OF MARIBYRNONG
ADVERTISED PLAN

IMPERVIOUS AREAS

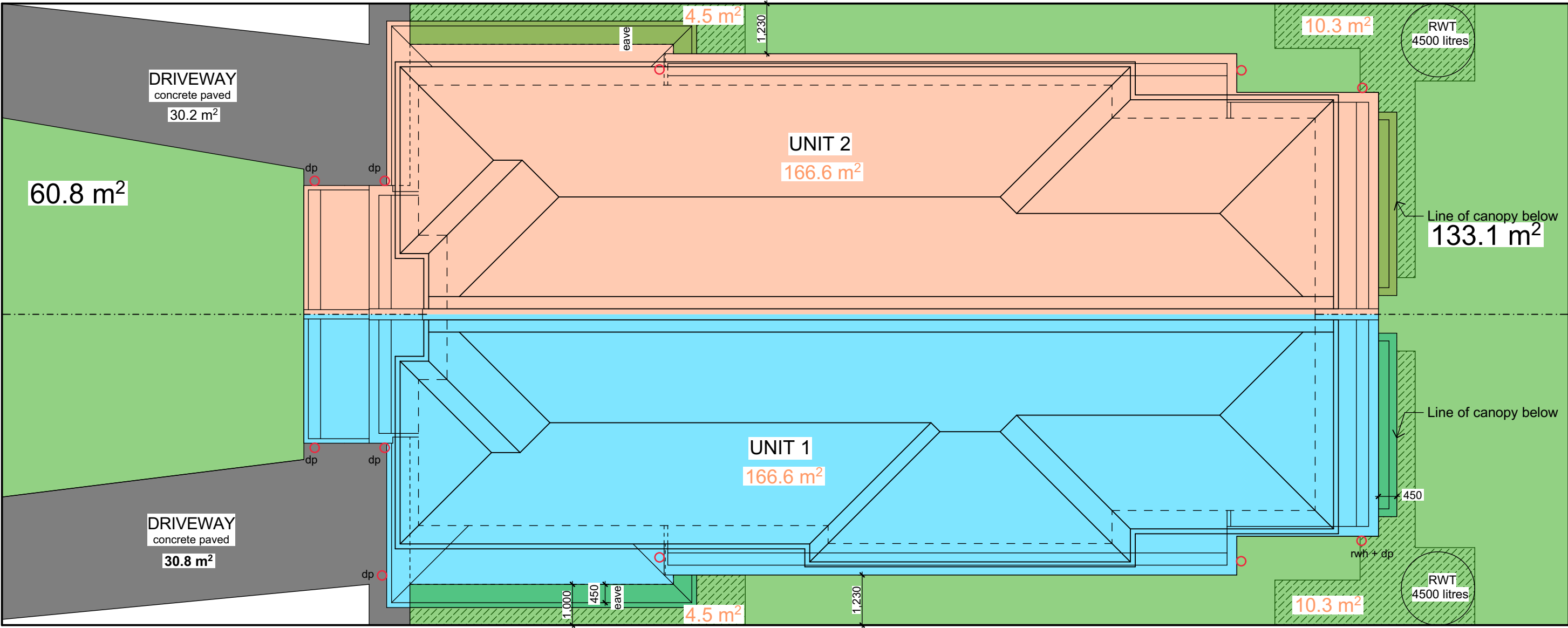
UNIT 2
TREATMENT AREAS

	LEGEND	CATCHMENT AREAS
ROOF TO RAIN TANK	<div></div>	166.60M ²
TOTAL ROOF CATCHMENT AREA		166.60M ²
THIS TOTAL ROOF AREAS WERE TREATED BY 4500L RAIN WATER TANK.		

UNIT 2
UN-TREATMENT AREAS

	LEGEND	
CONCRETE PATH	<div></div>	14.80M ²
DRIVEWAY	<div></div>	30.2M ²
TOTAL UN-TREATMENT AREA		45M ²

SITE AREA = 585.29M²
REQUIRED GARDEN AREA PERCENTAGE = 30%
THEREFORE REQUIRED GARDEN AREA = 175.587M²
PROVIDED GARDEN AREA = (60.76m² + 133.10m²) = 193.86M²
PROVIDED GARDEN AREA PERCENTAGE = 33% > 30%



STORM Rating Report

TransactionID: 0
Municipality: MARIBYRNONG
Rainfall Station: MARIBYRNONG
Address: 74 Melon St

Braybrook
VIC 3019

Assessor: Dien Nguyen
Development Type: Residential - Multiunit
Allotment Site (m2): 585.29
STORM Rating %: 101

IMPERVIOUS AREAS

UNIT 1
TREATMENT AREAS

	LEGEND	CATCHMENT AREAS
ROOF TO RAIN TANK	<div></div>	166.6M ²
TOTAL ROOF CATCHMENT AREA		166.60M ²
THIS TOTAL ROOF AREAS WERE TREATED BY 4500L RAIN WATER TANK AS PER THE STORM REPORT		

