

Zoning: Industrial 1

Existing services are to be altered to suit the new proposed layout. i.e. smoke detectors, sprinklers, emergency lights, exit lights

FHReel / F- Hydrant

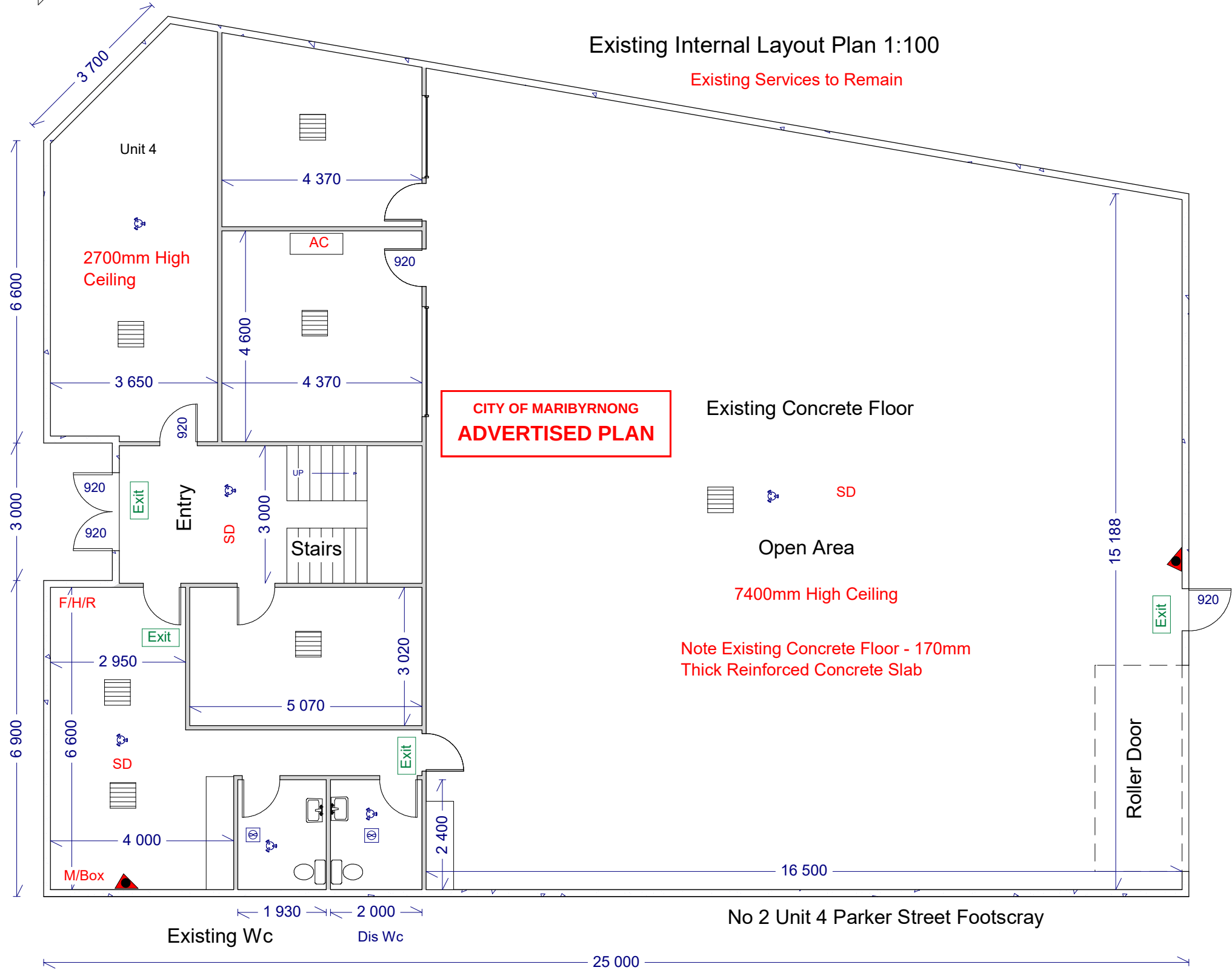
Ground floor warehouse: 424 m2 approx.
Mezzanine Office Space: 142 m2 approx.
Total Office/Warehouse: 566 m2 approx.

Car Parking: 8 onsite car parking spaces

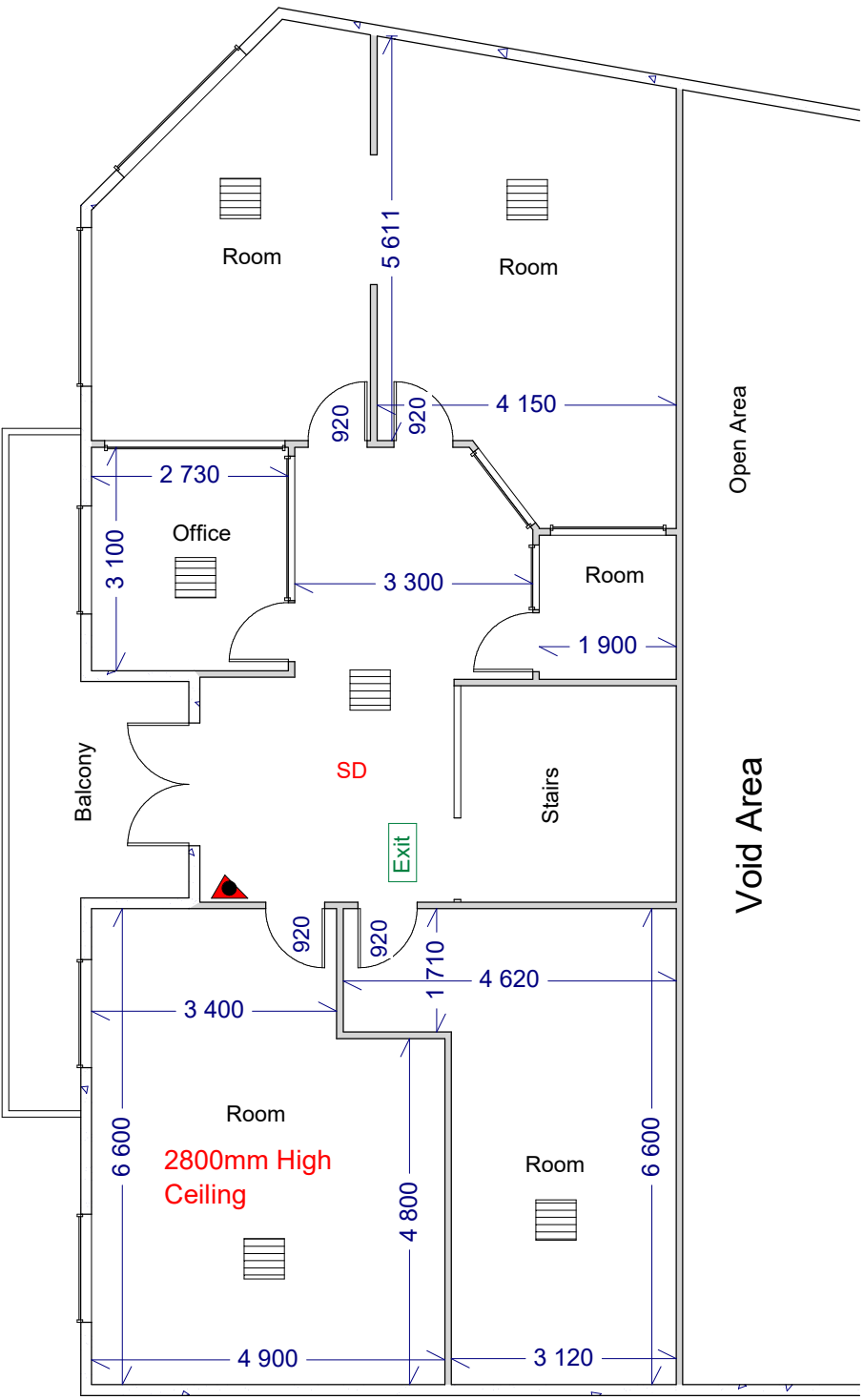
CITY OF MARIBYRNONG
RECEIVED
17/05/2026
URBAN PLANNING

