

# CITY OF MARIBYRNONG ADVERTISED PLAN

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## AMENDED PLANNING PERMIT

**Permit No.:** TP232/2004(3)  
**Planning Scheme:** Maribyrnong Planning Scheme  
**Responsible Authority:** City of Maribyrnong



**Address of the land:** 291 Sunshine Road TOTTENHAM

**The permit allows:**

Planning Scheme Clause No.	Description of what is allowed
Clause 33.01-1	Use of the land for a place of assembly / worship, childcare centre, indoor recreation facility and mortuary.
Clause 33.01-4	Construct a building or construct or carry out works.
Clause 45.01-1	Use land for any Section 1 or Section 2 use in the zone.
Clause 45.01-1	Construct a building or construct or carry out works.
Clause 52.29-2	Create or alter access to a road in a Transport Zone 2

### The following conditions apply to this permit:

- Before the use and/or development start(s), amended plans must be submitted to the satisfaction of the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and provided in a digital format (where possible). The plans must be generally in accordance with the decision plans, prepared by Sjanich Building Design, variously dated, and Council Date Stamped 2/12/2024, but modified to show:-
  - Details of the approved childcare centre, place of assembly, indoor recreation facility and car parking arrangements generally in accordance with the endorsed plans prepared by Point Architects, Rev. K dated 23.04/2021, Sheets SA002, SA003, SA004, TP101, TP102, TP103, TP104, TP105, TP107, TP108 and TP109, endorsed on 3/5/2021. The submitted plans must include all details, including dimensions and notations consistent with the endorsed plans with the only changes relating to the proposed mortuary and works as proposed under amendment TP232/2024(3).
- The layout of the site as shown on the endorsed plan must not be altered or modified (whether or not in order to comply with any statute, statutory rule or by-law or for any other reason) without the consent of the Responsible Authority.
- Once the development permitted by this permit has commenced, it must be continued and completed to the satisfaction of the Responsible Authority.
- Without further consent of the Responsible Authority;
  - not more than four hundred and forty (440) persons shall be on the subject site (excluding the Childcare Centre use); and
  - not more than 123 children may be accommodated within the Childcare Centre at any one time, to the satisfaction of the Responsible Authority.
- The use (excluding the Childcare Centre) shall operate, to the satisfaction of the Responsible Authority, only between the hours of:

- a. Monday to Sunday 5am to Midnight
- 6. The Childcare Centre shall operate, to the satisfaction of the Responsible Authority, only between the hours of:
  - a. Monday to Sunday 6am to 6pm

Or otherwise approved with the written permission of the Responsible Authority.

- 7. No equipment, goods or machinery, regardless if associated with the use approved on the site or not, shall be stored or allowed to remain on any part of the outside of the buildings on the site.
- 8. Prior to the commencement of the use on the subject site, a footpath connecting Tottenham Road to the main entrance of the site is to be constructed and completed to the satisfaction of the Responsible Authority. The footpath must be DDA compliant.
- 9. The subject site is to be drained to the satisfaction of the Responsible Authority.
- 10. Exterior lighting shall be provided with suitable baffles and/or located so as to minimise the emission of light outside the site, to the satisfaction of the Responsible Authority.
- 11. The area set aside for the parking of vehicles, and so delineated on the endorsed plan, shall be made available for such use and shall not be used for any other purpose. At all times in conformity with the plan, there shall be clearly indicated on the ground the boundaries of all such car spaces and access lanes, the directions in which vehicles should proceed along the access lanes.
- 12. No fewer than 165 car spaces must be provided on the land for the use, including 2 spaces clearly marked for use by disabled persons.
  - a. Prior to the commencement of the use on the subject site, the area set aside for the parking of vehicles, together with the associated access lanes as delineated on the endorsed plan shall:
  - b. be provided and completed to the satisfaction of the Responsible Authority prior to the commencement of the use hereby permitted;
  - c. thereafter be maintained to the satisfaction of the Responsible Authority;
  - d. be made available for such use at all times and not used for any other purpose;
  - e. be properly formed to such levels that it can be used in accordance with the endorsed plan to the satisfaction of the Responsible Authority;
  - f. be drained and sealed with an all-weather seal coat to the satisfaction of the Responsible Authority;
  - g. have the boundaries of all vehicle spaces clearly indicated on the ground in conformity with the endorsed plan, to the satisfaction of the Responsible Authority.
- 13. Before the use allowed by this permit starts, landscaping works as shown on the endorsed plans must be completed to the satisfaction of the Responsible Authority and then maintained to the satisfaction of the Responsible Authority.
- 14. All waste materials shall be disposed of in a harmless and inoffensive manner as directed by the Council's Environmental Health Officer, to the satisfaction of the Responsible Authority.
- 15. The amenity of the area must not be detrimentally affected by the use, to the satisfaction of the Responsible Authority, through the:
  - a. transport of materials, goods or commodities to or from the land;
  - b. appearance of any building, works or materials;



- c. emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot,
  - d. ash, dust, waste water, waste products, grit or oil;
  - e. presence of vermin;
  - f. others as appropriate.
16. No external sound amplification equipment or loudspeakers are to be used for the purpose of announcement, broadcast, playing of music or similar purpose to the satisfaction of the Responsible Authority.
17. Fences must be constructed as indicated on the endorsed plans and shall thereafter be kept in good repair at all times.
18. Deleted.
19. Deleted.
20. Deleted.
21. This permit will expire if one of the following circumstances applies:
- a. The use is not started within four years of the date of this amended permit;
  - b. The buildings and works allowed by this amended permit are not started within two years of the date of this amended permit;
  - c. The buildings and works allowed by this amended permit are not completed within four years of the date of this amended permit.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires or within three months afterwards.

#### **Air Quality Report**

22. Concurrent with the endorsement of plans pursuant to Condition 1, the permit holder must prepare an Air Quality Report. The Air Quality Report should address the following matters (at a minimum);
- a. Incorporation of practical design measures that can mitigate against exposure to poor traffic-related air quality.
  - b. Application of all known best practise building design guides to mitigate the exposure of children to the air pollution.
  - c. Consideration of available guidelines (interstate or international) for operating childcare centres near busy roads, including any mitigation measures.

The permit holder must implement and thereafter maintain all recommendations of the report, at the full cost to the permit holder. All to the satisfaction of the Head, Transport for Victoria and the Responsible Authority.

#### **Risk Assessment Report**

23. The Risk Assessment Report (RAR) of Mr Nigel Cann dated 16 September 2019 that assesses the health and safety risks to occupants of the development by reason of the development being within the pipeline measurement length of the Licensed Pipeline 118 ('PL118') forms part of the permit.

#### **Fire Wall**

24. A 6 metre high fire wall is to be constructed prior to the childcare centre along or near the western boundary of the site, from the northwest corner to a point 25 metres south of the indoor multipurpose facility, such that the wall is never less than 3 metres from PL118.
25. The permit holder must ensure that:

- a. No excavators/machinery over 15 tonnes and/or using penetrating tiger teeth are to be used.
- b. the materials will be delivered on-site, unloaded and placed in position by an experienced and competent operator; and
- c. it gives at least 20 business days notice of works for the construction of the fire wall so that Mobil Oil Australia Pty Ltd ('Mobil'), the operator of PL118, can organise a pipeline spotter, at Mobil's cost, to be present to observe the fire wall installation.

### **Construction Material**

26. Both storeys of the western façade of the childcare centre shall be constructed from non-combustible materials, the west-facing doors in the childcare centre shall be fire rated, the west-facing windows in the childcare centre shall be laminated with appropriate structural support to retain the glass in situ in the event of breakage and the roof of the childcare centre shall be constructed of non-combustible materials such as genuine Colorbond Klip Lok.

### **Construction Management Plan**

27. Prior to any buildings or works commencing the Permit Holder must submit a Construction Management Plan (CMP) to the satisfaction of the Responsible Authority for approval. The CMP must provide details of the following:
- a. measures to ensure no unauthorised materials are to be placed within 3 m of PL118;
  - b. measures to ensure no unauthorised vehicles, excavators or machinery from the site are permitted within 3 m PL118;
  - c. details of measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the CMP;
  - d. Contact details of key construction site staff including after hours contact numbers; and
  - e. Any requirements of (28)(b) of the permit.
28. The permit holder:
- a. Must inform Mobil that construction of buildings and/or works will be commencing at least 20 business days before such commencement; and
  - b. Must include in the CMP any terms and conditions governing work in or around PL118 ("Technical Guidance for Protection of Pipelines during Third Party Works" MEL-PLS-0559 Rev 1.2 (7/10/19)) that are required, in the reasonable opinion of the Responsible Authority, after consultation with Mobil, to address risk to the physical integrity of the pipeline.

### **Emergency Response Plan**

29. The permit holder must develop and implement an Emergency Response Plan (ERP). The ERP needs to address the hazards associated with PL 118, the control measures in place and the steps to be taken should a major incident occur. The ERP must include the following:
- a. Evacuation routes (including evacuation diagrams) which direct occupants through the existing buildings to the eastern side of the Site in the event of a pool fire in the pipeline easement;
  - b. The training and competency regime for staff members at the childcare facility with respect to the implementation of the ERP;
  - c. The frequency of emergency exercises (no less than once every twelve months);
  - d. The process to be followed before outdoor play can occur in the event that a major incident initiating event (specifically, a major vehicle collision, a train derailment or any earthworks in the easement) has occurred in the pipeline easement. This process would primarily consist of a visual inspection of the easement to determine whether any hydrocarbons are pooling and therefore creating the potential for a pool fire to occur; and

- e. The “warning signs” that may indicate a pool fire has started behind the fire-rated wall, and therefore initiate the evacuation procedure.

### Acoustic Report

- 30. Concurrent with the endorsement of plans pursuant to Condition 1, an amended acoustic report must be provided to and be to the satisfaction of the Responsible Authority. The report must be generally consistent with the acoustic report advertised (noted as that report prepared by Acoustic Logic dated 18/05/2018 – Project Number 20171580.1) but modified to recommend measures to mitigate against noise from the railway line to the west of the site. Mitigation measures should consider best practice design sound levels of 35dBA for indoor areas and 30dBA for sleeping areas consistent with AS2107. The permit holder must comply with the finding of the report, including installation and thereafter maintenance of the acoustic measures.

### Environmental Assessment

- 31. Before the development starts, other than necessary demolition and investigation works forming the environmental site assessment process, an Environmental Assessment must be submitted to the Responsible Authority. The Environmental Assessment Report must be prepared by an Environmental Auditor appointed under Section 53S of the Environment Protection Act 1970 (**EP Act**). The report must include recommendations as to whether the condition of the land is such that an Environment Audit should be conducted taking into account the proposed use. The owners/developer must comply with the finding of the site assessment including if required the preparation of an environmental audit.

If an environment audit is required, then before the development starts (other than excavation as necessary) either:

- a. a Certificate of Environmental Audit for the land in accordance with Section 53Y of the EP Act (**Certificate**); or
- b. a Statement of Environmental Audit for the land in accordance with Section 53Z of the EP Act (**Statement**)

If, a Statement is issued:

- a. the:
  - use; and
  - development,

authorised by this permit must not be undertaken unless the Statement of Environmental Audit clearly states that the land is suitable for that use;

- b. the use authorised by this permit must not be undertaken until compliance is achieved with all terms and conditions that the Statement states must be complied with prior to the use commencing;
- c. the development authorised by this permit must not be undertaken until compliance is achieved with the terms and conditions that the Statement states must be complied with prior to development commencing;
- d. prior to the commencement of the use authorised by this permit, a letter prepared by an Environmental Auditor appointed under Section 53S of the EP Act which states that the terms and conditions contained in the Statement have been complied with must be submitted to the responsible authority; and
- e. if any term or condition of the Statement requires any ongoing maintenance or monitoring, the Owner must enter into an agreement with Council pursuant to section 173 of the Planning and Environment Act 1987 (Agreement). The Agreement must:
  - a. provide for the undertaking of the ongoing maintenance and monitoring as required by the Statement; and
  - b. be executed before the development authorised by this permit commences.

The Owner must pay all expenses involved in the drafting, negotiating, lodging, recording and execution of the Agreement, including those incurred by the responsible authority.

32. The preliminary report required by condition 31 must be peer reviewed by an independent Environmental Auditor appointed under Section 53S of the EP Act. The peer review must be undertaken by someone not affiliated with the author of the report (i.e. must not be employed by the same company). The peer review must be undertaken at the cost of the permit holder/developer and to the satisfaction of the Responsible Authority.

### **Engineering Conditions**

33. Vehicular crossing(s) must be constructed and/or modified to the road to suit the proposed driveway(s) to the satisfaction of the Responsible Authority.
34. All disused or redundant vehicle crossings must be removed and the area reinstated with either/or footpath, naturestrip, kerb and channel to the satisfaction of the Responsible Authority.
35. The site must be drained to the satisfaction of the Responsible Authority and is subject to any requirements, conditions and subsequent approval from VicRoads. Stormwater runoff from the site must not cause any adverse impact to the public, any adjoining site or Council asset. Stormwater from all paved area has to be drained to underground stormwater system. Any cut, fill or structure must not adversely affect the natural stormwater runoff from and to adjoining properties.
36. No polluted and/or sediment laden runoff is to be discharged directly or indirectly into Council's drains or watercourses during and after development.
37. The accessway abutting the entrance to the childcare centre must have 'No Standing' signs installed along both sides to ensure the angled parking bays remain accessible at all times.
38. The angled parking bays opposite the entrance to the childcare centre are to be designated pickup/drop off bays, marked as '15 Minute Parking' unless otherwise agreed to in writing by the Responsible Authority.