UNIT 1
UN-TREATMENT AREAS

	LEGEND	
CONCRETE PATH	<div></div>	14.80M ²
DRIVEWAY	<div></div>	30.8M ²
TOTAL UN-TREATMENT AREA		45.6M ²

Collected water by the
fully charged system

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Unit 1 roof to rain water tank	166.60	Rainwater Tank	4,500.00	4	128.00	96.20
Unit 1 driveway and path	45.60	None	0.00	0	0.00	0.00
Unit 2 roof to rain water tank	166.60	Rainwater Tank	4,500.00	4	128.00	96.20
Unit 2 driveway and path	45.00	None	0.00	0	0.00	0.00

Date Generated: 04-Apr-2025

Program Version: 1.0.0

PROPOSED ROOF CATCHMENT PLAN / ROOF PLAN & GARDEN AREA
SCALE 1:100

DNA ARCHITECTS
Address: 6 Balmoral St, Braybrook Vic. 3019
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PROJECT DETAILS
Proposed two town houses on one lot
No. 74 Melon St Braybrook

CLIENT DETAILS
Julia Nguyen
DRAWING TITLE
Roof catchment plan

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DRAWING SCALE
1:100, 1:1
SHEET SIZE
A2
DRAWING NUMBER
TP05
REVISION
B

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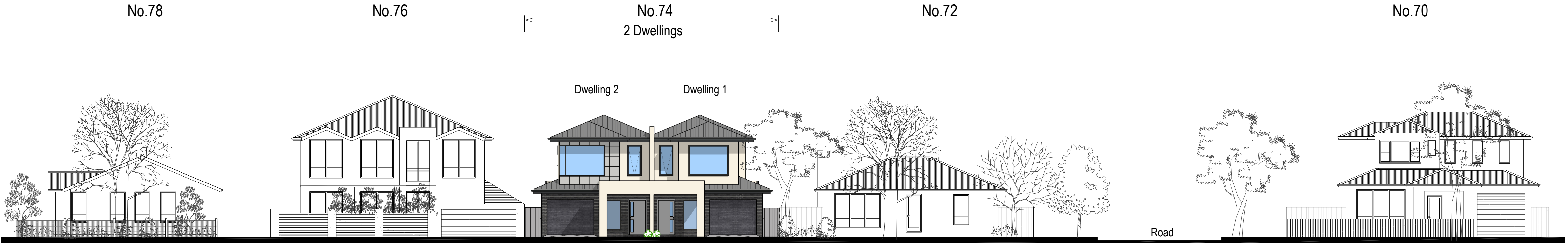
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DESIGN RESPONSE STREETScape ELEVATION

CITY OF MARIBYRNONG
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URBAN PLANNING