Existing Internal Layout Plan 1:100

Existing Services to Remain



EXISTING FLOOR PLAN 1:100



UPPER LEVEL FLOOR PLAN 1:100

DO NOT SCALE DRAWING

DREAMPLAN DESIGN
DRAFTING SERVICES
drawn - kon moutis

17 LOCKTON AVE,
RESERVOIR, 3073
PHONE: 9 359 2548
Mob - 0416 097 187

RBP - DP
AD 515
HIA -
5534742

INTERNAL FIT OUT EXISTING BUILDING
CLIENT -
Unit 4/ No 2B Parker Street, Footscray 3011
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Existing Layout		
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DRAWING No:055	NORTH	DATE: 27/04/2026

DATE: 27/04/2026

Note - Timber to Comply with AS 1684 - 2010

Note - Lift Off Hinges to Wc to comply with Australian Standards

EXHAUST FANS TO COMPLY WITH AS 1688.2 - 1991 & AS/NZS 366.1

Note - Disable car parking is to be installed compliant with clause D3.5 of the BCA 2011

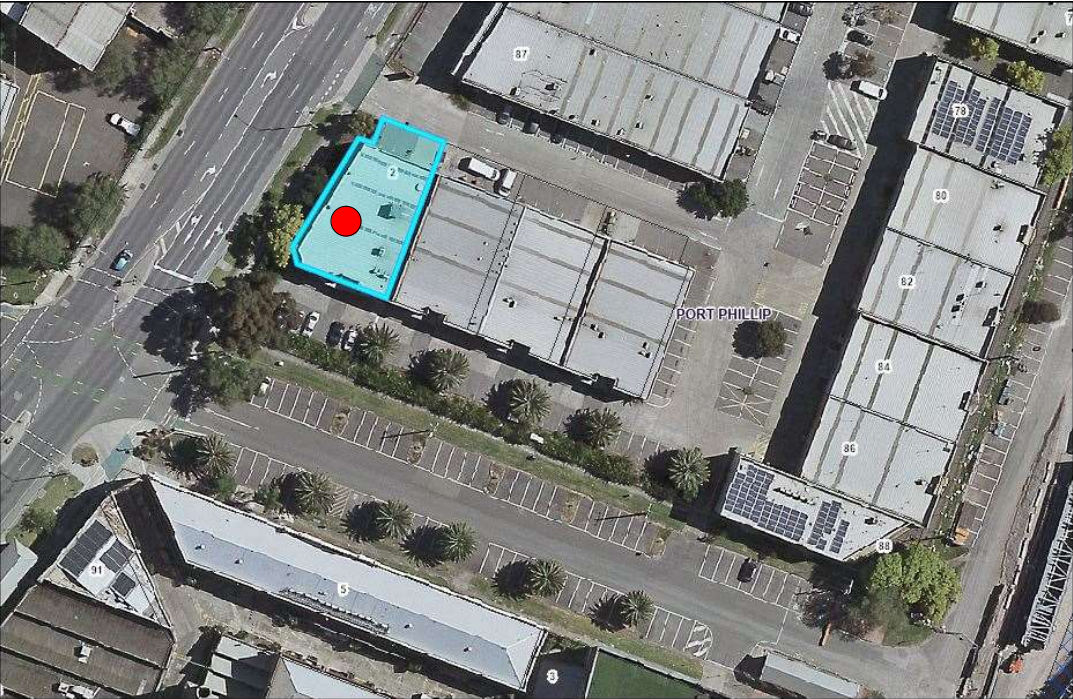
SMOKE DETECTORS

EXHAUST FANS

Note - All Glazing to Comply with AS 1288 - 2010

Install an Approved Smoke Alarm fixed to Ceiling & Wired to Main. Denoted on Plan - Smoke Alarms to Comply with AS 3786 & BCA 96 Part 3.7.2

Install an Exhaust Fan - Denoted on Plan - Fan to be wired to Light Switch and Ducted to External Air - 35 L/S Min Capacity



Existing Building

Termite Treatment -
Where Required Termite Treatment to Comply with B1.4, F1.9 & AS 3660.0 - 2000

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS,STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

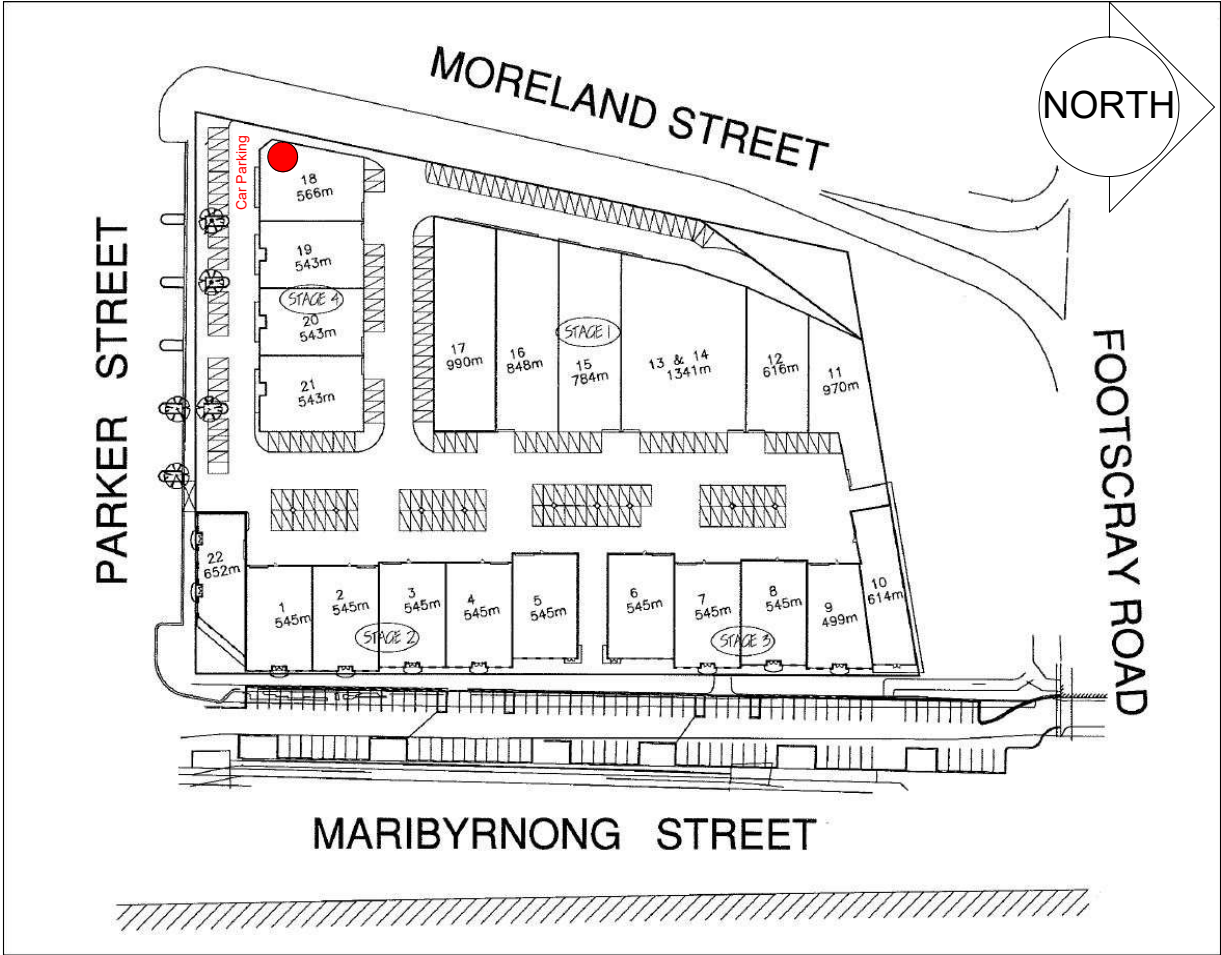
To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expence and responsibility. The contractor shall verify all dimensions and enclosed drawing DREAMPLAN DESIGN DRAFTING SERVICES™ is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

Note - Connected to 100 x 50 Colorbond Downpipes to 100mm Dia UPVC Stormwater Drain with 1 in 100mm Fall Connected to Existing or to Legal Point of Discharge as directed by City Engineer's Dept