### **Waste Management**

39. Concurrent with the endorsement of plans pursuant to condition 1, a Waste Management Plan must be prepared by a suitably qualified individual to the satisfaction of the Responsible Authority. The Waste Management Plan must document anticipated waste generation from each use, location of bins and collection method and frequency.

### **Noise**

40. Noise levels emanating from the premises must not exceed the noise levels as determined by the State Environment Protection Policy (Control of Noise from Commerce, Industry and Trade), No. N-1.
41. Noise levels emanating from the premises must not exceed the noise levels as determined by the State Environment Protection Policy (Control of Music Noise from Public Premises), No. N-2.

### **VicRoads Conditions**

42. No change to the level of the footpath - the level of the footpaths must not be lowered or altered in any way to facilitate access to the site.
43. Prior to the commencement of the use of the development hereby approved, all disused or redundant vehicle crossings must be removed and the area reinstated to the satisfaction of the Responsible Authority (RA) and at no cost to VicRoads or the RA.

44. Prior to the commencement of the use or the occupation of the buildings or works hereby approved, the access crossover and associated works must be provided and available for use.
45. Vehicles must enter and exit the land in a forward direction at all times.
46. Both sides of Sunshine Road, being the northern boundary of the site, are to be signposted / marked for "No Stopping" in addition to the existing morning and afternoon peak hour Clearway conditions. (The purpose of this condition is to ensure that the proposed development does not rely on street parking to be able to function).
47. The new 4m crossover on the western part of the site to be "left out" only.
48. All loading and off-loading activities to be contained within the property boundaries.
49. All existing and proposed landscaping must not impact any sight line requirements for pedestrian / cycling / motorist traffic travelling to and from the site and within the site.
50. The type, location, size, lighting and material of the construction of any signage shall be assessed and approved by VicRoads. The approved signage (if applicable) shall not be altered without the written consent of VicRoads.
51. Every effort be made to ensure that the needs of pedestrians/cyclists are addressed. In this regard, bicycle parking facilities shall be provided to the satisfaction of the Council.

#### **Transport for Victoria Conditions**

52. The permit holder must construct and maintain in perpetuity appropriate fencing, to ensure that the subject site does not enable access to the rail corridor adjacent to the site, at a cost borne by the permit holder, to the satisfaction of the Responsible Authority.
53. Building materials (including glass/window treatments) opposite the rail corridor must be non-reflective and avoid using red, green or yellow colour schemes that may interfere with driver operations.
54. All works must be undertaken within the subject property and must not encroach onto railway land.
55. No lighting is to be erected that throws light onto railway tracks or which interferes with the visibility of signals and the railway lines by train drivers.
56. Plants and tree species must be of the type that will not cause any future overhang onto railway land or disturbance of railway operations.
57. No waste, soil or other materials from the works are to be stored or deposited on VicTrack land.
58. No entry onto railway land is permitted without the written consent of the rail operator.

#### **NOTES**

- A **Stormwater Discharge Permit** is required from MCC Operations and Maintenance.
- The owner shall be responsible for the loss of value or damage to Council's assets as a result of the development. Reinstatement or modification of the asset to Applicant.
- A Council officer will contact the owner/builder to arrange a **Street Asset Protection Permit**, and advise of the associated Bond required to be lodged prior to commencement of work.  
Note: If using a private building surveyor, a *Section 80 Form* must be supplied to Council's Building Surveyor to initiate the above process.
- A **Road Opening Permit** from the Responsible Authority is required for any work or excavation within the road reserve.

- Any work within the road reservation must be carried out to the satisfaction of the Responsible Authority.
- Materials are not to be stored on the road reserve without Responsible Authority approval.
- A **Vehicle Crossing Permit** is required from the Responsible Authority for any new crossing prior to the commencement of works. Vehicle crossing(s) shall be constructed in accordance with the Responsible Authority's Standard Drawings, Specification and Vehicle Crossing Policy.
- Upon finalisation of construction and landscaping works please contact Urban Planning on [urbanplanning@maribyrnong.vic.gov.au](mailto:urbanplanning@maribyrnong.vic.gov.au) to arrange a compliance inspection.
- **Development Contribution Plan Levy** - Council has prepared a Municipal Development Contribution Plan (DCP) and is undertaking Planning Scheme Amendment C164 to introduce this DCP into the Maribyrnong Planning Scheme. The DCP proposal allows for the collection of community and development infrastructure levies which go towards funding local infrastructure. The development approved under this permit may be subject to a DCP levy if all planning, subdivision and building permit approvals have not been obtained before the DCP comes into operation. For more information please consult Council's website (search DCP or C164) or call 9600 0200 for more information.

**THIS PERMIT HAS BEEN AMENDED AS FOLLOWS:**

<b>Date of Amendment and/or Correction</b>	<b>Brief description of amendment/correction</b>	<b>Name of responsible authority that approved the amendment</b>	<b>Section of the Act under which the permit has been amended</b>
1 November 2019	<ul style="list-style-type: none"> <li>• Buildings and works for childcare centre and indoor recreation facility.</li> <li>• Increase in patrons numbers to 440.</li> <li>• Subsequent changes to conditions in relation to the above buildings and works and uses.</li> </ul>	Maribyrnong City Council	Section 87/87A
18 December 2024	<ul style="list-style-type: none"> <li>• Addition of a mortuary to the site.</li> <li>• Buildings and works to the south side of the mortuary for landscaping.</li> <li>• Additional buildings and works to the mosque building at its north-east side.</li> <li>• Condition 1 amended.</li> </ul>	Maribyrnong City Council	Section 74

**Date Issued**

2 June 2005

**Signature for the Responsible Authority**



Date of expiry: 1 November 2025 (if development has not commenced)

## IMPORTANT INFORMATION ABOUT THIS PERMIT

### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the Planning and Environment Act 1987.)

### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:

- (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
- (ii) the date on which it was issued, in any other case.

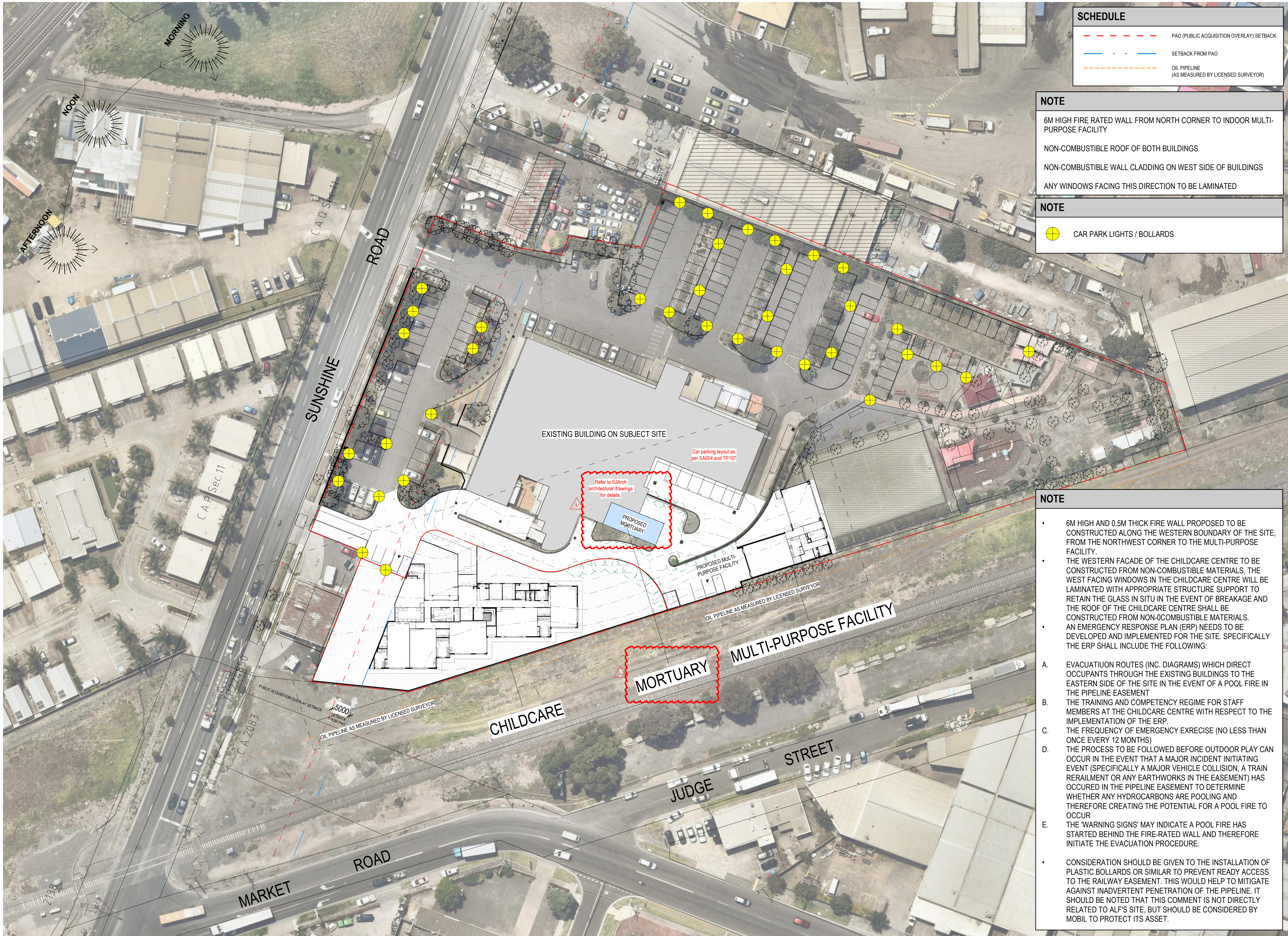
### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if:
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development required the certification of a plan of subdivision or consolidation under the Subdivision Act 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the Subdivision Act 1988.
2. A permit for the use of land expires if;
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if;
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A (2) of the Planning and Environment Act 1987, or to any combination of use, development or any of those circumstances requires the certification of a plan under the Subdivision Act 1988, unless the permit contains a different provision;
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

### WHAT ABOUT APPEALS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case, no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued unless a Notice of Decision to Grant a Permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- An application for review must also be served on the Responsible Authority.
- Details about application for review and the fees payable can be obtained from Victorian Civil and Administrative Tribunal.





- DESIGN RESPONSE**
- Approach to the centre easily and safe for arrival and departure of parents and children.
  - Safe and direct transfer of children from the car to the footpath.
  - See through security fence with childproof opening device to the main entry.
  - Easy and direct access between indoor and sufficient outdoor play spaces.
  - Children's room located with direct access from each room to outdoor play areas.
  - Children's room directly accessible from corridor.
  - Outdoor space is enclosed by fence barrier.
  - Quality outdoor play space providing opportunities for children to explore and develop a relationship with the natural environment.
  - Staff and support facilities conveniently located to one another service areas with convenient access to the street.
  - Service yard in close proximity to the services.
  - Outdoor lighting must be designed, baffled and located to the satisfaction of the responsible authority such that no direct light emitted outside the boundaries of the subject land. Any security lighting is to be connected to a sensor so that illumination of the site is not continuous.
  - Car spaces and accessways are to be designed in accordance with clause 52.06-87 of planning scheme.
  - Disabled car parking spaces are to be provided in accordance with Australian Standard AS/NZS 2890.6:2009 with inclusion of the bollard and shared space.
  - A sign or signs must be provided to the satisfaction of the responsible authority to direct drivers to the on-site car parking area. Such sign(s) must be located in the vicinity of the frontage of the subject land and maintained to the satisfaction of the responsible authority. The sign(s) must not exceed 0.3m<sup>2</sup> in area.
  - All waste water generated onsite must comply with City West Water trade waste requirements before discharge to the reticulated sewerage system.
  - Risk report has been prepared and 6M high fire rated wall has been proposed as per consultants recommendations

AREA ANALYSIS			
OVERALL SITE AREA	17725 m <sup>2</sup>		
CHILDCARE CENTRE AREA	2293 m <sup>2</sup>		
OVERALL NUMBER OF CHILDREN	118		
TOTAL OUTDOOR AREA	914 m <sup>2</sup>		
PERMEABLE AREA	1229 m <sup>2</sup>	87.8%	
IMPERVIOUS AREA	171 m <sup>2</sup>	12.2%	

OUTDOOR PLAY AREA SCHEDULE				
Outdoor Play Area No.	Level	No. of Children	Area	
	CC - L00	118	890 m <sup>2</sup>	
	MPF - L00		24 m <sup>2</sup>	
ROOM AREA SCHEDULE				
Room No.	Clear Area	Age	No. of Children	Level
ROOM 1	47 m <sup>2</sup>	UNDER 3 YEARS	12	CC - L00
ROOM 2	69 m <sup>2</sup>	UNDER 3 YEARS	20	CC - L00
ROOM 3	68 m <sup>2</sup>	UNDER 3 YEARS	20	CC - L00
ROOM 4	80 m <sup>2</sup>	ABOVE 3 YEARS	22	CC - L00
ROOM 5	79 m <sup>2</sup>	ABOVE 3 YEARS	22	CC - L00
ROOM 6	72 m <sup>2</sup>	ABOVE 3 YEARS	22	CC - L00
ROOM 1	98 m <sup>2</sup>			MPF - L00
ROOM 2	81 m <sup>2</sup>			MPF - L00

PARKING ANALYSIS	
TOTAL CAR SPACES	165
TOTAL BIKE SPACES	4

**NOTE**

CAVEAT THE LEVELS UNTIL ENGINEERING IS COMPLETE.