CITY OF MARIBYRNONG
ADVERTISED PLAN



Melon Street Elevation

SITE MATTERS
SITE ANALYSIS CONSULTANTS



Ph. 9388 8365 Fax. 9388 8369

Proposed **Unit Development**

Address **74 Melon Street
Braybrook**

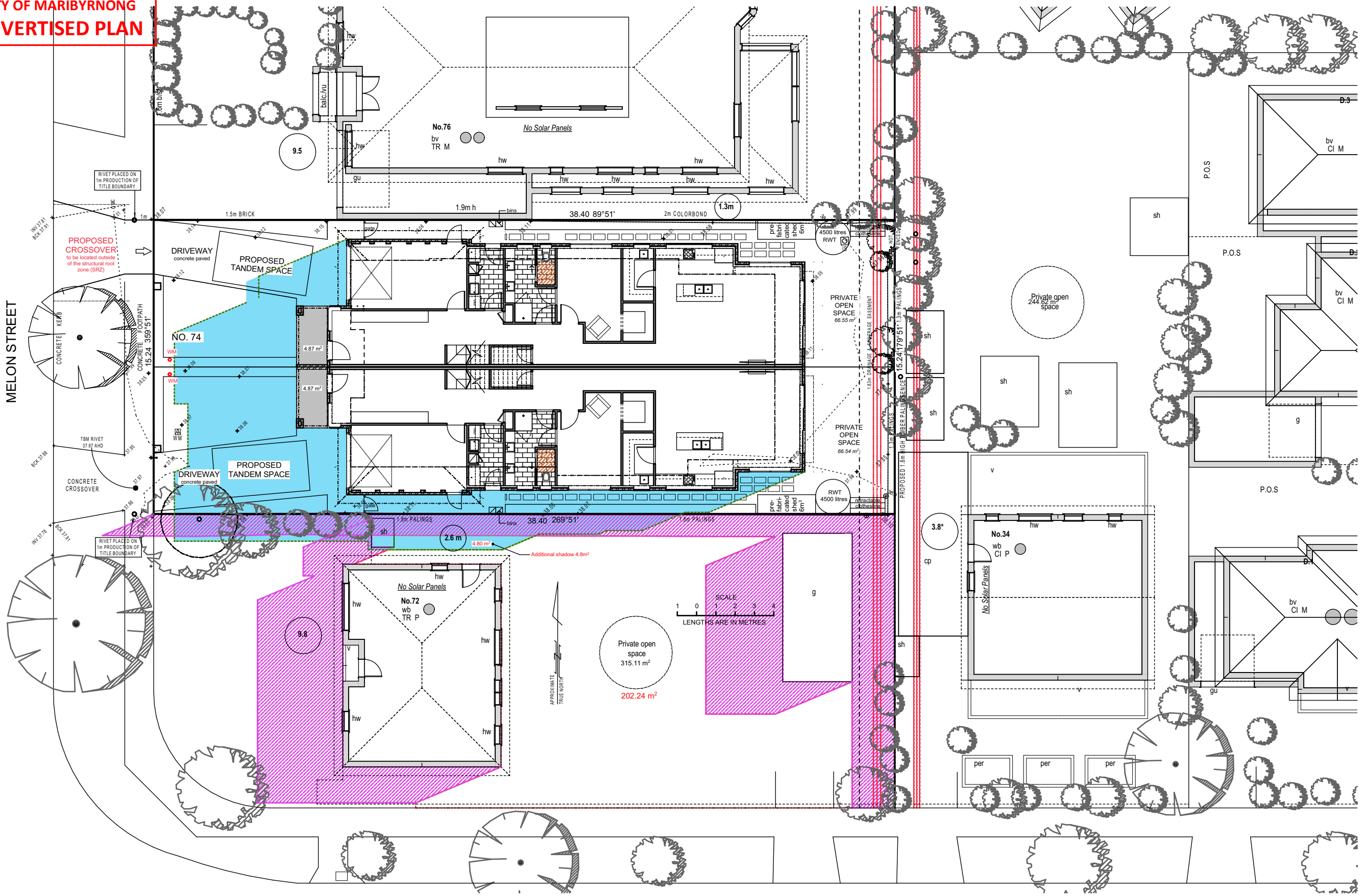
Date **Amended February 2025**

Drawn by **HT**

Sheet no. **3**

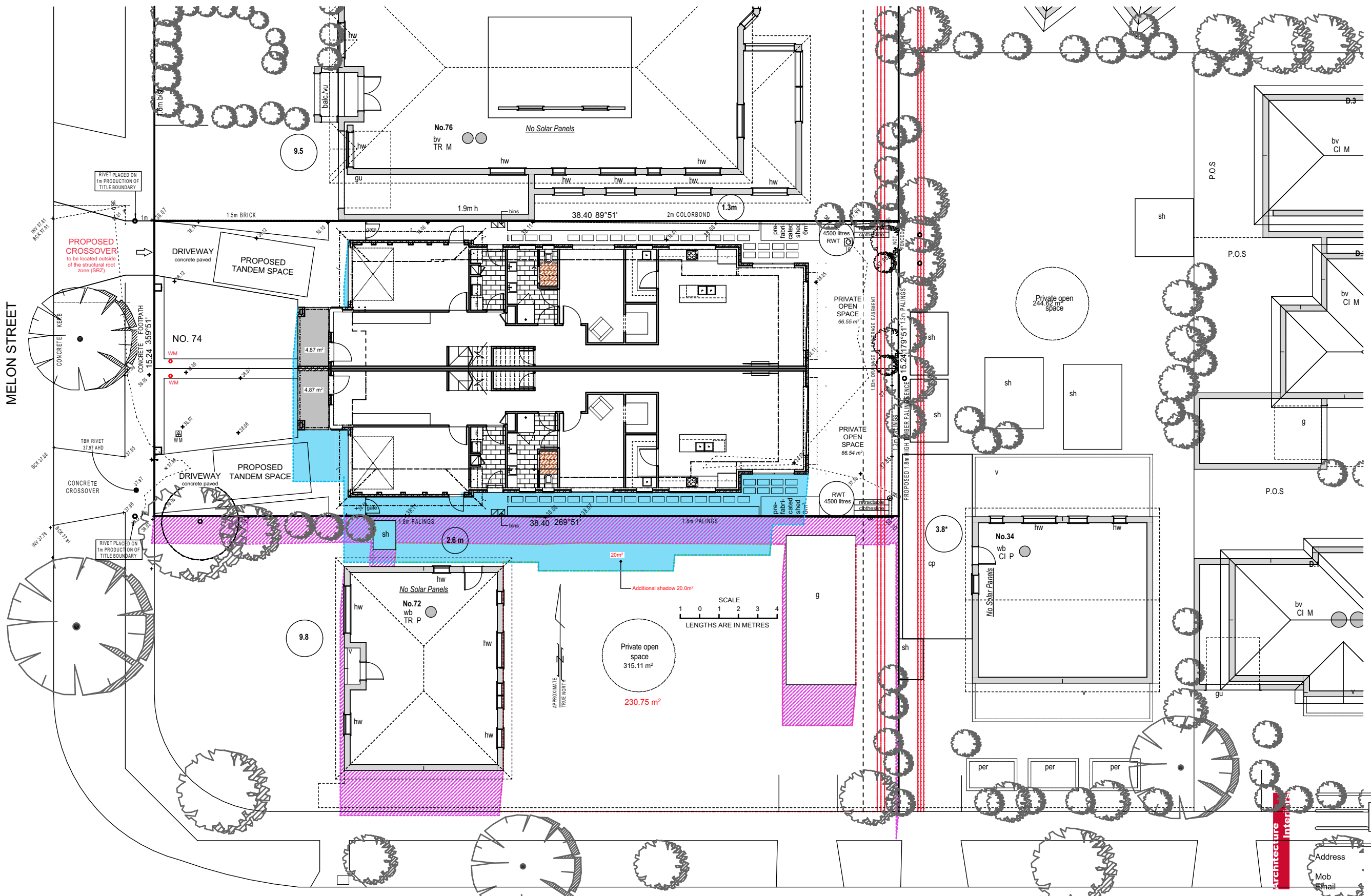
Scale **1:150**

Ref. no. **24 0408**



0. Shadow diagram @ 9am

1:200



0. Shadow diagram @ 12pm

1:200

LEGEND:

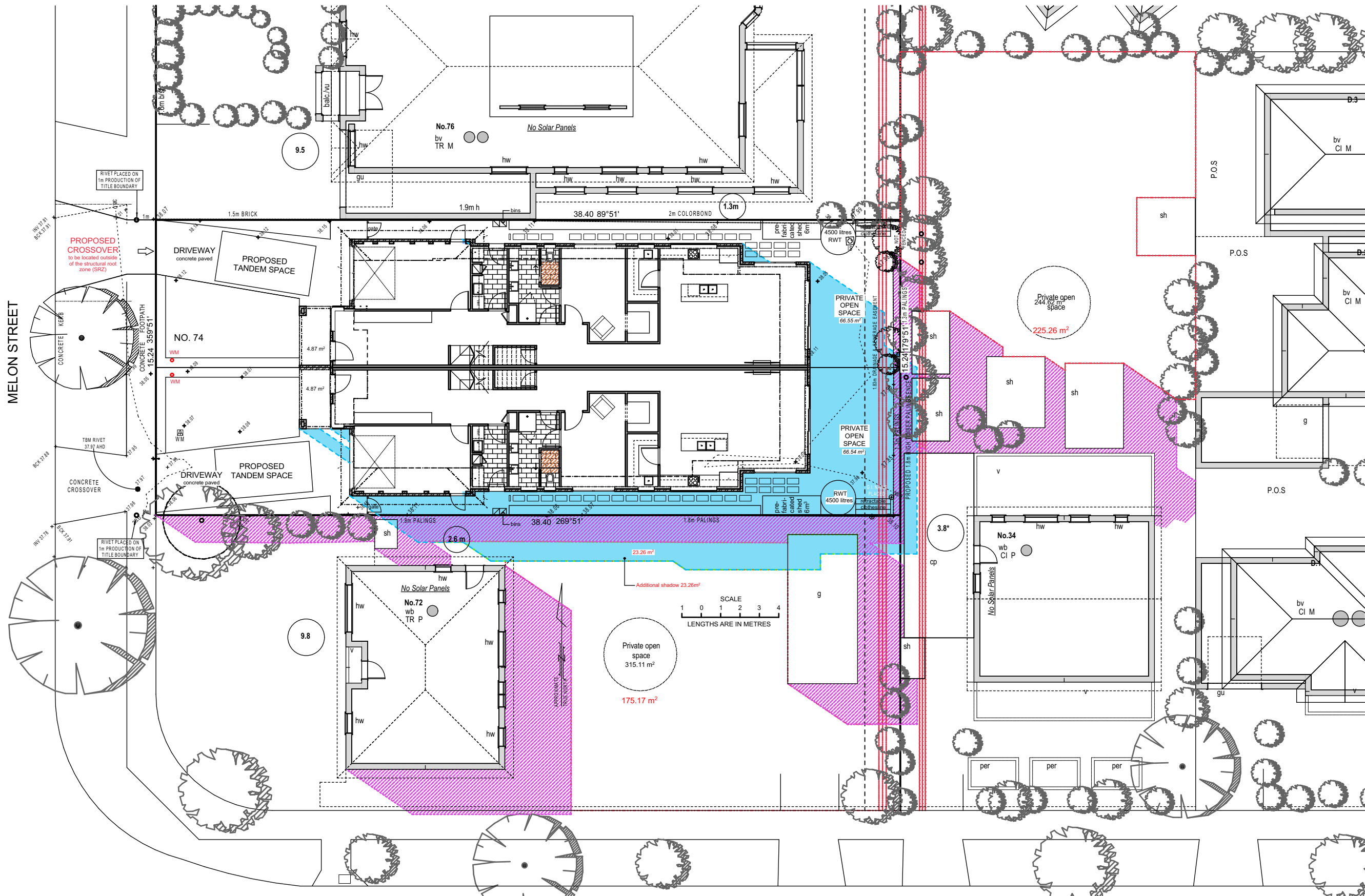
- PROPOSED SHADOW OF BUILDING
- PROPOSED ADDITIONAL SHADOW
- ADJOINING DWELLING SECLUDED P.O.S AREA WHICH RECEIVES SUNLIGHT

EXISTING SHADOW OF ADJOINING DWELLING AND BOUNDARY FENCES

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Email: dien@dnaarch.net.au

PROJECT DETAILS	
Proposed two town houses on one lot	
No. 74 Melon St Braybrook	
CLIENT DETAILS	
Julia Nguyen	
DRAWING TITLE	
Shadow diagrams on 22nd Sep at the equinox	
DRAWN	
D N	
DRAWING SCALE	SHEET SIZE
1:200, 1:100	A2
DRAWING NUMBER	REVISION
TP06	A



0. Shadow diagram @ 3pm 1:200

LEGEND:

- PROPOSED SHADOW OF BUILDING
- PROPOSED ADDITIONAL SHADOW
- EXISTING SHADOW OF ADJOINING DWELLING AND BOUNDARY FENCES
- ADJOINING DWELLING SECLUDED P.O.S AREA WHICH RECEIVES SUNLIGHT