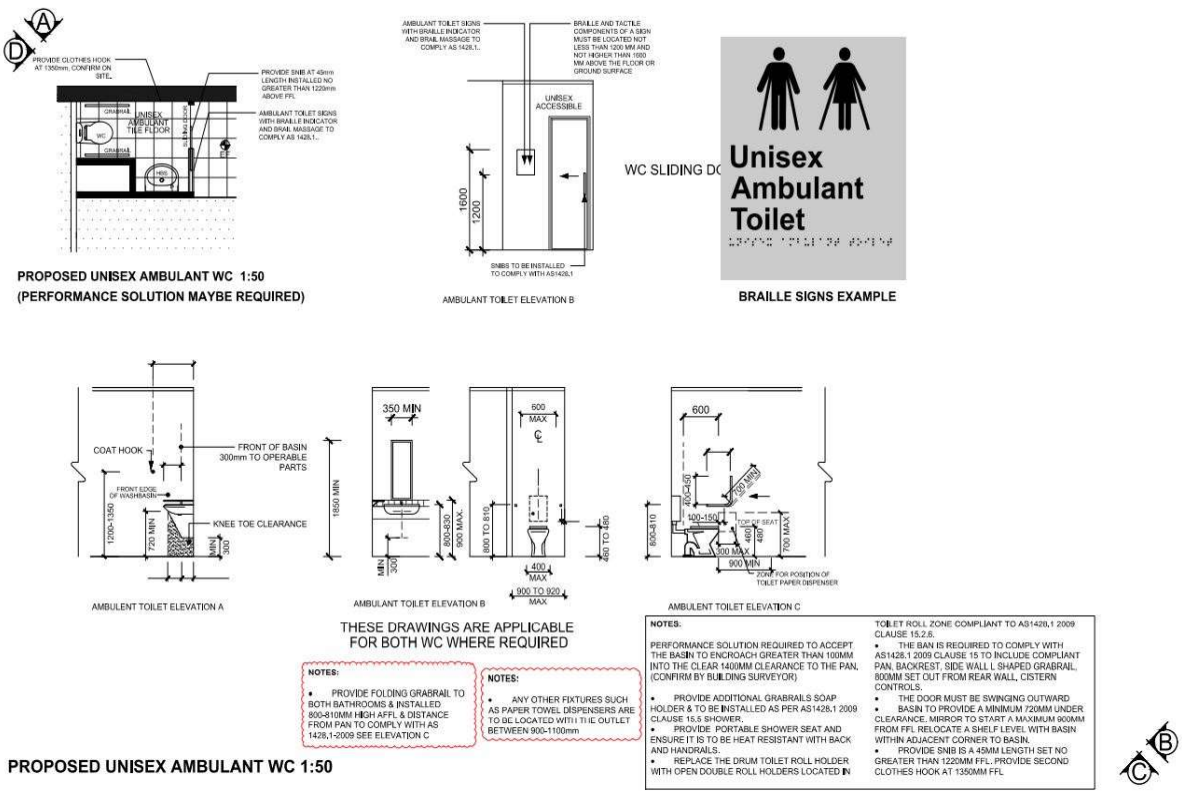
Existing Concrete Slab - Carpet Floors

CITY OF MARIBYRNONG
ADVERTISED PLAN

SITE PLAN
1 : 200

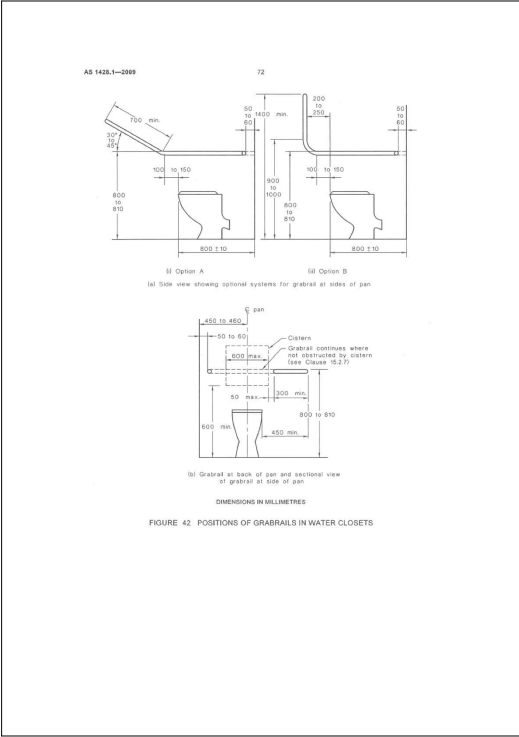
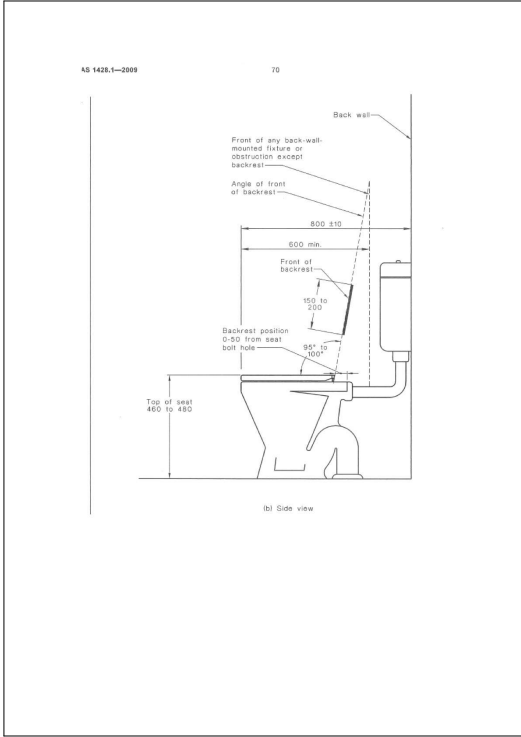
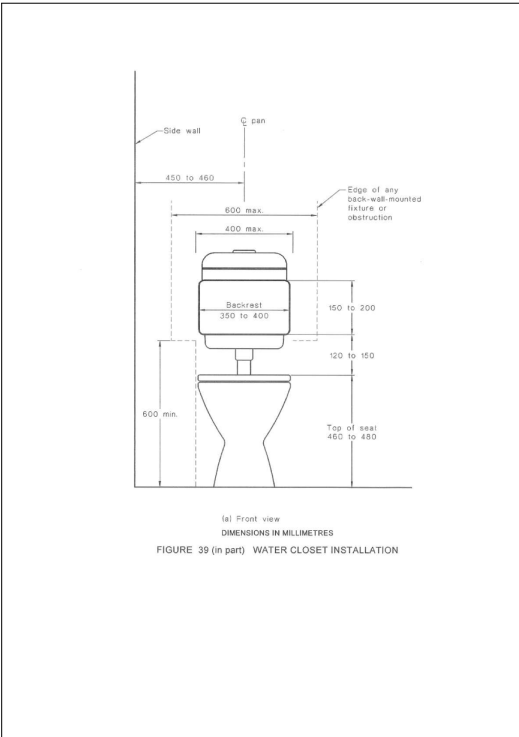
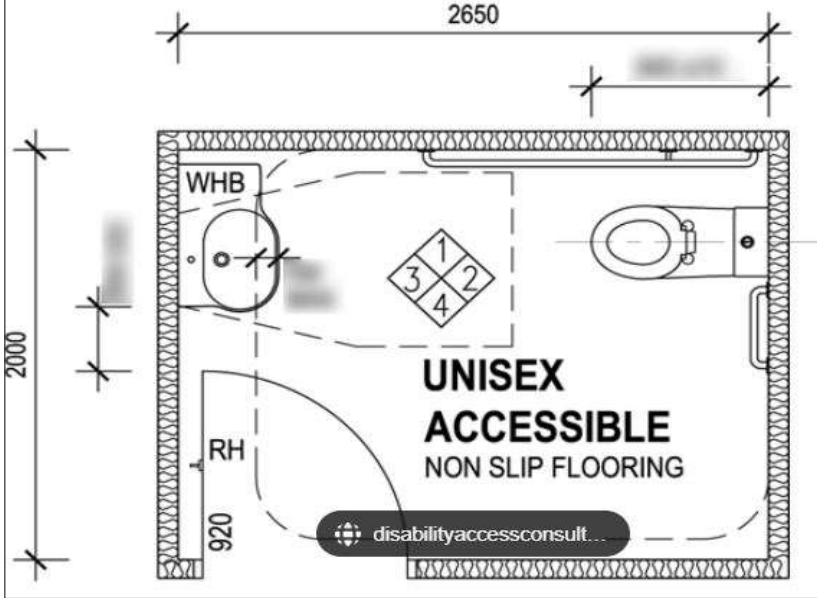
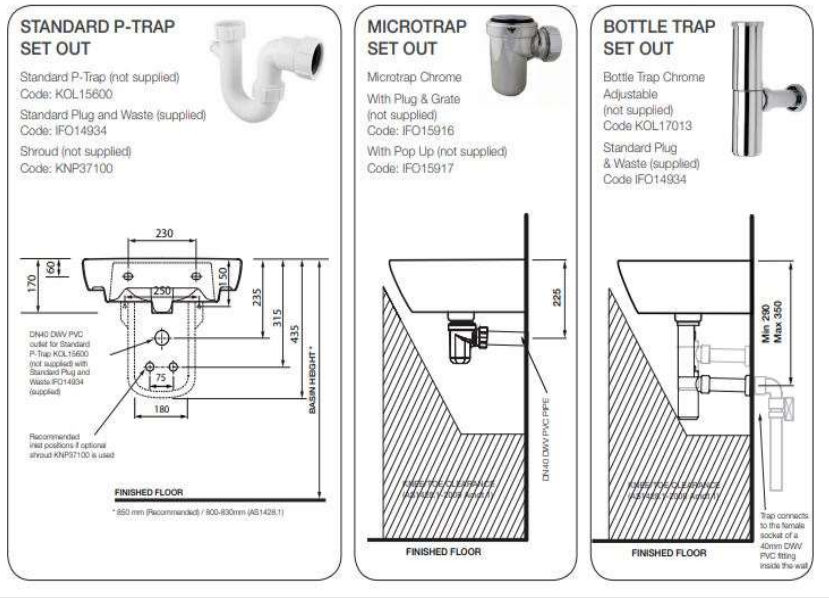
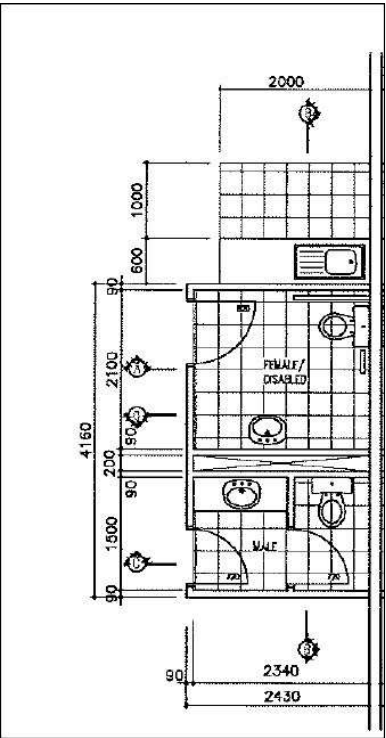