**ROOM AREA:**  
Exclusive of : Cot Room / Store / Toilet / Prep area / Storage / Lockers

**OUTDOOR PLAY AREA:**  
Exclusive of : Store Area

**NOTE**

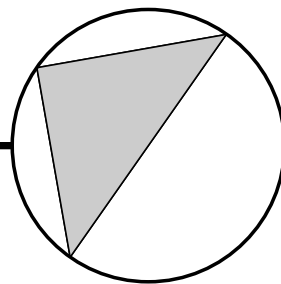
FOR ALL LANDSCAPE/OUTDOOR PLAY AREA REFER TOP LANDSCAPE CONSULTANT'S DRAWINGS

ALL GLAZING AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

SCREEN/FENCES MATERIALS AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

AREA ANALYSIS	
MULTI-PURPOSE FACILITY BUILDING FOOTPRINT	297 m <sup>2</sup>

REV	DESCRIPTION	DRN	CHK	DATE
G	UPDATE AS PER TRAFFIC REPORT	IC	SS	13.06.18
H	ISSUE FOR VICROADS	IC	SS	18.12.18
I	CHANGES PER CONDITION 1	IC	SS	11.01.2019
J	UPDATE ARCHITECTURAL DRAWINGS	IC	SS	17.09.2019
K	TOWN PLANNING	RL	SS	23.04.2021
L	SECONDARY CONSENT ISSUE - MORTUARY ADDITION	MN	MN	16.01.2025





**ENDORSEMENT**  
PLANNING AND ENVIRONMENT ACT 1987  
MARIIBYRNONG PLANNING SCHEME

THIS DOCUMENT IS HEREBY ENDORSED AND FORMS  
PAGE 2 of 19 OF THE PLAN REFERRED TO IN  
PLANNING PERMIT NO: TP - 232/2004

 30/01/2025  
SIGNED FOR AND ON DATE  
BEHALF OF THE  
RESPONSIBLE AUTHORITY

EXISTING BUILDING ON  
SUBJECT SITE

EXISTING BUILDING  
/ SPORT CENTRE

PROPOSED MORTUARY  
REFER TO SJARCH ARCHITECTURALS  
DRAWINGS FOR DETAILS, INCLUDING  
LANDSCAPING.

PROPOSED CHILDCARE  
CENTRE

OUTDOOR PLAY  
AREA 2

OVERALL NUMBER OF CHILDREN  
AT GROUND LEVEL: 106  
REQUIRED AREA: 742.00 m<sup>2</sup>

**NOTE**

6M HIGH FIRE RATED WALL FROM NORTH CORNER TO INDOOR MULTI-PURPOSE FACILITY

NON-COMBUSTIBLE ROOF OF BOTH BUILDINGS

NON-COMBUSTIBLE WALL CLADDING ON WEST SIDE OF BUILDINGS

ANY WINDOWS FACING THIS DIRECTION TO BE LAMINATED

**NOTE**

FOR ALL LANDSCAPE/OUTDOOR PLAY AREA REFER TOP LANDSCAPE CONSULTANT'S DRAWINGS

ALL GLAZING AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

SCREEN/FENCES MATERIALS AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

**SCHEDULE**

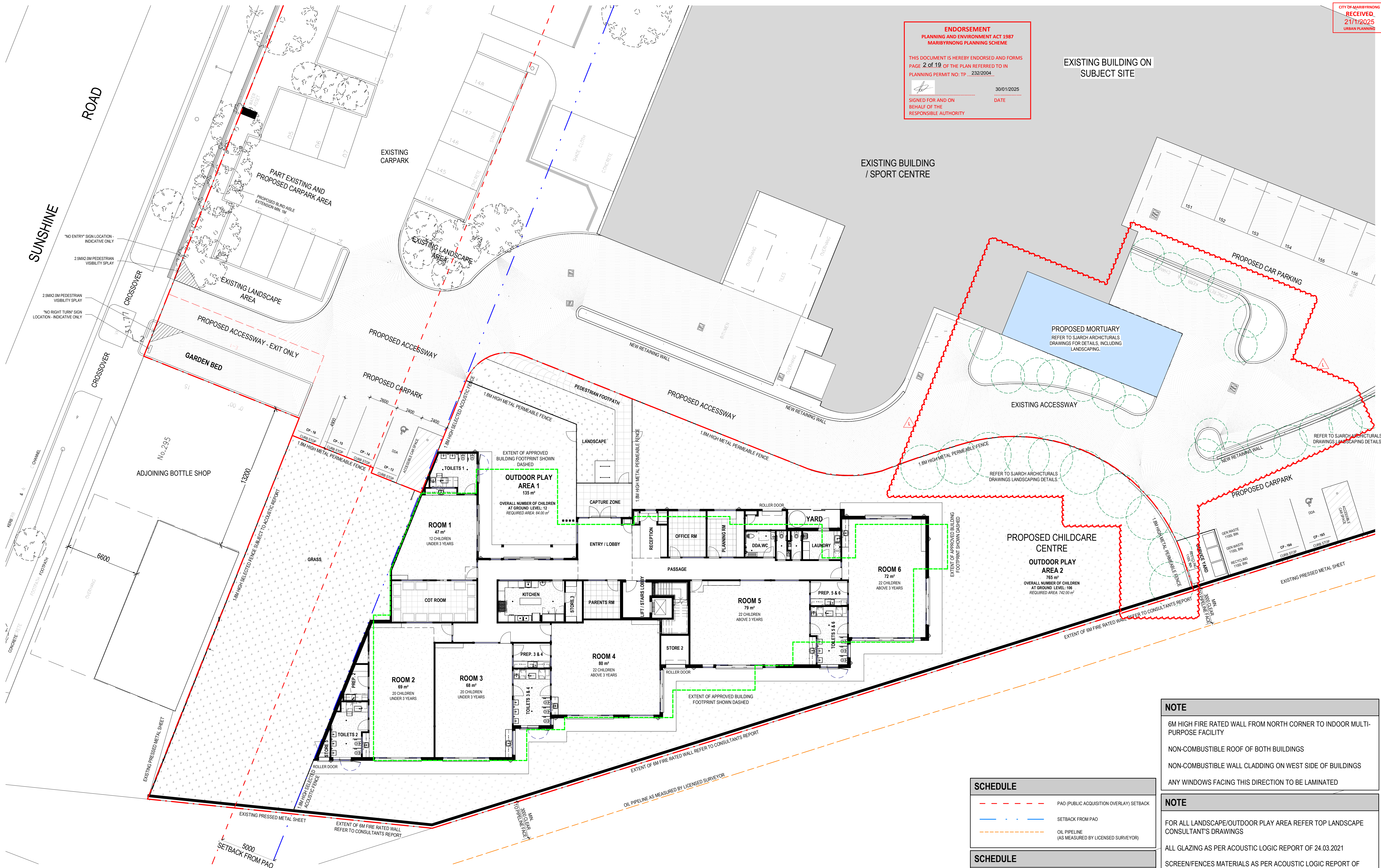
--- PAO (PUBLIC ACQUISITION OVERLAY) SETBACK

--- SETBACK FROM PAO

--- OIL PIPELINE (AS MEASURED BY LICENSED SURVEYOR)

**SCHEDULE**

--- EXTENT OF APPROVED BUILDING FOOTPRINT

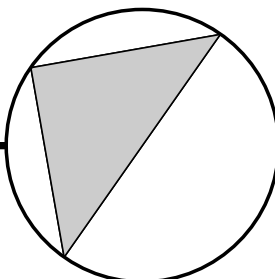


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REV	DESCRIPTION	DRN	CHK	DATE
G	UPDATE AS PER TRAFFIC REPORT	IC	SS	13.06.18
H	ISSUE FOR VICROADS	IC	SS	18.12.18
I	CHANGES PER CONDITION 1	IC	SS	11.01.2019
J	UPDATE ARCHITECTURAL DRAWINGS	IC	SS	17.09.2019
K	TOWN PLANNING	RL	SS	23.04.2021
L	SECONDARY CONSENT ISSUE - MORTUARY ADDITION	MN	MN	16.01.2025



**PRELIMINARY**

PROJECT  
PROPOSED CHILDCARE CENTRE  
291 SUNSHINE RD TOTTENHAM

TITLE  
SITE PLAN CHILDCARE

DRAWN  
Author

SCALE  
As indicated  
@ A1

PLOT DATE  
DWG No

JOB No.  
834

REVISION  
SA003 L

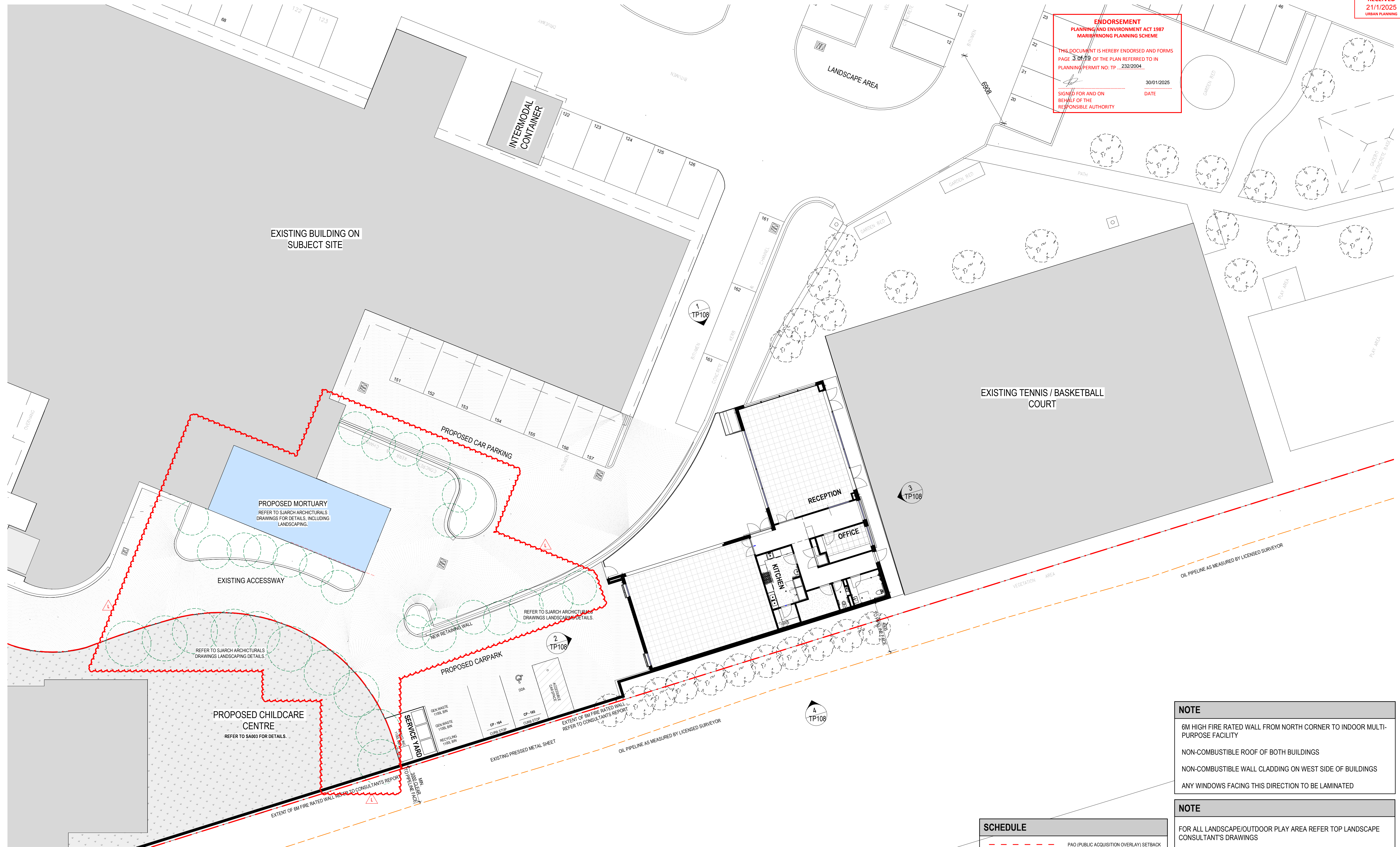


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PLANNING AND ENVIRONMENT ACT 1987  
MARRIBYRNONG PLANNING SCHEME

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30/01/2025  
DATE



**NOTE**

6M HIGH FIRE RATED WALL FROM NORTH CORNER TO INDOOR MULTI-PURPOSE FACILITY

NON-COMBUSTIBLE ROOF OF BOTH BUILDINGS

NON-COMBUSTIBLE WALL CLADDING ON WEST SIDE OF BUILDINGS

ANY WINDOWS FACING THIS DIRECTION TO BE LAMINATED

**NOTE**

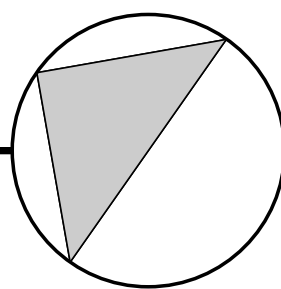
FOR ALL LANDSCAPE/OUTDOOR PLAY AREA REFER TOP LANDSCAPE CONSULTANT'S DRAWINGS

ALL GLAZING AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

SCREEN/FENCES MATERIALS AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

SCHEDULE	
---	PAO (PUBLIC ACQUISITION OVERLAY) SETBACK
---	SETBACK FROM PAO
---	OIL PIPELINE (AS MEASURED BY LICENSED SURVEYOR)

REV	DESCRIPTION	DRN	CHK	DATE
G	UPDATE AS PER TRAFFIC REPORT	IC	SS	13.06.18
H	ISSUE FOR VICROADS	IC	SS	18.12.18
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K	TOWN PLANNING	RL	SS	23.04.2021
L	SECONDARY CONSENT ISSUE - MORTUARY ADDITION	MN	MN	16.01.2025



**PRELIMINARY**

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
PROPOSED CHILDCARE CENTRE 291 SUNSHINE RD TOTTENHAM	SITE PLAN - MULTI-PURPOSE FACILITY	Author	As indicated @ A1		834
				DWG No.	REVISION
				SA004	L



REFER TO SJARCH ARCHITECTURALS  
DRAWINGS LANDSCAPING DETAILS.