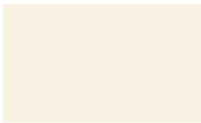



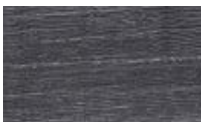



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PROJECT DETAILS	
Proposed two town houses on one lot	
No. 74 Melon St Braybrook	
CLIENT DETAILS	
Julia Nguyen	
DRAWING TITLE	
Shadow diagrams on 22nd September at the equinox	
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DRAWING SCALE	SHEET SIZE
1:200, 1:100	A2
DRAWING NUMBER	
TP07	
REVISION	
A	

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Schedule of finishes

Proposed 2 unit development at
No. 74 Melon street Braybrook

	Materials	Colour Element	Samples
Walls Ground floor	Brickwork	Austral brick - Industrial Char or similar	
Walls First floor	Render	Painted in Dulux Off White or similar	
	Scyon Matrix cladding	Painted in Dulux Dieskaw or similar	
Roofs	Colorbond	Windspray or similar	
Porches and canopies	Render	Painted in Dulux Off White or similar	
Garage doors	Steel	Timber-look dark grey or similar	
Fascias	Colorbond	Monument colour or similar	
Gutters	Colorbond	Monument colour or similar	
Windows	Powder coated	Monument colour or similar	

Existing Vegetation Summary

Extracted from vegetation audit and report prepared by Climbing High Tree Service. (16/01/2025)

TREE NO.	BOTANICAL NAME	H X W (m)
1.	Fraxinus angustifolia	5 x 14
2.	Fraxinus angustifolia	7 x 4
3.	Photinia robusta	4 x 6
4.	Prunus cerasifera 'nigra'	4 x 6
5.	Fraxinus angustifolia	6 x 6
6.	Prunus domestica	4 x 7
7.	Prunus domestica	4 x 3
8.	Prunus domestica	4 x 4

Specifications

Subgrade preparation
Site preparation to be carried out in accordance with best horticultural practice and under suitable conditions. Disturbance to indigenous soil structure is to be minimised. The use of machinery that may damage soil structure or profile is not acceptable. Sub-grade to all lawn and planted areas is to be cultivated to a minimum depth of 150mm and shaped to achieve drainage falls prior to topsoiling. Subgrade to be tested prior to preparation and conditioning to determine ph, salinity and gypsum requirement. Any gypsum required is to be distributed at the manufacturers recommended rate and cultivated into the sub-grade at a minimum depth of 150mm. Proposed topping areas to be graded / drained to prevent water discharge into neighbouring properties

Weed control
Remove and dispose of environmental weeds off site prior to subgrade preparation, topsoiling and planting works.

Soil Preparation
Topsoil is to be spread in maximum 150mm layers, lightly compacted by use of a 150 - 200kg roller, or by thoroughly walking until it accords with finished kerb levels or to within 75mm below edging levels to accommodate mulch. Imported topsoil for garden beds is to be medium texture general purpose garden soil and lightly compacted to minimum 300mm depth to garden beds. Soil is to comply with s.a.a. 2223-1978, and as follows:

- free from perennial weeds and their roots, bulbs and rhizomes
- free from building rubble and any other matter deleterious to plant growth
- ph to be 6.0 - 7.0
- texture to be light to medium friable loam
- free from silt material

Imported topsoil for lawn rejuvenation / establishment shall have the above characteristics, but shall be a free draining sandy loam, lightly compacted to minimum 100mm depth

Mulch
The specified mulch for garden beds is to be an aged organic material with 60 - 80 percent of its volume being wood chips particles in a size range of 25 - 50 mm maximum. Mulch is to be spread at a consolidated depth of 75mm

Planting Procedure
If soil to planting hole is dry - fill with water and allow to drain completely. Tree roots are to be teased outwards if matted or circling occurs prior to backfilling. Place tree in centre of hole on firm soil to prevent sinking, ensuring top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Backfill material is to be in a loose, friable state, with no bricks, rocks or foreign material - if sufficient material is not available form the original hole to backfill, a similar soil type must be sourced and used. Soil material must be firmly backfilled in layers to prevent large air pockets from occurring, then thoroughly watered in. Trees to be staked with two 2252mm x 75mm hardwood stakes driven firmly into the ground - stakes must not be placed through the rootball area. Trees are to be secured to each stake with a strong, soft and flexible material, tight enough to support the tree in windy conditions - yet loose enough to stimulate development of a good supportive root system. Tree tie material must not injure tree bark or restrict trunk growth for a minimum period of three years. Slow release fertiliser (3/6 month formulation) such as 'Osmocote' is to be applied to the top of the rootball area away from the trunk / stem to manufacturers specifications and watered in immediately. All trees to be mulched to a diameter of 1200mm wide and to a depth of 100mm but must not be in contact with the tree trunk. Mulch is to be an aged organic material with 60 - 80 percent of its volume being wood chip particles in a size range of 25 - 50mm maximum. Mulch is to be spread at a consolidated depth of 75mm. The planting hole surface is to be shaped to minimise waterlogging/excessive water retention but retain the mulch material neatly. The site must be left in a clean and safe condition