DREAMPLAN DESIGN DRAFTING SERVICES drawn - kon moutis	17 LOCKTON AVE, RESERVOIR, 3073 PHONE: 9 359 2548 Mob - 0416 097 187	RBP - DP AD 515 HIA - 5534742	INTERNAL FIT OUT EXISTING BUILDING CLIENT - Unit 4/ No 2B Parker Street, Footscray 3011 THESE PLANS REMAIN THE PROPERTY OF DREAMPLAN DESIGN DRAFTING SERVICE AND ARE SUBJECT TO COPYRIGHT REGULATIONS	SITE PLAN		
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Note - accessible sanitary facilities as outlined under AS1428.1 - Disable WC at ground Floor access

Existing accessible toilet.
Toilets to Remain



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DRAWING No:055

SHEET:

NORTH

DRAWN BY - KON M

DATE: 27/04/2026

UNIT 4 - NO 2A PARKER STREET, FOOTSCRAY VIC 3011

Change of Use to adult education centre

CITY OF MARIBYRNONG
ADVERTISED PLAN



MATERIAL LIST

Concrete Slab - Existing - Carpet Floors
Flooring - Ceramic Tiles to all wet areas
as to AS Standards
Plates- 90 x 45 F5 pine bottom plate
Pitching plate 2 no. 90 x 35 F5 pine
Internal top plate - 90 x 35 F5 pine
Studs - 90 x 45 F5 pine at 450 centres
Jamb studs - 2/ 90 x 45 f5 pine
Noggings - 70 x 35 merch - one row
Bracing - G.I. angle bracing as required
and / or 2700 x 1200 bracing sheet.
Lintels refer to Framing schedule

Note - Stud Frame Metal Studs 92R
450ctrs
INSULATION
Walls - 3.0 R - Value
Ceiling- 3.5 R - Value

Emergency lighting, exit signs and warning
system to comply with E4.2 and E4.4 of
BCA and AS/NZS 2293.1 , 1.2005 containg
the running man symbol

Portable fire extinguishers to be in
accordance with clause E1.6 & AS 2444
- 2001 they are to be located at not
more than 15mtrs apart

ceramic floor tiles to be used with
expoxy finish at rear. Tiles should
be noted as 'non slip' & R10

Specification to include reference to
waterproofing to comply to AS
3740-2010 & all building works must
comply to NCC (BCA) 2016.

Note - wall lining materials must
comply with the NCC Clause C

Note - Timber Framing Code
to Comply with AS 168.4 - 2

Fire Hose Reel to AS
2441 - 2005

Fire Hydrant to AS
2419. 1-2005

All common areas to be shown with
smoke detectors in accordance with
AS 3786

Note - door hardware is required to
be openable without a key from the
side that faces a person seeking
egress

GENERAL NOTES

- DO NOT USE SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY. BUILDER TO VERIFY ALL LEVELS AND MEASUREMENTS PRIOR TO THE COMMENCEMENT OF ANY WORKS. BUILDER TO CHECK PLANS AGAINST ON SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE DRAFTSPERSON IMMEDIATELY.
- THE BUILDER IS TO ENSURE THAT NO PART OF THE STRUCTURE INCLUDING DRAINAGE AND FOOTINGS IS TO ENCROACH OVER THE TITLED BOUNDARY.
- SITE BOUNDARY TO BE VERIFIED PRIOR TO ANY WORKS COMMENCING. BUILDER/OWNER TO ENGAGE A SUITABLY QUALIFIED LAND SURVEYOR IF REQUIREWD.
- SITE CLASSIFICATION, CLASS (ASSUMED) OR AS PER THE SOIL REPORT IF UNDERTAKEN. THE DRAFTSPERSON/ARCHITECTS IS TO BE IMMEDIATELY NOTIFIED IF THE SITE CLASSIFICATION OR THE FOUNDING DEPTH OF THE SOIL REPORT DIFFERS FROM THE ARCHITECTURAL STRUCTURAL PLANS.
- THE BUILDER AND/OR OWNER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL BUILDING WORKS.
- ALL EXISTING CONDITIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OR ORDERING OF ANY MATERIALS.
- ALL FOOTINGS ARE TO COMPLY WITH AS 2870/1996.
- ALL TIMBER FRAMING IS TO COMPLY WITH AS 1684/2010 PARTS 2,3 & 4
- ALL STRUCTURAL TIMBERWORK SHALL CONFORM TO THE REQUIREMENTS OF AS1720 S.A.A., TIMBER ENGINEERING CODE AND AS1684 S.A.A. LIGHT TIMBER FRAMING CODE.
- ALL ROOF FIXINGS AND TIE DOWNS ARE TO COMPLY WITH AS 1684/2010 PARTS 2, 3 & 4.
- ALL WALL AND ROOF BRACING IS TO COMPLY WITH AS 1684/2010 PARTS 2, 3 & 4.
- ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, THE BUILDING REGULATIONS, THE BUILDING ACT AND ANY OTHER RELEVANT BY-LAWS, AUSTRALIAN STANDARDS, ACTS OR LOCAL COUNCIL REQUIREMENTS.
- ALL PLUMBING IS TO BE DONE BY REGISTERD PLUMBERS IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND TO SATISFACTION OF THE LOCAL AUTHORITY. ALL JOINS TO BE WATER TIGHT.
- A LICENCED PLUMBER IS TO SEAL AND MAKE SURE ALL GAS AND WATER SUPPLIES TO THE AREA AFFECTED BY WORKS ON SITE.
- A LICENCED ELECTRITION IS TO DISCONNECT AND MAKE SAFE ALL POWER SUPPLY TO THE AREA AFFECTED BY WORKS ON SITE.
- PROVIDE THERMAL INSULATION AS PER THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (PART J OF THE BUILDING CODE OF AUSTRALIA).
- ALL GLAZING IS TO COMPLY WITH AS 1288/2006.
- STEPS - MAXIMUM RISER 190MM, MINIMUM TREAD 250MM AND AS PER THE BUILDING CODE OF AUSTRALIA.
- HANDRAILS TO BE A MINIMUM 865MM ABOVE THE NOSING OF TREADS AND 1000MM ABOVE THE LANDING WITH BALUSTERS A MAXIMUM 125MM APART. MAX 125MM SPHERE BETWEEN STAIRS TREADS.
- BALUSTRADES TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AS1170 DEAD AND LIVE LOAD COMBINATIONS, AND AS/NZS1170.1-PERMANENT, IMPOSED AND OTHER ACTIONS. BALUSTRADES 4000MM AND GREATER ABOVE THE SURFACE BENEATH MUST NOT HAVE ANY PART THAT IS CLIMBABLE.
- CONCRETE STRENGTH TO BE A MINIMUM 20MPA IN 28 DAYS.
- PROVIDE EMERGENCY LIFT UP HINGES TO THE TOILET DOOR WHERE THE DISTANCE FROM THE TOILET PAN TO THE DOOR IS LESS THAN 1200MM AS PER THE BUILDING CODE OF AUSTRALIA.
- LIGHT & VENTILATION IS TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.
- ALL EXTERNAL STEEL WORKS SHALL BE HOT DIP GALVANISED, INTERNAL STEEL WORK SHALL BE PRIMED WITH INORGANIC ZINC SLICATE COAT IN ACCORDANCE WITH AS 3700/2011, AND AS PER THE BUILDING CODE OF AUSTRALIA.
- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTURAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.
- PROVIDE ROOF FLASHING AS REQUIRED AS PER THE BUILDING CODE OF AUSTRALIA.
- AREAS ADJACENT TO FOOTINGS ARE TO BE GRADED AND DRAINED AWAY FROM THE BULDING TO PREVENT PONDING OF WATER.
- THE MINIMUM FALL OF THE BOX GUTTER IS TO BE 1 IN 100.
- THE MINIMUM SIZE AND FALL OF BOX GUTTER, AND RAINWATER HEADS AT ENDS OF BOX GUTTERS TO COMPLY WITH CL. 5.5.6.1 OF AS-3500.
- PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660.1/2000 IF REQUIRED BY