GENERAL WASTE  
1100L BIN  
RECYCLING  
1100L BIN

REFER TO CONSULTANT'S REPORT

PROPOSED MORTUARY  
REFER TO SJARCH ARCHITECTURALS  
DRAWINGS FOR DETAILS INCLUDING  
LANDSCAPING.

EXISTING ACCESSWAY

EXISTING BUILDING  
/ SPORT CENTRE

PROPOSED ACCESSWAY

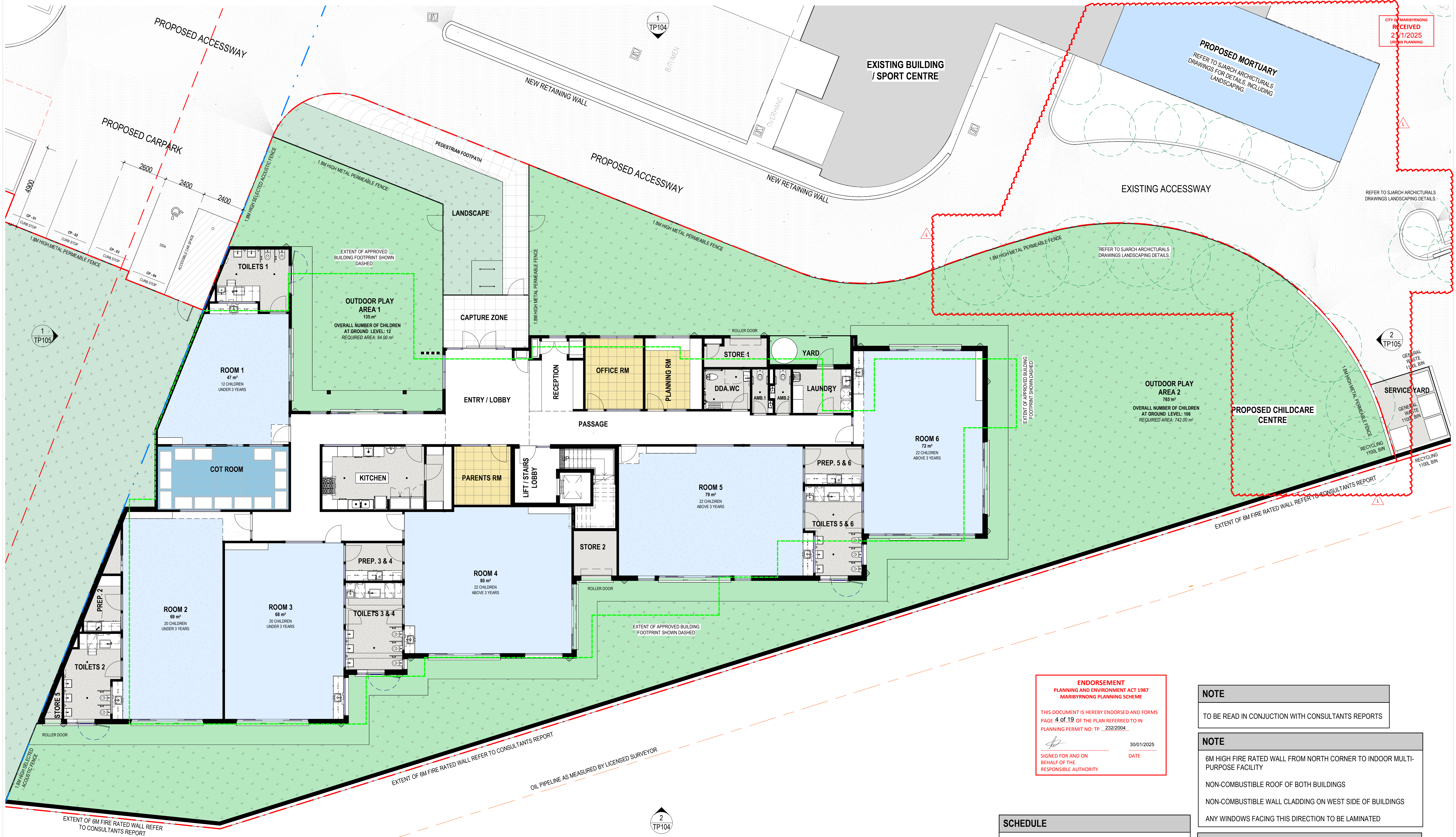
NEW RETAINING WALL

NEW RETAINING WALL

PEDESTRIAN FOOTPATH

PROPOSED ACCESSWAY

PROPOSED CARPARK



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6M HIGH FIRE RATED WALL FROM NORTH CORNER TO INDOOR MULTI-PURPOSE FACILITY

NON-COMBUSTIBLE ROOF OF BOTH BUILDINGS

NON-COMBUSTIBLE WALL CLADDING ON WEST SIDE OF BUILDINGS

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**NOTE**

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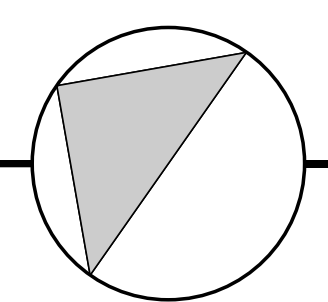
SCHEDULE	
	EXTENT OF APPROVED BUILDING FOOTPRINT
SCHEDULE	
	PAO (PUBLIC ACQUISITION OVERLAY) SETBACK
	SETBACK FROM PAO
	OIL PIPELINE (AS MEASURED BY LICENSED SURVEYOR)

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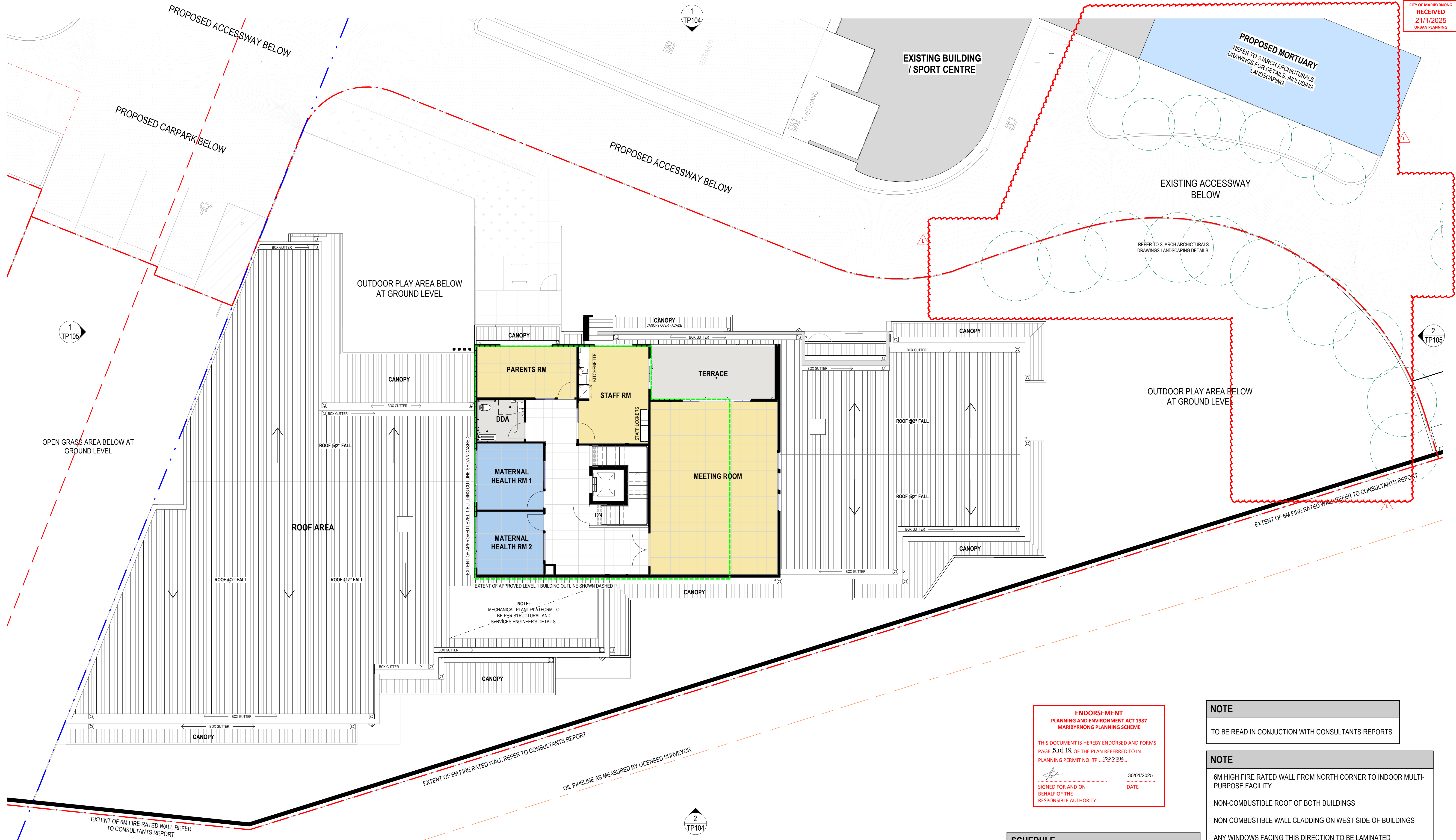
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G	UPDATE AS PER TRAFFIC REPORT	IC	SS	13.06.18
H	ISSUE FOR VICROADS	IC	SS	18.12.18
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PRELIMINARY

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
PROPOSED CHILDCARE CENTRE 291 SUNSHINE RD TOTTENHAM	PROPOSED FLOOR PLAN - L00	SS	1 : 100 @ A1		834
		DWG No.	REVISION		
		TP101	L		





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PLANNING AND ENVIRONMENT ACT 1987  
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NON-COMBUSTIBLE ROOF OF BOTH BUILDINGS

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SCREEN/FENCES MATERIALS AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

SCHEDULE	
	EXTENT OF APPROVED BUILDING FOOTPRINT

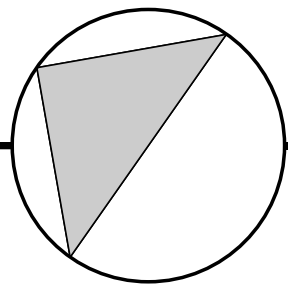
SCHEDULE	
	PAO (PUBLIC ACQUISITION OVERLAY) SETBACK
	SETBACK FROM PAO
	OIL PIPELINE (AS MEASURED BY LICENSED SURVEYOR)

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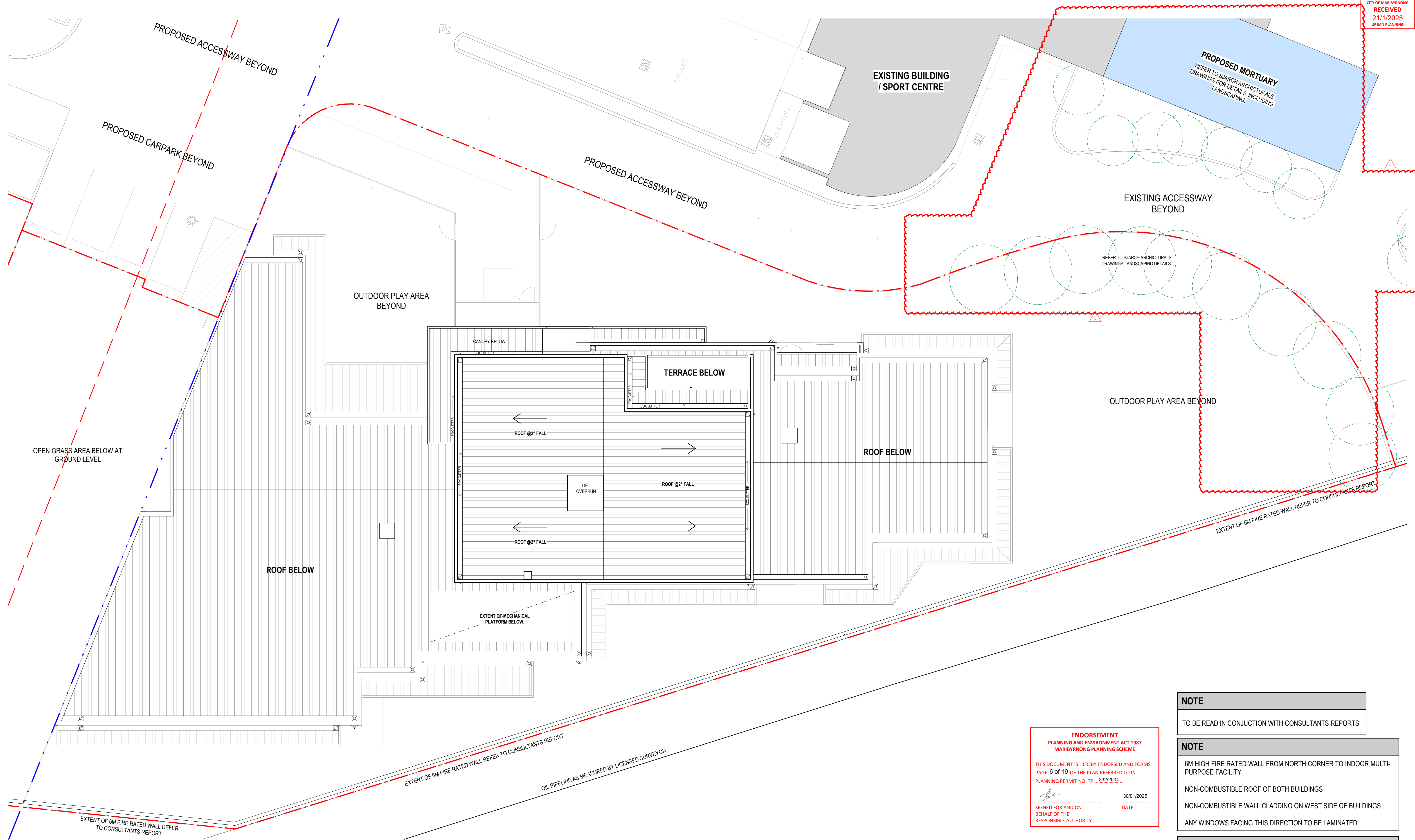
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H	ISSUE FOR VICROADS	IC	SS	18.12.18
I	CHANGES PER CONDITION 1	IC	SS	11.01.2019
J	UPDATE ARCHITECTURAL DRAWINGS	IC	SS	17.09.2019
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L	SECONDARY CONSENT ISSUE - MORTUARY ADDITION	MN	MN	16.01.2025