Plant Establishment Period
The landscape is to be maintained by applying best horticultural practice to promote healthy plant performance for a 13 week establishment period following the approval of Practical Completion by the responsible authority including (but not limited to) the following tasks - Pruning as necessary to maintain plants in a healthy and structurally sound manner; pest and diseases - vegetation to be pest and disease free, mulching, staking and tying - 75mm mulch depth to be maintained around tree bases throughout maintenance period, watering - as often as necessary to ensure healthy and vigorous growth in accordance with current local watering regulations, weeding - maintained in a weed free state over the entire mulch area by spraying or mechanical means, fertilising - 3/6 x monthly slow release fertiliser in accordance with manufacturers recommended application rates, replacement of deceased, stolen or vandalised plants beyond repair or regrowth with the same species as specified in the plant schedule within the assigned maintenance period

Irrigation
An in-ground automatic drip irrigation system to be installed to all garden areas and planter boxes (if applicable) in accordance with current local watering regulations

Timber Edging
Timber edging to be 75mm x 25mm treated pine secured to 300mm long treated pine stakes at 900mm intervals with galvanised screws and installed to all junctions between garden beds, lawn and topping / pebble areas

Drainage
Landscape and / or building contractor(s) are responsible for civil and hydraulic computations for landscape building works including, but not limited to surface and sub surface drainage for all landscape areas prior to commencement of works

General
While care has been taken to select tree species with non-invasive root systems it is recommended that root control barriers be installed for any trees located within two metres of any building lines.

Climbing plants (if applicable) are to be trained to supportive mesh, wire or lattice fixed over entire fence section from base to top

Do not scale from plan - contractor to verify all dimensions on site prior to commencing construction

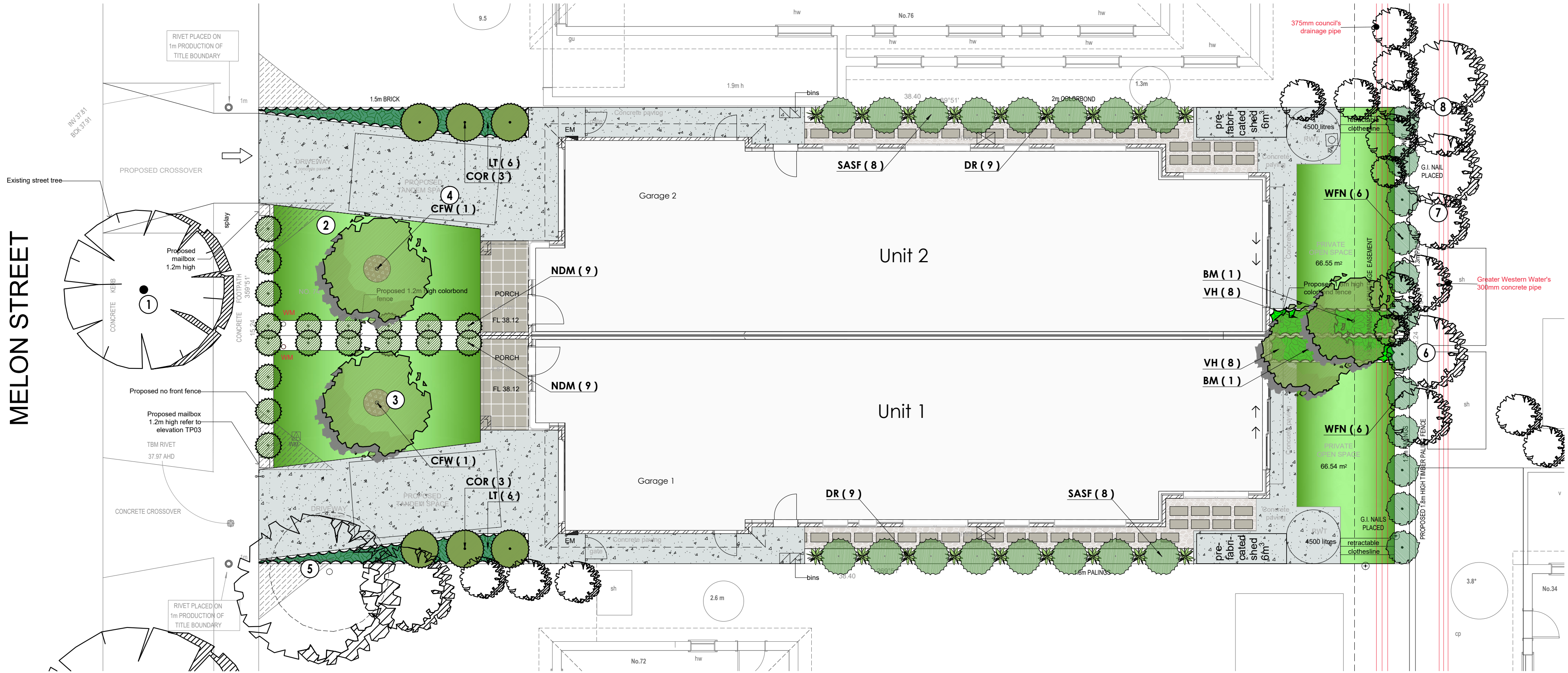
Plants - Quality of Trees and Shrubs
Trees and shrubs shall be healthy nursery stock free from insects, diseases and weeds. The specified plant heights, and pot sizes are minimums. If plant material is unavailable in these sizes, larger stock must be used. Plant substitution is not acceptable unless confirmed by the responsible authority in writing. The contractor is to supply and install semi mature trees which meet the following criteria: Have a minimum planted height to sizes as indicated in the plant schedule, have a minimum trunk caliper of 50mm at ground level, be undamaged and free of diseases and insect pests, not be root bound or have circling or girdling roots but have roots grown to the edge of - the container, should have a single straight trunk, strong branching pattern, and full canopy, show healthy, vigorous growth