- THE RELEVANT COUNCIL.
- EXIT DOORS WHICH SWING AGAINST THE DIRECTION OF EXIT TRAVEL TO BE CAPABLE OF BEING HELD IN THE OPEN POSITION.
 - POWER OPERATED SLIDING DOORS SERVING AS EXITS ARE TO BE CAPABLE OF BEING OPENED BY HAND UNDER A FORCE OF NOT MORE THAT 110N UPON MALFUNCTION OR FAILURE OF THE POWER SOURCE.
 - NON SLIP FINISHES TO BE PROVIDED TO ALL STEPS, RAMPS AND LANDINGS.
 - SIGNS REQUIRED TO FIRE DOORS INDICATING "FIRE DOOR - DO NOT OBSTRUCT" IN 20MM HIGH LETTER IN A CONTRASTING COLOUR IN ACCORDANCE WITH CLAUSE D2.23 OF THE BCA.
 - ALL PENETRATIONS THROUGH FIRE RATED MEMBERS TO BE SEALED USING FIRE COLLARS OR FIRE SEAL AS APPROPRIATE, IN ACCORDANCE WITH CLAUSE C 3.15, OF THE BCA.
 - DISABLED ACCESS, SANITARY FACILITIES, AND SIGNAGE TO BE PROVIDED IN ACCORDANCE WITH AS1428.1.-2009.
 - TACTILE GROUND SURFACE INDICATORS TO WARN PEOPLE OF HAZARDS SHALL COMPLY WITH AS/NZS 1428.4.1.
 - EXHAUST AIR OUTLETS NOT TO BE LOCATED CLOSER THAN 6M TO FRESH AIR INLETS.
 - MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS1668.2-1991 & AS/NZS3666.1-2000.
 - MINIMUM 2400MM CEILING HEIGHT TO ALL NEW PORTIONS OF CEILING.
 - FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10, OF THE BUILDING CODE OF AUSTRALIA.
 - ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF TRAVEL TO EXITS TO BE ENCLOSED IN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING WITH DOORWAYS OR OPENING SUITABLY SEALED AGAINST SMOKE SPREADING FROM THE ENCLOSURE.
 - EXIT DOORS WHICH SWING AGAINST THE DIRECTION OF EXIT TRAVEL TO BE CAPABLE OF BEING HELD IN THE OPEN POSITION.
 - GUARDRAILS ARE TO BE PROVIDED TO ROOF PLATFORM IF PLATFORM EXCEEDS 300MM IN HEIGHT FROM EXISTING ROOF LINE. DESIGN, CONSTRUCTION AND INSTALLATION OF ACCESSWAY, LADDER AND FIXED PLATFORM IS TO BE IN ACCORDANCE WITH AS1657-1992.
 - ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS1680.0-2009.
 - ALL DOORWAYS TO HAVE A MINIMUM UNOBSTRUCTED HEIGHT OF 2M AND MINIMUM WIDTH NOT LESS THAN 750MM OR 800MM TO ALLOW FOR DISABLED ACCESS.
 - EXIT SIGNS AND EMERGENCY LIGHTS TO COMPLY WITH AS 2293.1-2005.
 - ALL FIRE SERVICES TO COMPLY WITH THE RELEVANT AUSTRALIA STANDARDS AND NCC 2014.
 - PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS 2444-2001. PROVIDE 2A 20B (E) DRY CHEMICAL PORTABLE FIRE EXTINGUISHER WITHIN 2M TO 20M OF ALL ELECTRICAL SWITCHBOARDS.
 - FIRE HOSE REEL INSTALLATION TO COMPLY WITH AS1221 & AS2441-2005.
 - ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS (INCLUDING ROLLER SHUTTER GRILLES) ARE TO BE CAPABLE OF BEING OPENED AT ALL TIMES FROM THE SIDE FACING A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF A KEY AND LOCATED BETWEEN 900MM AND 1200MM ABOVE FLOOR LEVEL IN ACCORDANCE WITH CLAUSE D2.21, OF THE BCA.
 - ALTERATIONS TO THE SPRINKLER SYSTEM WILL BE CARRIED OUT TO COMPLY WITH AS2118.1-1999.
 - ALTERATIONS TO THE SPRINKLER SYSTEM WILL BE DOCUMENTED, INSPECTED AND APPROVED AS COMPLYING WITH AS 2118 BY THE FIRE PROTECTION INSPECTION SERVICE (OR OTHER APPROVED SPRINKLER INSPECTION AND TESTING SERVICE) AND THEIR WRITTEN APPROVAL PROVIDED TO THE RELEVANT BUILDING SURVEYOR ON COMPLETION OF THE WORKS.
 - SEPARATING WALLS WHICH EXTEND UP TO THE ROOF COVERING MUST BE PACKED WITH A SUITABLE FIRE RESISTING MATERIAL.
 - SMOKE ALARMS ARE TO BE HARD-WIRED AND IN ACCORDANCE WITH AS3786-1993.
 - SMOKE / HEAT DETECTION SYSTEM TO BE IN ACCORDANCE WITH AS1670.1, 2, 3-& 4 2004.
 - THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST COMPLY WITH THE FOLLOWING IF THERE IS NOT A CLEAR SPACE OF AT LEAST 1.2M BETWEEN CLOSET PAN AND NEAREST PART OF DOORWAY:
 - OPEN OUTWARDS OR
 - SLIDE OR
 - BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT

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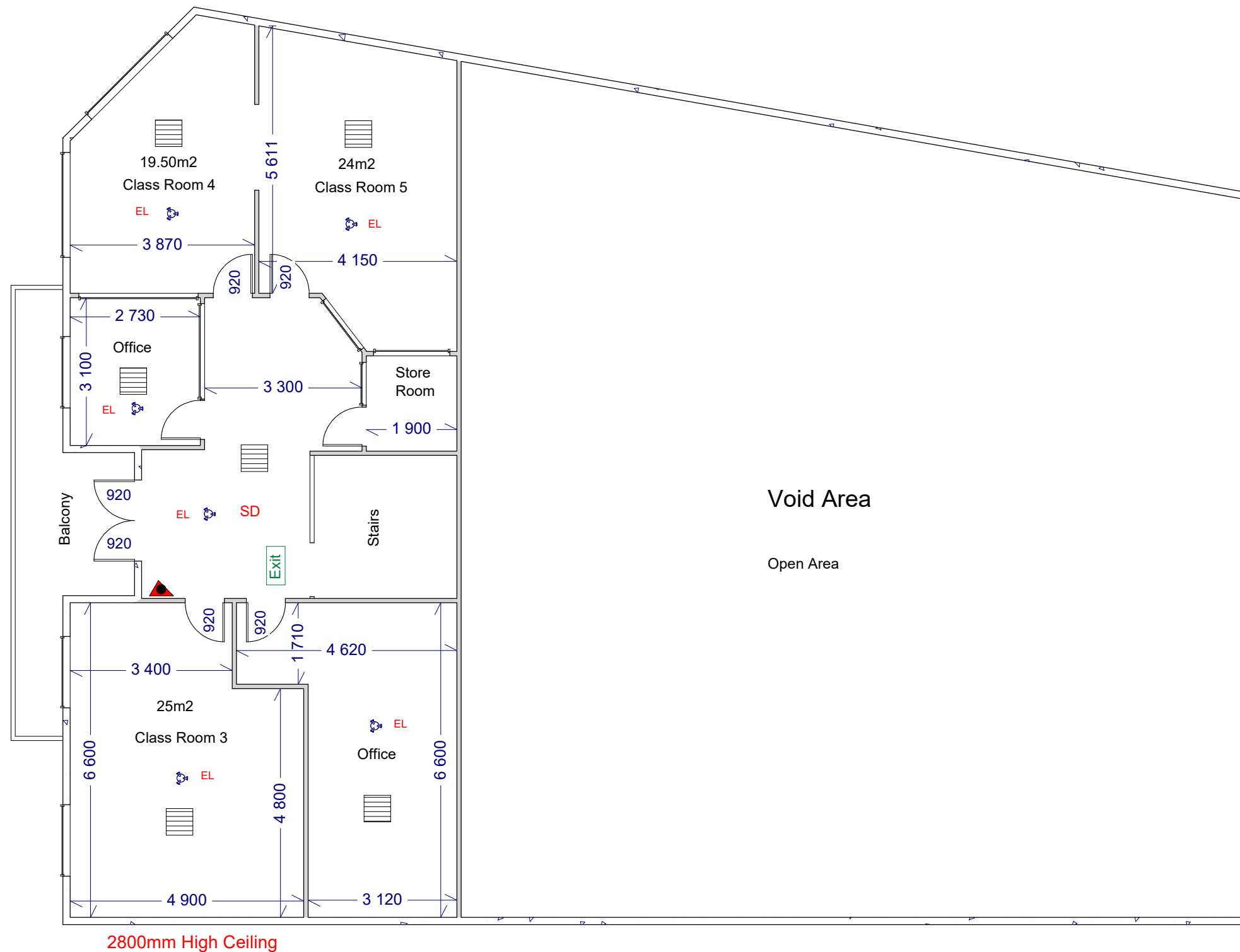
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DATE: 27/04/2026

CITY OF MARIBYRNONG
ADVERTISED PLAN

No 2 Unit 4 Parker
Street, Footscray
Proposed upper
Level Internal
Layout Plan 1:100
First Floor Plan