PRELIMINARY

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
PROPOSED CHILDCARE CENTRE 291 SUNSHINE RD TOTTENHAM	PROPOSED FLOOR PLAN - L01	SS	1 : 100 @ A1		834
		DWG No.	REVISION		
		TP102	L		





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**NOTE**

6M HIGH FIRE RATED WALL FROM NORTH CORNER TO INDOOR MULTI-PURPOSE FACILITY

NON-COMBUSTIBLE ROOF OF BOTH BUILDINGS

NON-COMBUSTIBLE WALL CLADDING ON WEST SIDE OF BUILDINGS

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**NOTE**

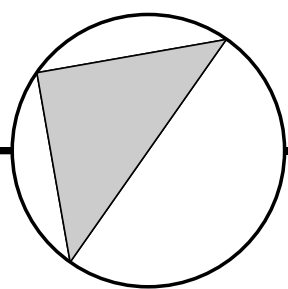
FOR ALL LANDSCAPE/OUTDOOR PLAY AREA REFER TOP LANDSCAPE CONSULTANT'S DRAWINGS

ALL GLAZING AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

SCREEN/FENCES MATERIALS AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

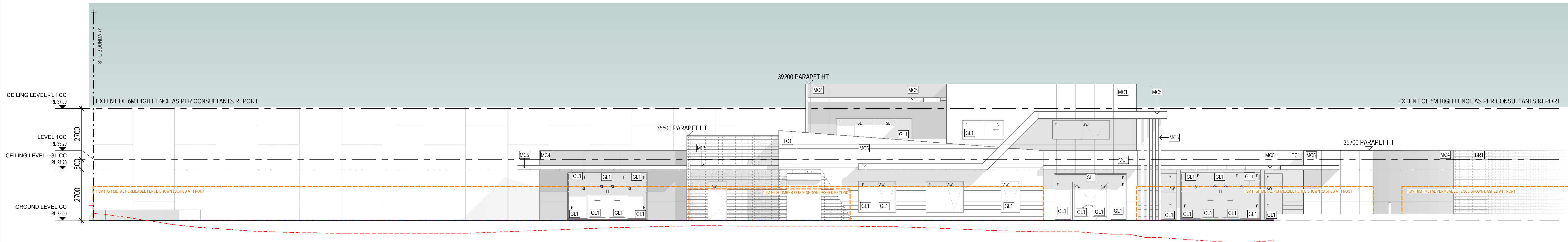
SCHEDULE	
	PAO (PUBLIC ACQUISITION OVERLAY) SETBACK
	SETBACK FROM PAO
	OIL PIPELINE (AS MEASURED BY LICENSED SURVEYOR)

REV	DESCRIPTION	DRN	CHK	DATE
G	UPDATE AS PER TRAFFIC REPORT	IC	SS	13.06.18
H	ISSUE FOR VICROADS	IC	SS	18.12.18
I	CHANGES PER CONDITION 1	IC	SS	11.01.2019
J	UPDATE ARCHITECTURAL DRAWINGS	IC	SS	17.09.2019
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L	SECONDARY CONSENT ISSUE – MORTUARY ADDITION	MN	MN	16.01.2025

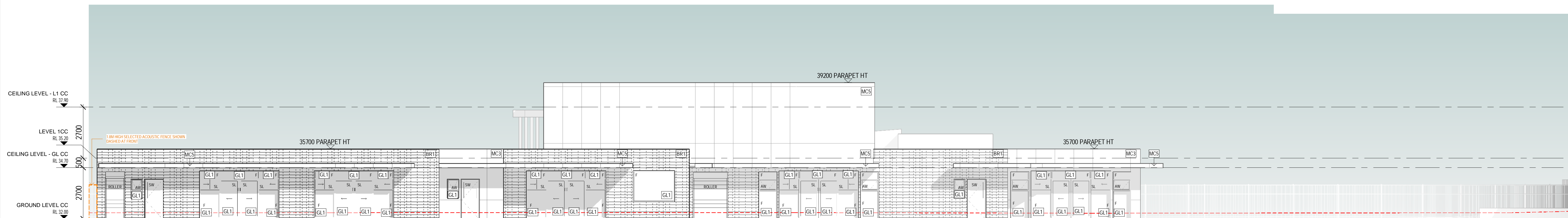


**PRELIMINARY**

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
PROPOSED CHILD CARE CENTRE 291 SUNSHINE RD TOTTENHAM	PROPOSED ROOF PLAN	SS	1 : 100 @ A1		834
		DWG No.	REVISION		
		TP103	L		




1 ELEVATION EAST  
TP104 SCALE 1 : 100



2 ELEVATION WEST  
TP104 SCALE 1 : 100

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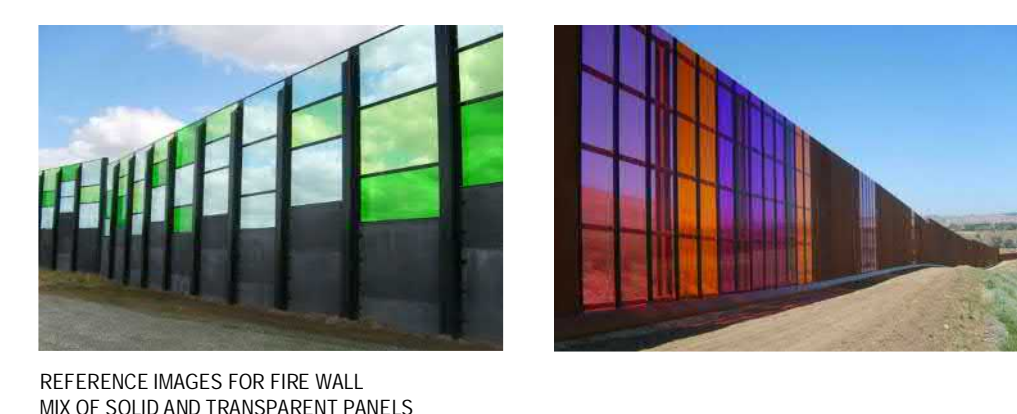
 30/01/2025  
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MATERIAL SCHEDULE

 [TC1] TIMBER LOOK CLADDING WITH HORIZONTAL EMPHASIS	 [MC2] MATRIX CLADDING MONUMENT OR SIMILAR	 [MC5] MATRIX CLADDING WHISPER WHITE OR SIMILAR
 [BR1] BRICK FINISH AUSTRAL METALLIX EMERY OR SIMILAR	 [MC3] MATRIX CLADDING BLUE DULUX SEA BLUE OR SIMILAR	 [RF] ROOF SHEET FINISH COLOUR, COLORBOND MONUMENT OR SIMILAR
 [MC1] MATRIX CLADDING MULTI-COLOUR 'HIT AND MISS'	 [MC4] MATRIX CLADDING WINDSPRAY OR SIMILAR	 [DP] CHANGES PER CONDITION 1 UPDATED ARCHITECTURAL DRAWINGS

 [WIN] ALUMINIUM WINDOW FRAME_BLACK	 [GL3] COLOURED ACRYLIC
 [GL1] GLAZED WINDOW 1 FINISH_CLEAR	
 [GL2] GLAZED WINDOW 2 TINT_BLACK	

REFERENCE IMAGES



REFERENCE IMAGES FOR FIRE WALL  
MIX OF SOLID AND TRANSPARENT PANELS

NOTE

TO BE READ IN CONJUNCTION WITH CONSULTANTS REPORTS

NOTE

----- NATURAL GROUND LEVEL

NOTE

FOR ALL LANDSCAPE/OUTDOOR PLAY AREA REFER TOP LANDSCAPE  
CONSULTANT'S DRAWINGS

ALL GLAZING AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

SCREEN/FENCES MATERIALS AS PER ACOUSTIC LOGIC REPORT OF  
24.03.2021

NOTE

6M HIGH FIRE RATED WALL FROM NORTH CORNER TO INDOOR MULTI-  
PURPOSE FACILITY

NON-COMBUSTIBLE ROOF OF BOTH BUILDINGS

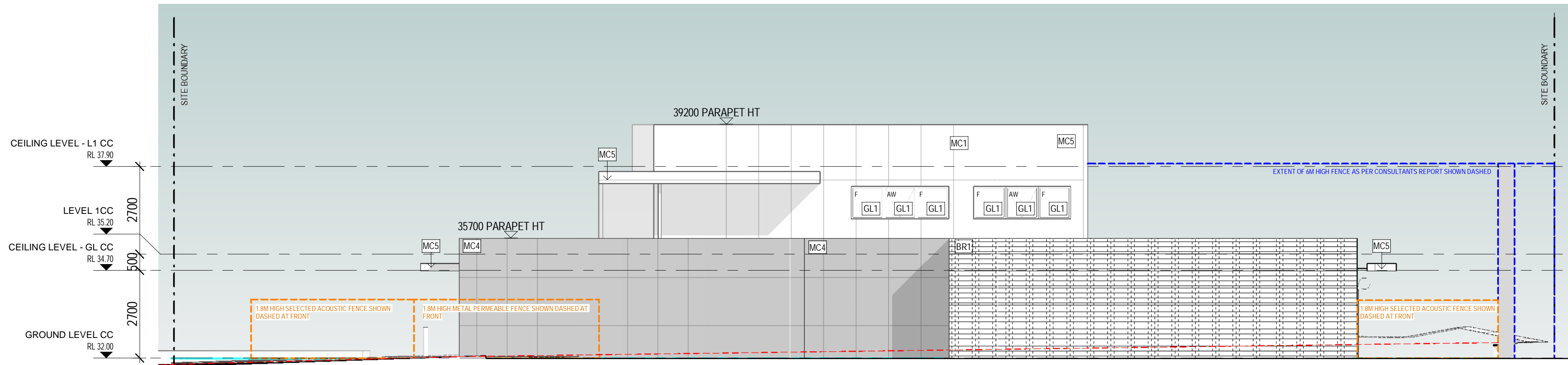
NON-COMBUSTIBLE WALL CLADDING ON WEST SIDE OF BUILDINGS

ANY WINDOWS FACING THIS DIRECTION TO BE LAMINATED

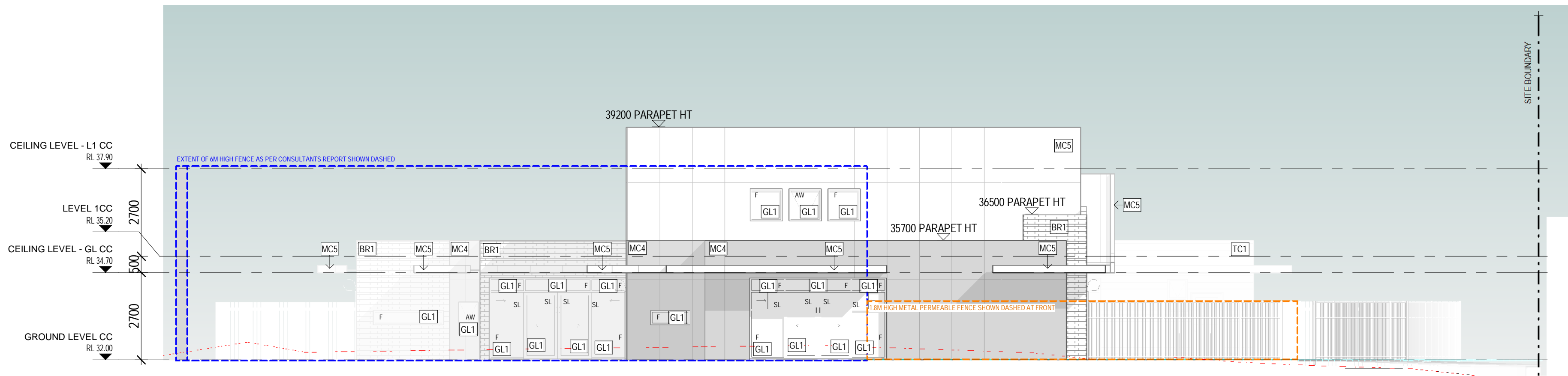
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I	CHANGES PER CONDITION 1	IC	SS	11.01.2019
J	UPDATED ARCHITECTURAL DRAWINGS	IC	SS	17.09.2019
K	TOWN PLANNING	RL	SS	23.04.2021