Protection of Existing Trees
This plan is to be read in conjunction with the arboricultural report prepared by Climbing High Tree Service (16/01/2025). Denoted tree numbers - refer to arboricultural report prepared by Climbing High Tree Service for further information.

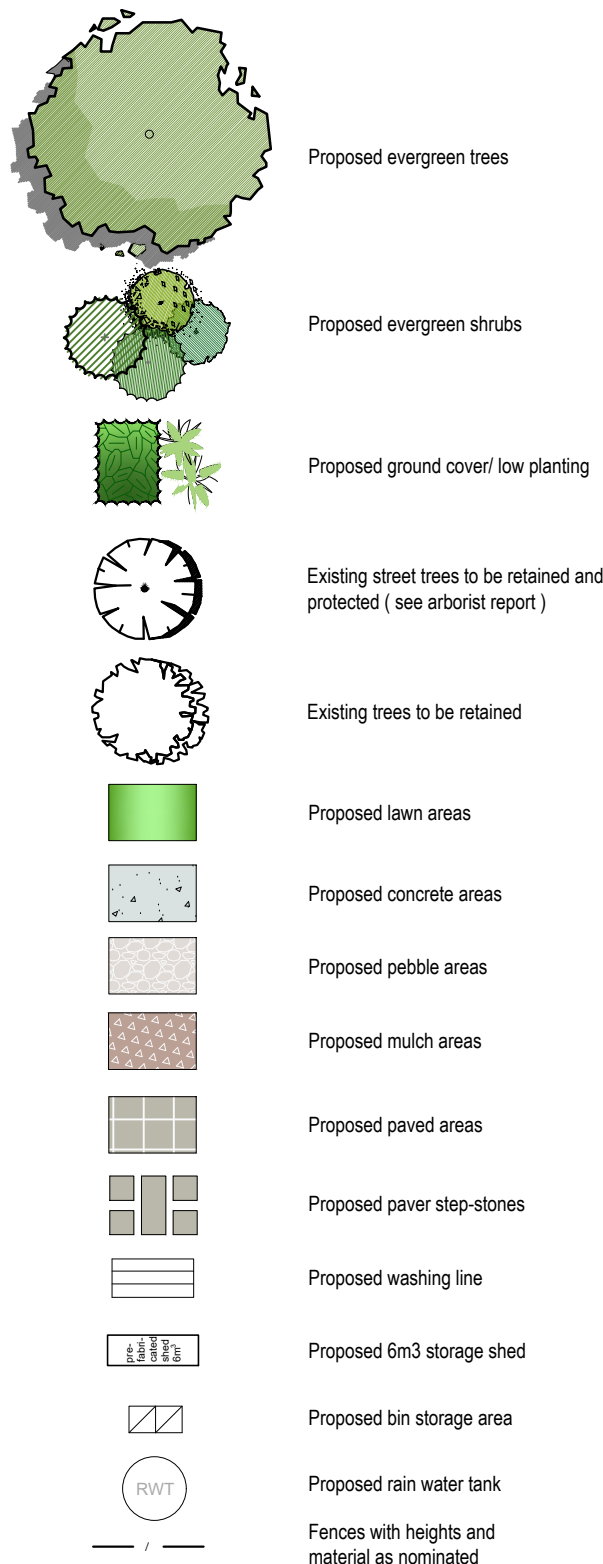
All existing vegetation shown on the endorsed plan (subject site and neighbouring properties) to be retained must be suitably marked before any development (including demolition) commences on the land and that vegetation must not be removed, destroyed or topped without the written consent of the responsible authority. Before the commencement of works (including demolition) start, tree protection barriers must be erected around trees / subject site and neighbouring properties) to form a defined tree protection zone during demolition and construction in accordance with tree protection measures as per AS 4370-2009 (Tree protection in development sites) and to the satisfaction of the responsible authority.

Any pruning that is required must be carried out by a trained and competent arborist with a thorough knowledge of tree physiology and pruning methods to carry out pruning to the Australian standard - AS 4373-2007 (Pruning of amenity trees). All tree protection practices must be adhered to in accordance with the arboricultural report and to the satisfaction of the responsible authority