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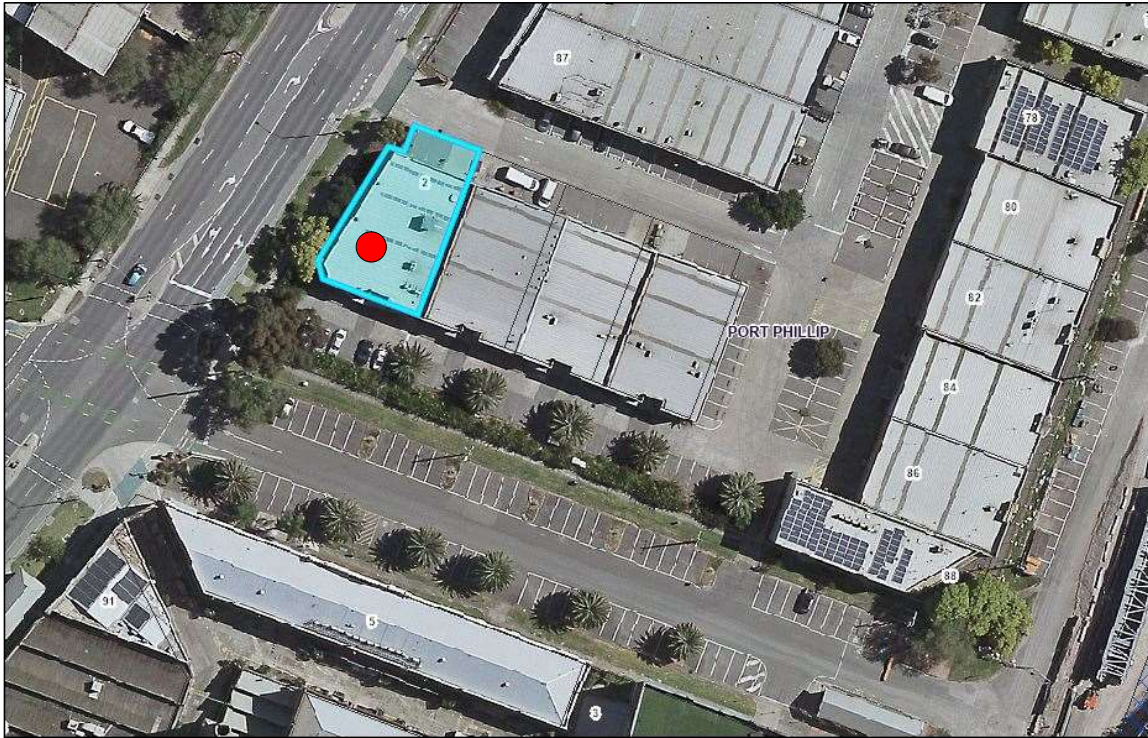
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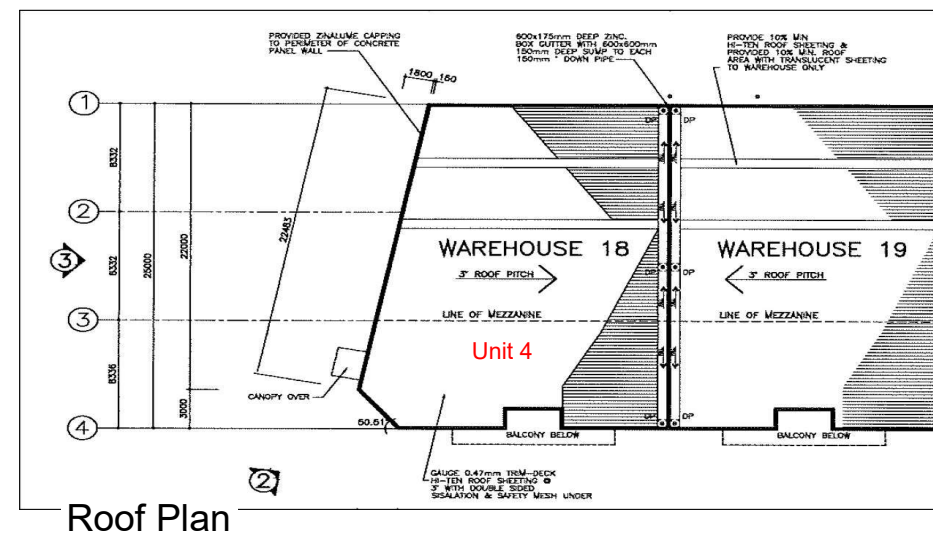
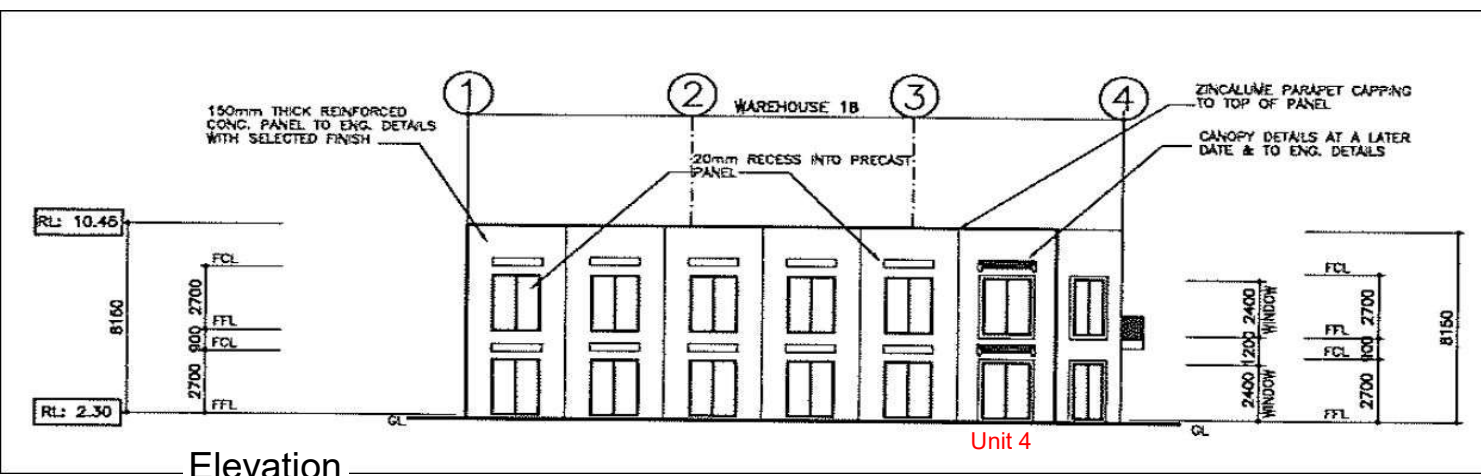
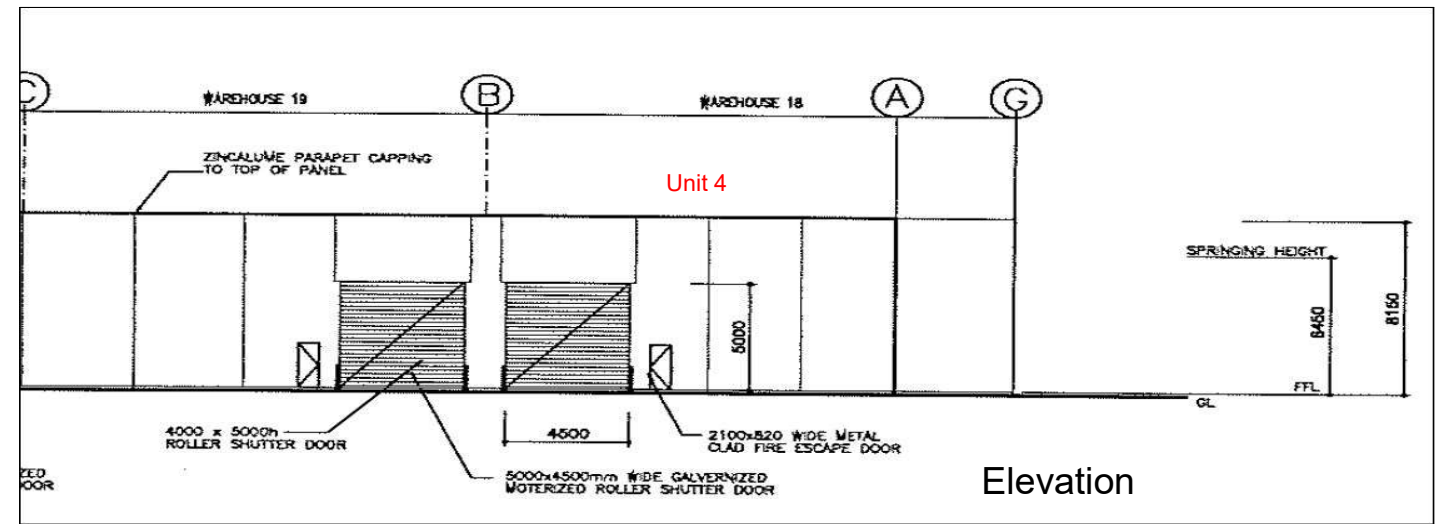
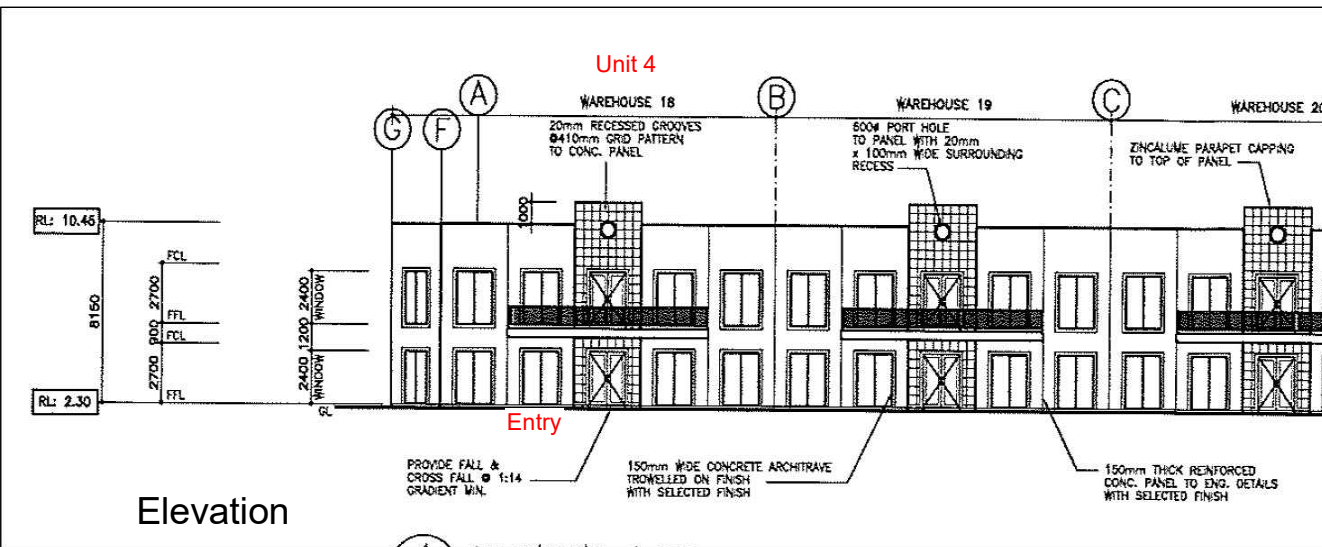
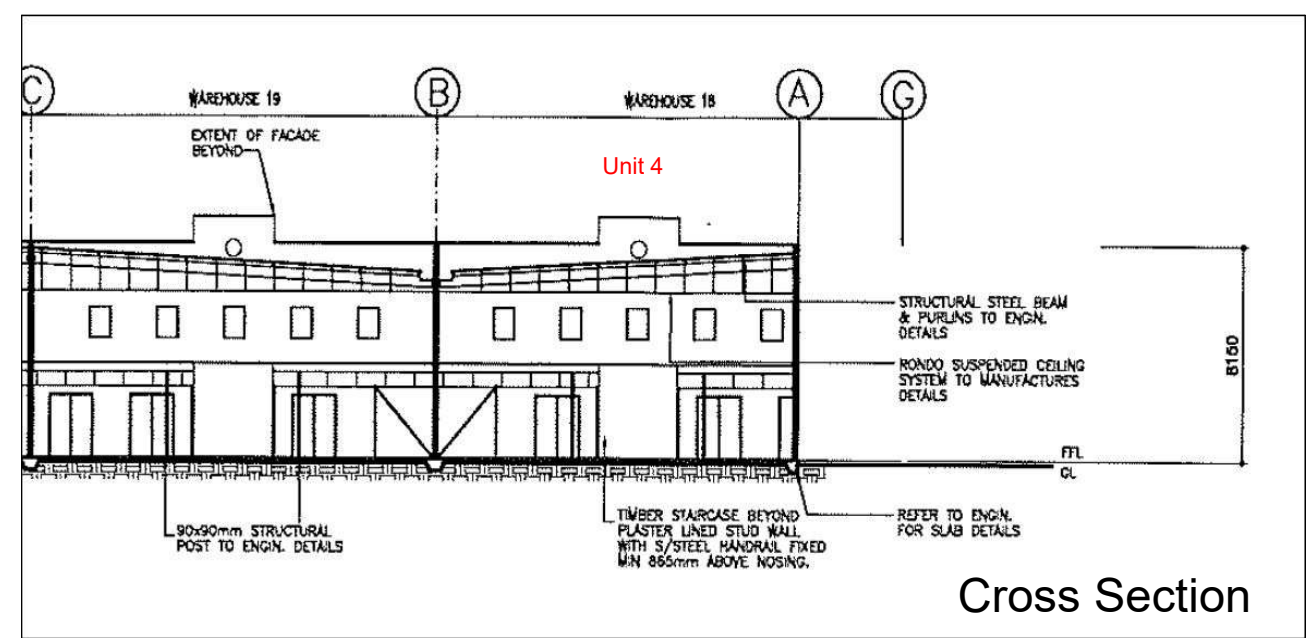
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Proposed Internal Layout