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
PROPOSED CHILDCARE CENTRE 291 SUNSHINE RD TOTTENHAM	PROPOSED ELEVATIONS SHEET 1	SS	1 : 100 @ A1	26/04/2021 3:23:58 PM DWG No	834 REVISION TP104 K





1 ELEVATION NORTH  
TP105 SCALE 1 : 100



2 ELEVATION SOUTH  
TP105 SCALE 1 : 100

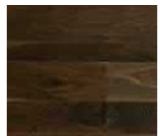








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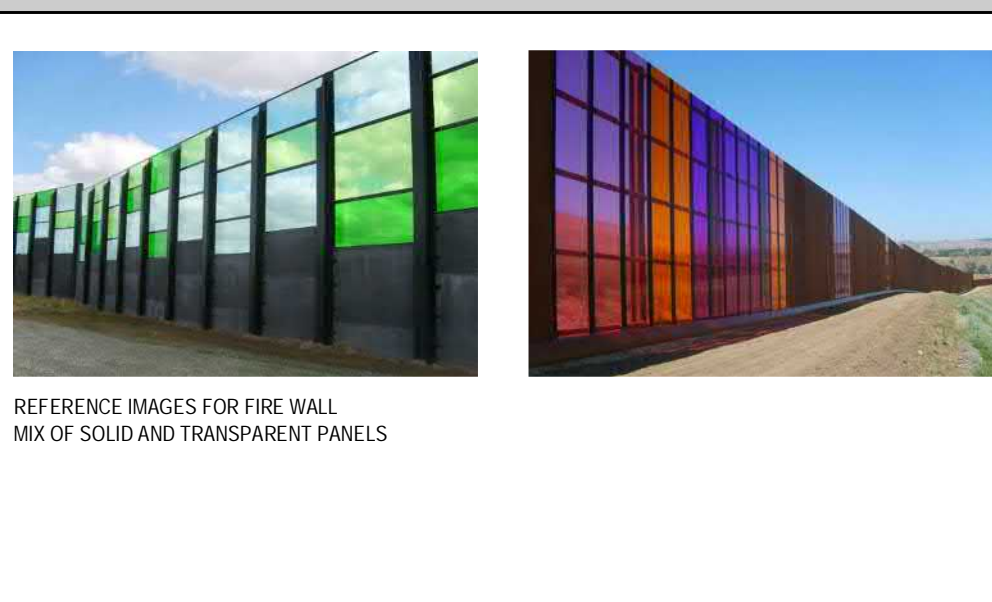
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30/01/2025  
DATE

MATERIAL SCHEDULE

 [TC1] TIMBER LOOK CLADDING WITH HORIZONTAL EMPHASIS	 [MC2] MATRIX CLADDING MONUMENT OR SIMILAR	 [MC5] MATRIX CLADDING WHISPER WHITE OR SIMILAR
 [BR1] BRICK FINISH AUSTRAL METALLIX EMERY OR SIMILAR	 [MC3] MATRIX CLADDING BLUE DULUX SEA BLUE OR SIMILAR	 [RF] ROOF SHEETIN FINISH COLOUR_COLORBOND MONUMENT OR SIMILAR
 [MC1] MATRIX CLADDING MULTI-COLOUR 'HIT AND MISS'	 [MC4] MATRIX CLADDING WINDSPRAY OR SIMILAR	 [DP] ALL CAPPINGS, RAINWATERHEADS AND DOWNPIPES COLOUR_COLORBOND MONUMENT OR SIMILAR

REFERENCE IMAGES



NOTE

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SCREEN/FENCES MATERIALS AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

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NON-COMBUSTIBLE ROOF OF BOTH BUILDINGS

NON-COMBUSTIBLE WALL CLADDING ON WEST SIDE OF BUILDINGS

ANY WINDOWS FACING THIS DIRECTION TO BE LAMINATED

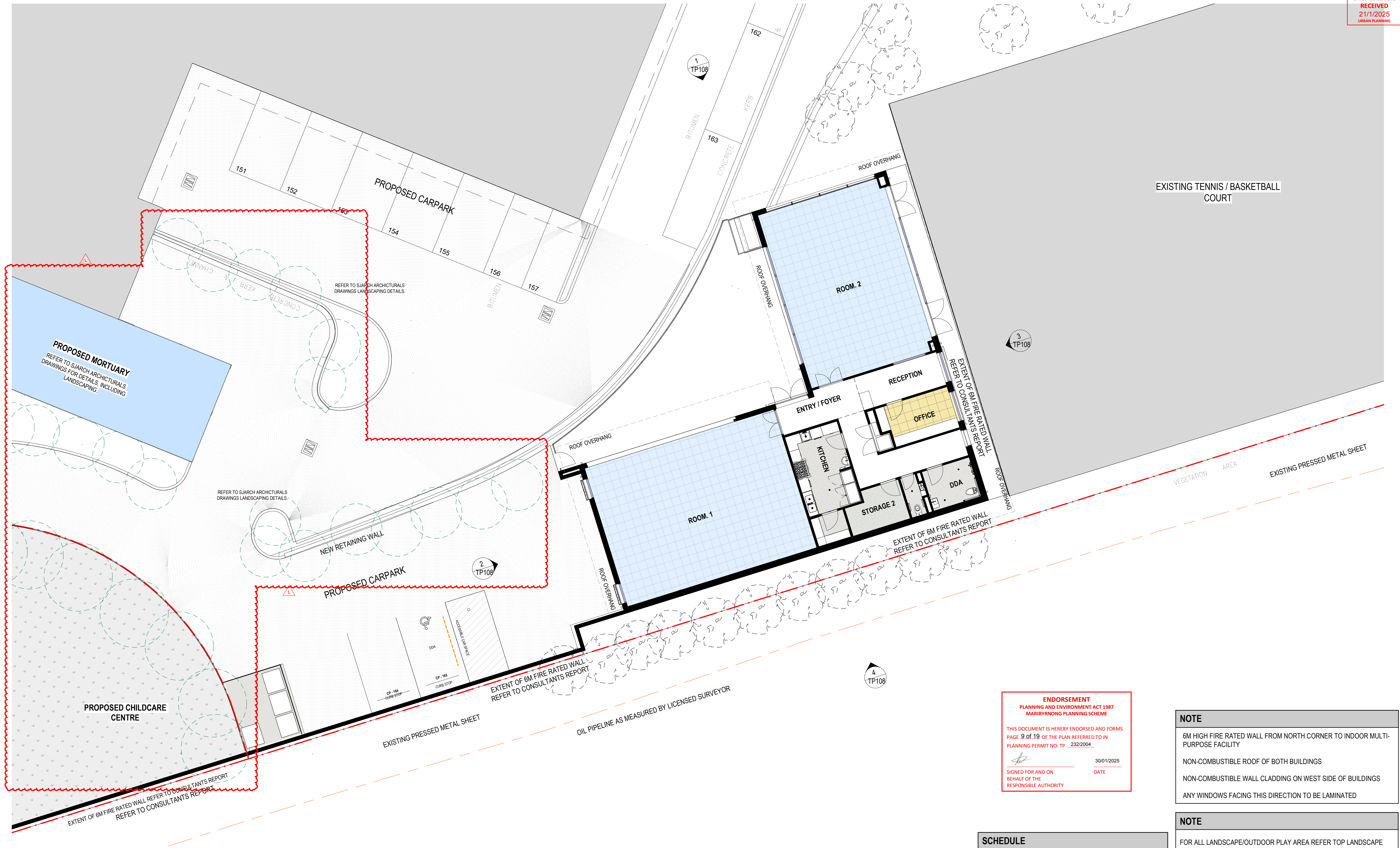
NOTE

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NOTE

----- NATURAL GROUND LEVEL





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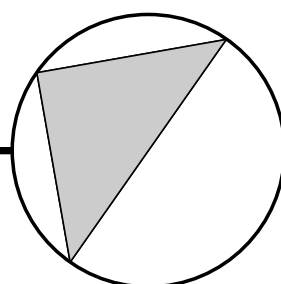
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SCREEN/FENCES MATERIALS AS PER ACOUSTIC LOGIC REPORT OF 24.03.2021

SCHEDULE	
---	PAO (PUBLIC ACQUISITION OVERLAY) SETBACK
---	SETBACK FROM PAO
---	OIL PIPELINE (AS MEASURED BY LICENSED SURVEYOR)

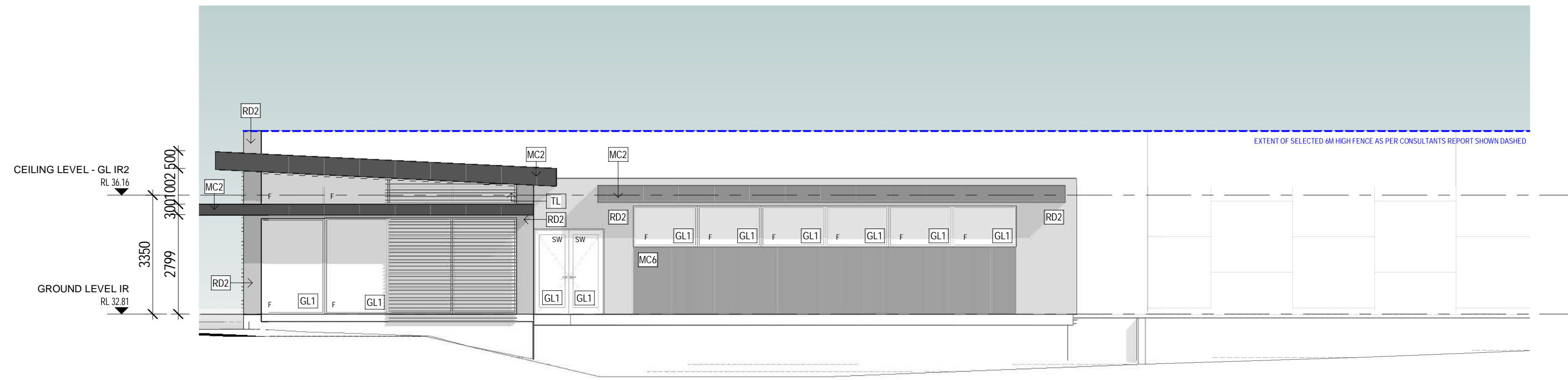
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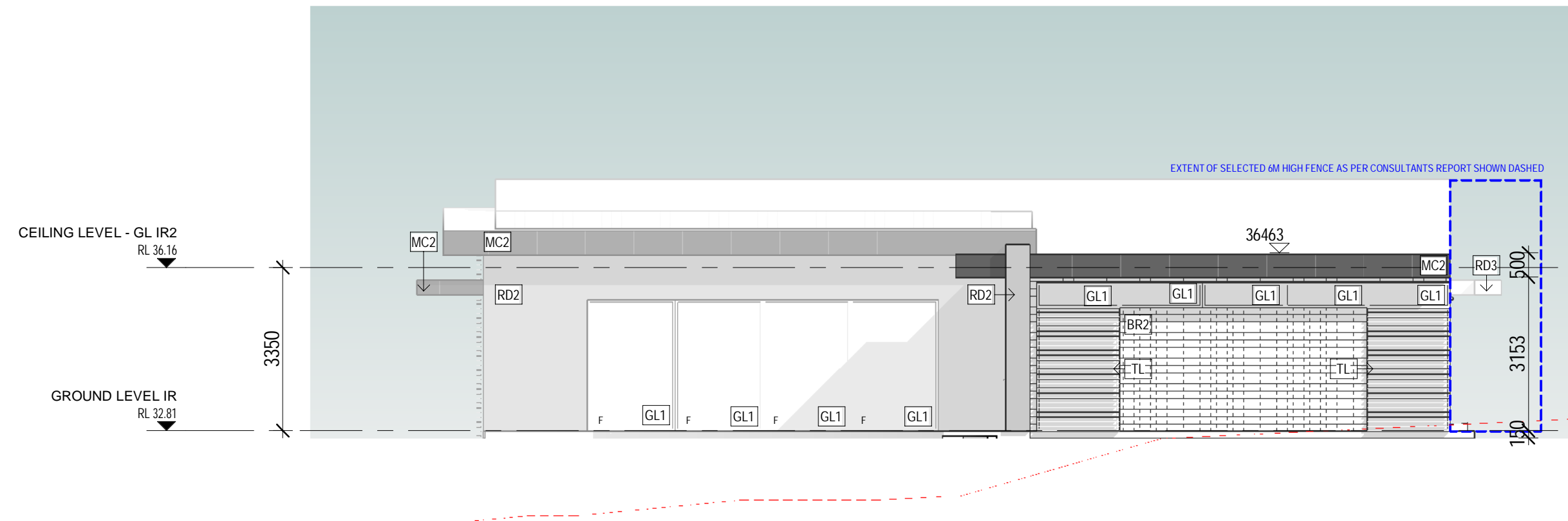
PRELIMINARY

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
PROPOSED CHILDCARE CENTRE 291 SUNSHINE RD TOTTENHAM	PROPOSED FLOOR PLANS MPF - L00	Author	1 : 100 @ A1		834
		DWG No.	REVISION		
		TP107	L		