Landscape Plan

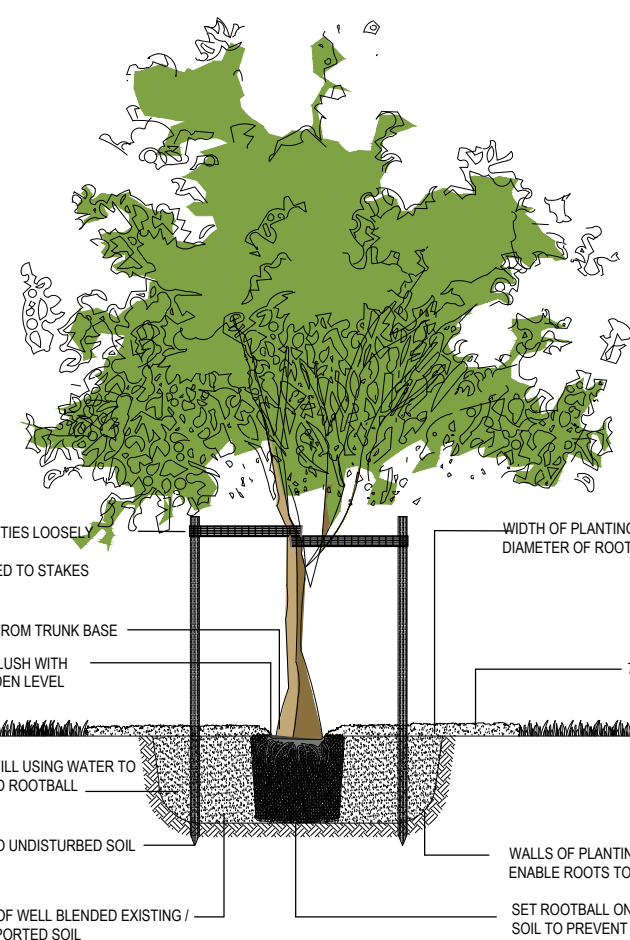


Legend



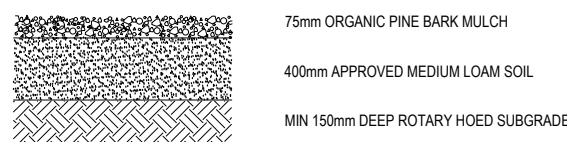
Advanced Tree Planting

detail not drawn to scale

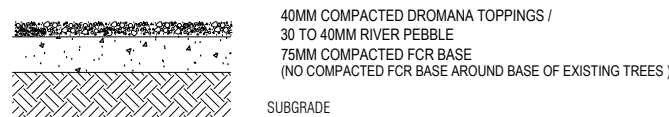


Surface Finishes Detail

Garden Beds



Topping / Pebble areas

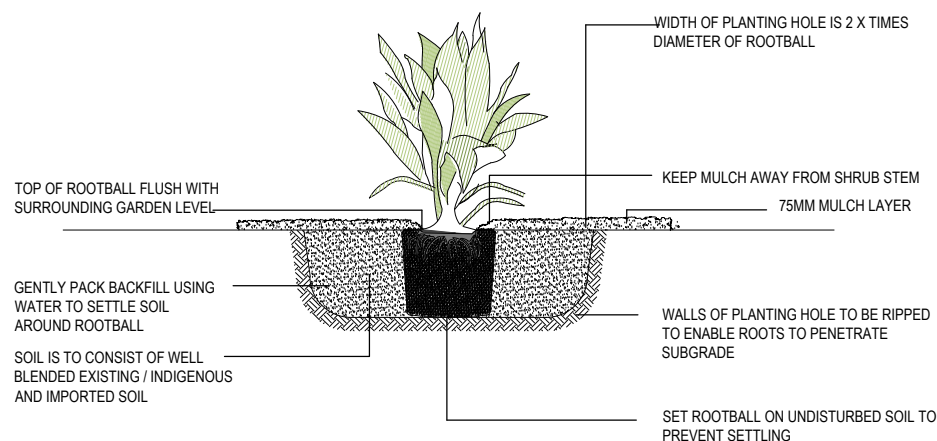


Lawn areas



Shrub Planting

detail not drawn to scale



Plant Schedule

CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
TREES					
BM	Banksia marginalis	Silver Banksia	2	40tr / min 1.8m high	5m x 3m
CFW	Corymbia ficifolia 'Wildfire'	Dwarf Flowering Gum	2	40tr / min 1.8m high	6m x 3.5m
SHRUBS					
COR	Correa alba	Coastal Correa	6	20cm pot	1.2m x 1.5m
NDM	Nandina Domestica 'Magical lemon lime'	Heavenly bamboo 'Lemon-Lime'	18	20cm pot	.9m x .8m
SASF	Syzygium australe 'Select Form'	Select Form Lilly Pilly	16	20cm pot	3 x 1.2m (clipped)
WFN	Westringia fruticosa 'Naringal'	Coast Rosemary	12	20cm pot	2m x 1m
GROUND COVERS & LOW SHRUBS					
VH	Viola hederacea	Native Violet	16	14cm pot	Prostrate X 2
TUSSOCKS / GRASSES / EVERGREEN PERENNIALS					
DR	Dianella revoluta var. revoluta	Black-Anther Flax-Lily	18	14cm pot	.6m x .6m
LT	Lomandra longifolia 'Tanika'	Tanika	12	14cm pot	.75m x .75m

North
Scale 1:100

PROJECT ADDRESS: 74 MELON STREET BRAYBROOK
DATE: 17/01/2025
SHEET SIZE: A1
DESIGNED BY: NJH/MA landscape Arch. UEL/UK

PROPOSED DUAL OCCUPANCY
74 MELON STREET BRAYBROOK
REV # A
PROJECT NO. # L10575
REV # A
DRAWN BY: A.S.

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