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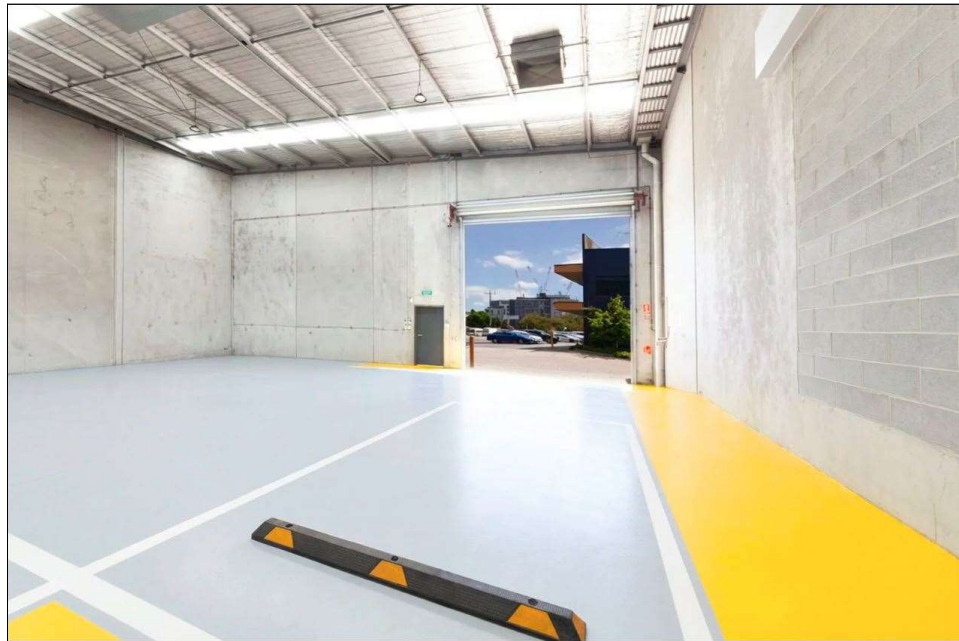
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Existing Details Unit 4

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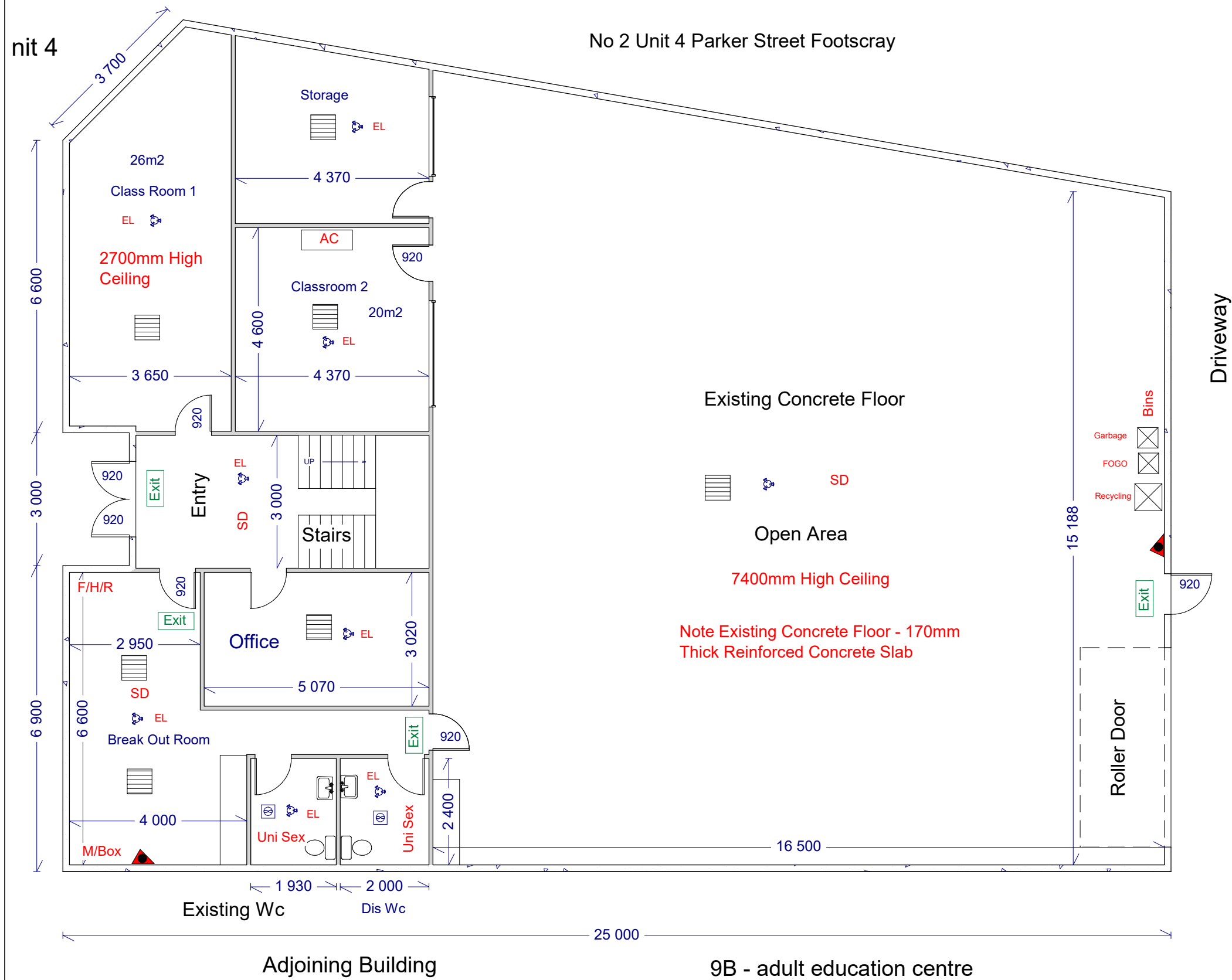
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Existing Photos Unit 4

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Bin Details

Capacity (litres)	Height (mm)	Depth (mm)	Width (mm)	Empty Weight (Kg)	Average * Gross Weight (Kg)
120	1000	600	500	7	29
240	1100	800	600	16	45

Note:

- * = Average Gross Weight is based on domestic waste studies. More weight expected for wet or compacted waste

AS 4123.7-2006 Plastic Bin Colour Coding

Bin	Garbage	FOGO	Recycling
Lid colour	Red	Green	Yellow
Body colour	Green	Green	Green

Note: Private bins shall be labelled to identify the waste generator and site address

3.2 Bin Schedule & Collection frequency

Waste Source	Waste Stream	Bin Qty	Bin Litres	Collection Frequency	Area m ² per Bin
All Building	Garbage	1	120	1/weekly	0.35
	FOGO	1	120	1/weekly	0.35
	Recycling	1	240	1/weekly	0.48
Total Net Bin Storage Area (excludes circulation)					1.18

Note:

- Developer shall provide the bins either purchased from a supplier or leased from the collection contractor.
- Hard rubbish disposal shall be arranged by the school via appropriate contractors.

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Waste Bins

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