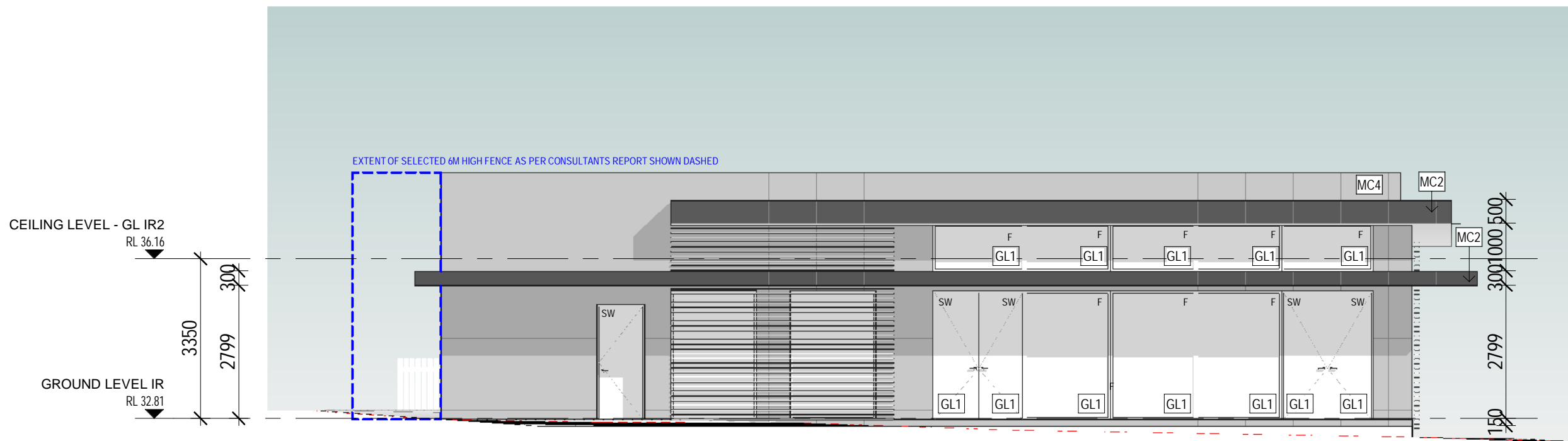




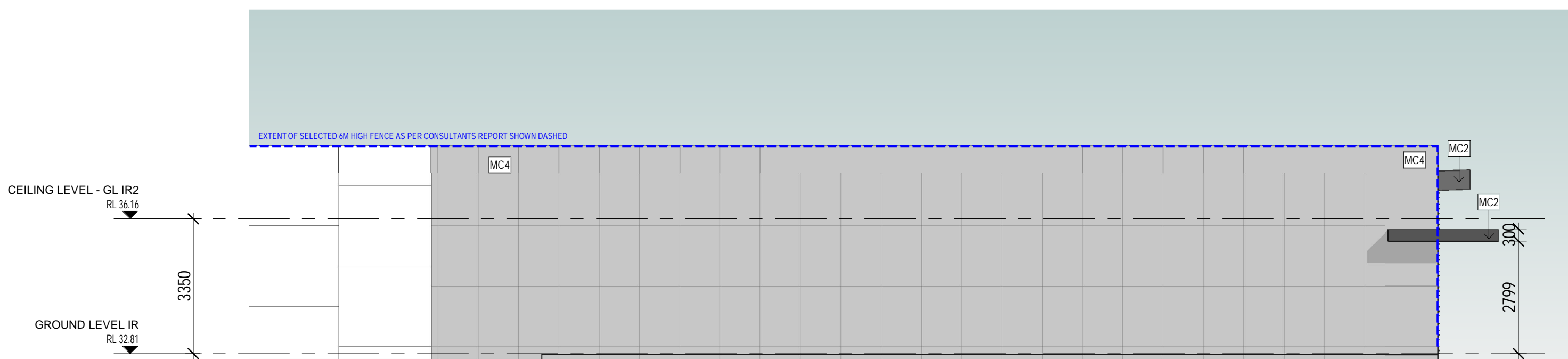
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TP108/ SCALE 1 : 100



2 TP FACILITY NORTH/WEST ELEVATION  
TP108/ SCALE 1 : 100



3 TP FACILITY SOUTH/EAST ELEVATION  
TP108/ SCALE 1 : 100



4 TP FACILITY SOUTH/WEST ELEVATION  
TP108/ SCALE 1 : 100


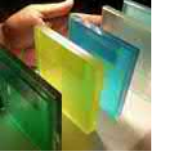


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#### MATERIAL SCHEDULE

	MC2 MATRIX CLADDING MONUMENT OR SIMILAR		MC6 MATRIX CLADDING BROWN OR SIMILAR		TL TIMBER LOOK LOUVERS OR SIMILAR
	MC4 MATRIX CLADDING WINDSPRAY OR SIMILAR		BR2 BRICK FINISH AUSTRAL NUBRIK CLASSIC ACLAND CREAM OR SIMILAR		RF ROOF SHEETIN FINISH COLOUR_COLORBOND MONUMENT OR SIMILAR
	MC5 MATRIX CLADDING WHISPER WHITE OR SIMILAR		RD2 RENDER FINISH WINDSPRAY OR SIMILAR		DP ALL CAPPINGS, RAINWATERHEADS AND DOWNPIPES COLOUR_COLORBOND MONUMENT OR SIMILAR

	WIN ALUMINIUM WINDOW FRAME_BLACK		GL3 COLOURED ACRYLIC
	GL1 GLAZED WINDOW 1 FINISH_CLEAR		
	GL2 GLAZED WINDOW 2 TINT_BLACK		

#### REFERENCE IMAGES



REFERENCE IMAGES FOR FIRE WALL  
MIX OF SOLID AND TRANSPARENT PANELS

#### NOTE

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CONSULTANT'S DRAWINGS

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#### NOTE

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PURPOSE FACILITY

NON-COMBUSTIBLE ROOF OF BOTH BUILDINGS

NON-COMBUSTIBLE WALL CLADDING ON WEST SIDE OF BUILDINGS

ANY WINDOWS FACING THIS DIRECTION TO BE LAMINATED

#### NOTE

TO BE READ IN CONJUNCTION WITH CONSULTANTS REPORTS

#### NOTE

----- NATURAL GROUND LEVEL

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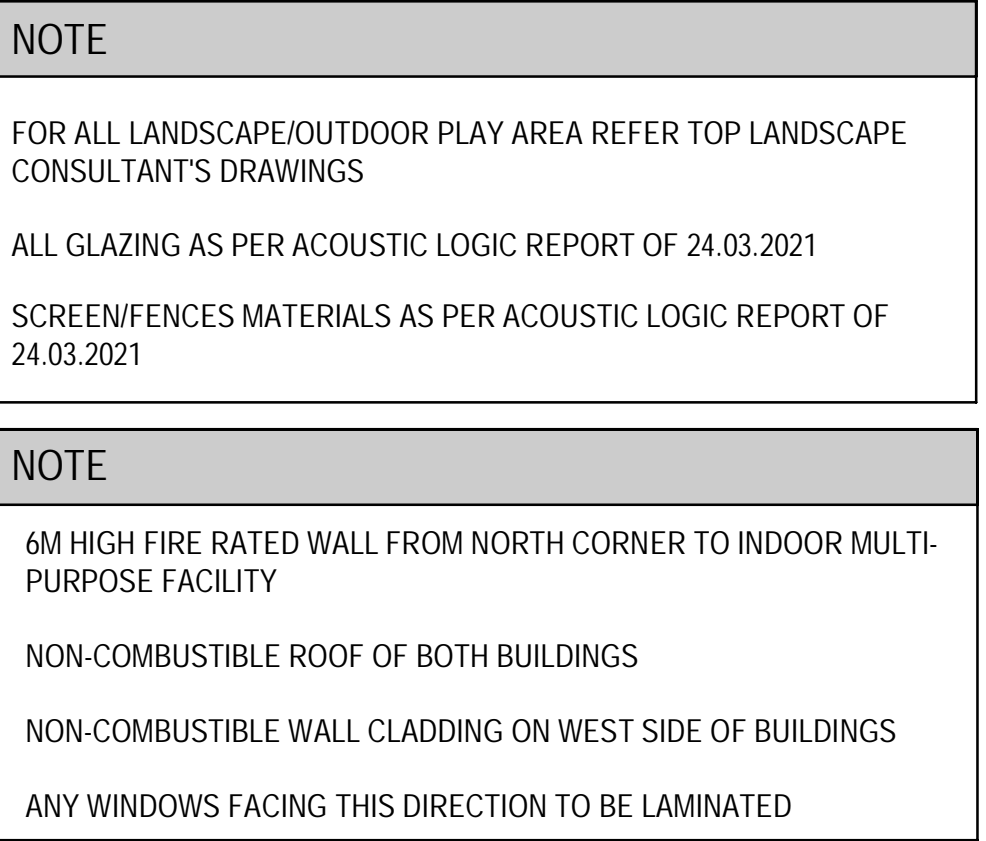
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REV	DESCRIPTION	DRN	CHK	DATE
F	UPDATE AS PER TRAFFIC REPORT	IC	SS	28.05.2018
G	UPDATE AS PER TRAFFIC REPORT	IC	SS	13.06.18
H	ISSUE FOR VICROADS	IC	SS	18.12.18
I	CHANGES PER CONDITION 1	IC	SS	11.01.2019
J	UPDATED ARCHITECTURAL DRAWINGS	IC	SS	17.09.2019
K	TOWN PLANNING	RL	SS	23.04.2021

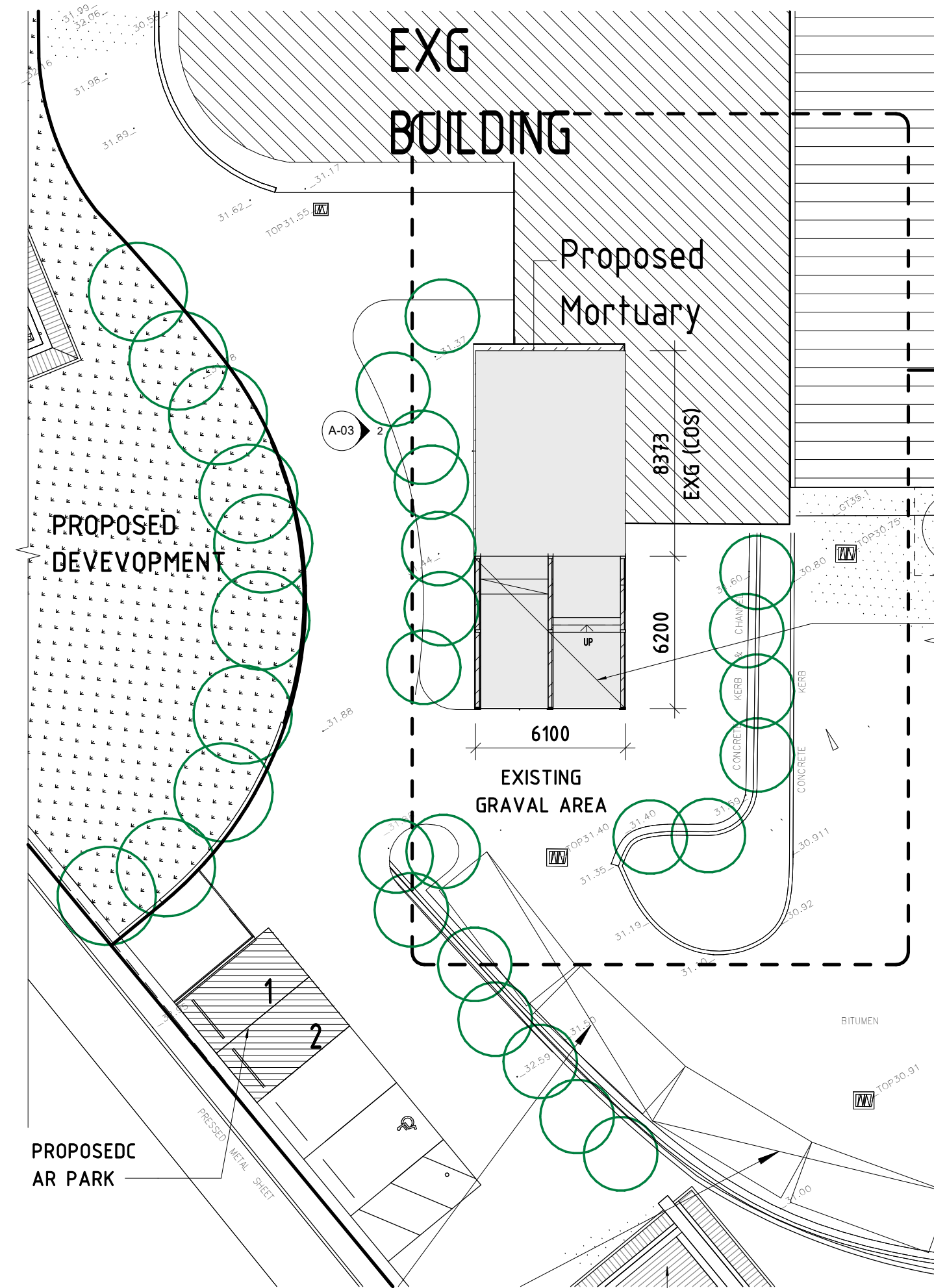
PRELIMINARY

PROJECT	TITLE	DRAWN	SCALE	PLOT DATE	JOB No.
PROPOSED CHILDCARE CENTRE 291 SUNSHINE RD TOTTENHAM	PROPOSED ELEVATIONS MPF - SHEET 1	Author	1 : 100 @ A1	26/04/2021 3:24:45 PM DWG No	834 REVISION TP108 K

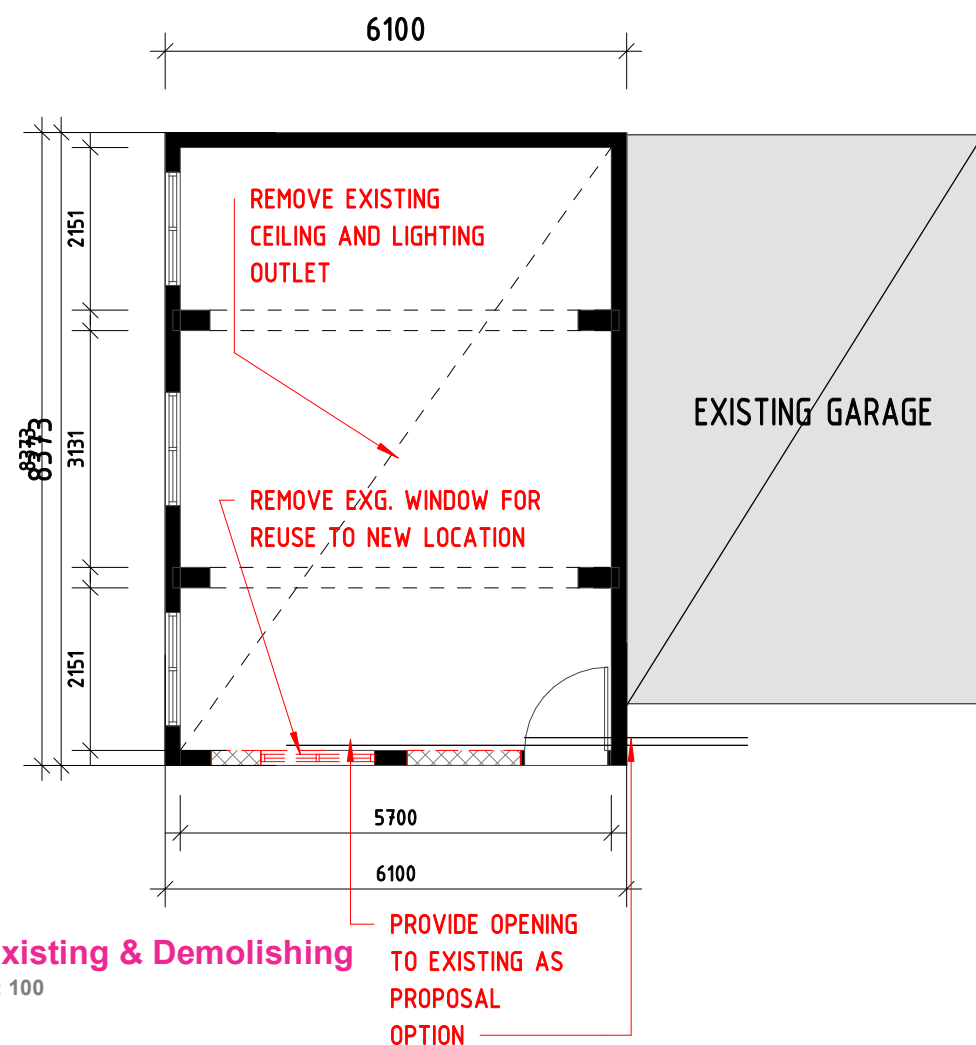




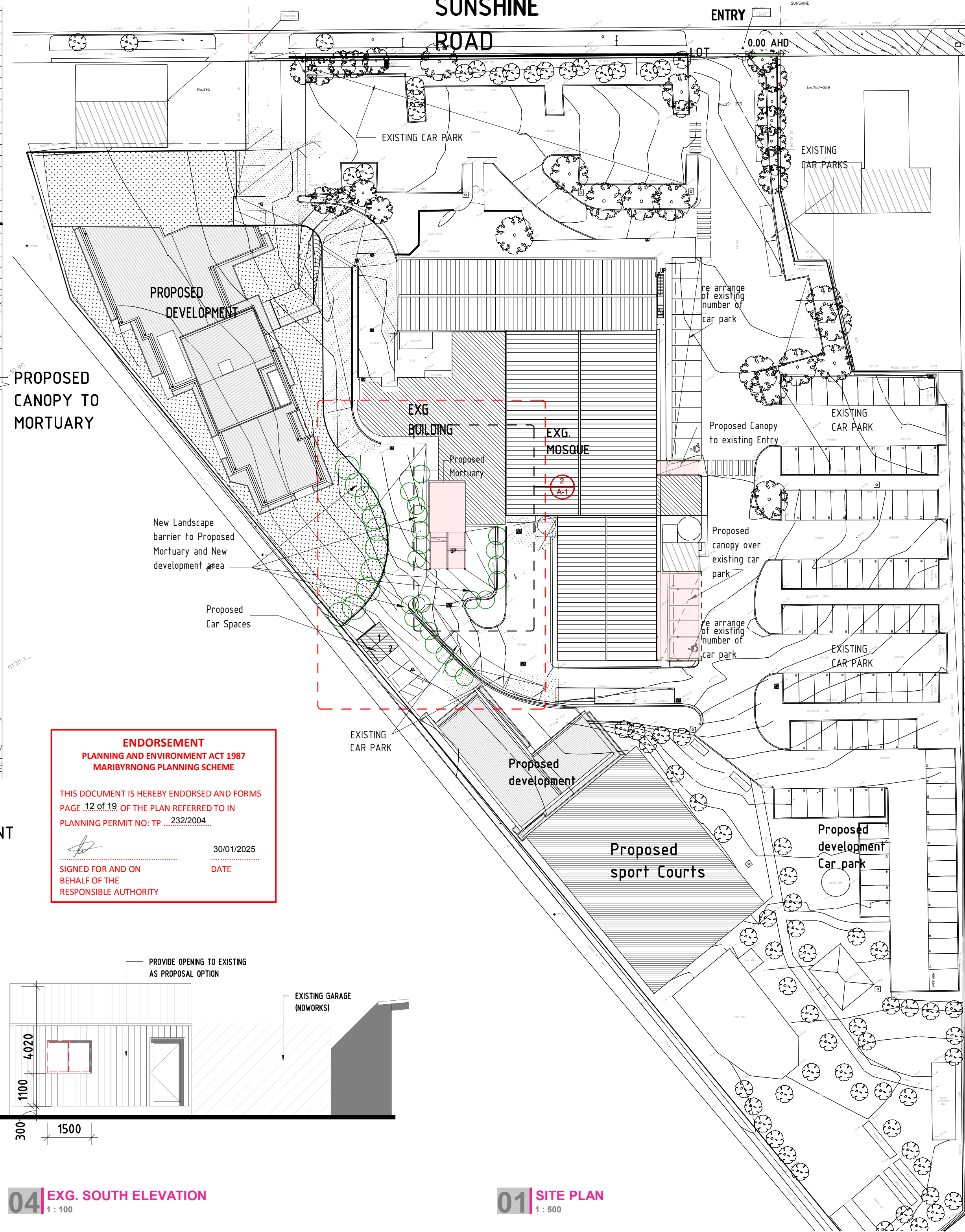




02 SITE PLAN (Detail-2)  
1 : 200



03 Existing & Demolishing  
1 : 100



04 EXG. SOUTH ELEVATION  
1 : 100

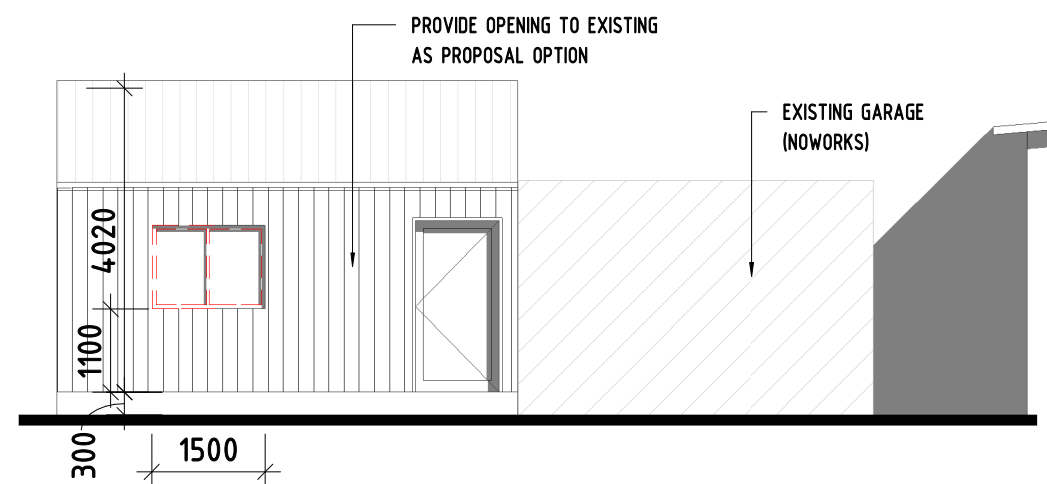
01 SITE PLAN  
1 : 500

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PLANNING AND ENVIRONMENT ACT 1987  
MARIBYRNONG PLANNING SCHEME

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30/01/2025  
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CITY OF MARIBYRNONG  
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URBAN PLANNING

PROJECT:  
Australia Light Foundation  
Proposed Mortuary

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SITE PLAN

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07/30/23  
JOB NO:  
23-06SJ  
SCALES:  
As indicated @A2  
AUTHOR:  
SJ

**sjarch**  
BUILDING DESIGN

ACN 642500543

ABN 52758074091

VIC.  
DP-AD-20923

TAS  
345153779

1-Port Patrick Crt

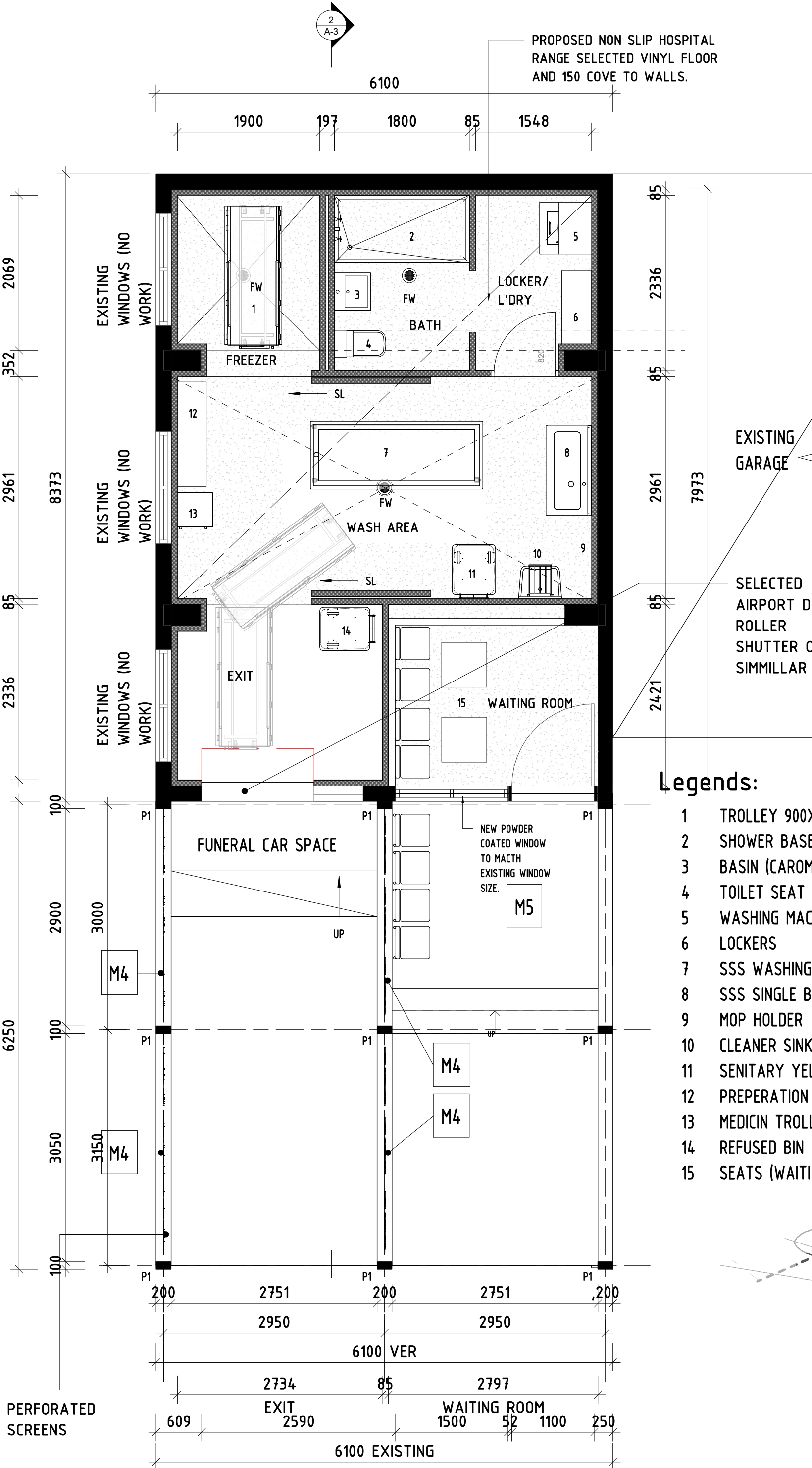
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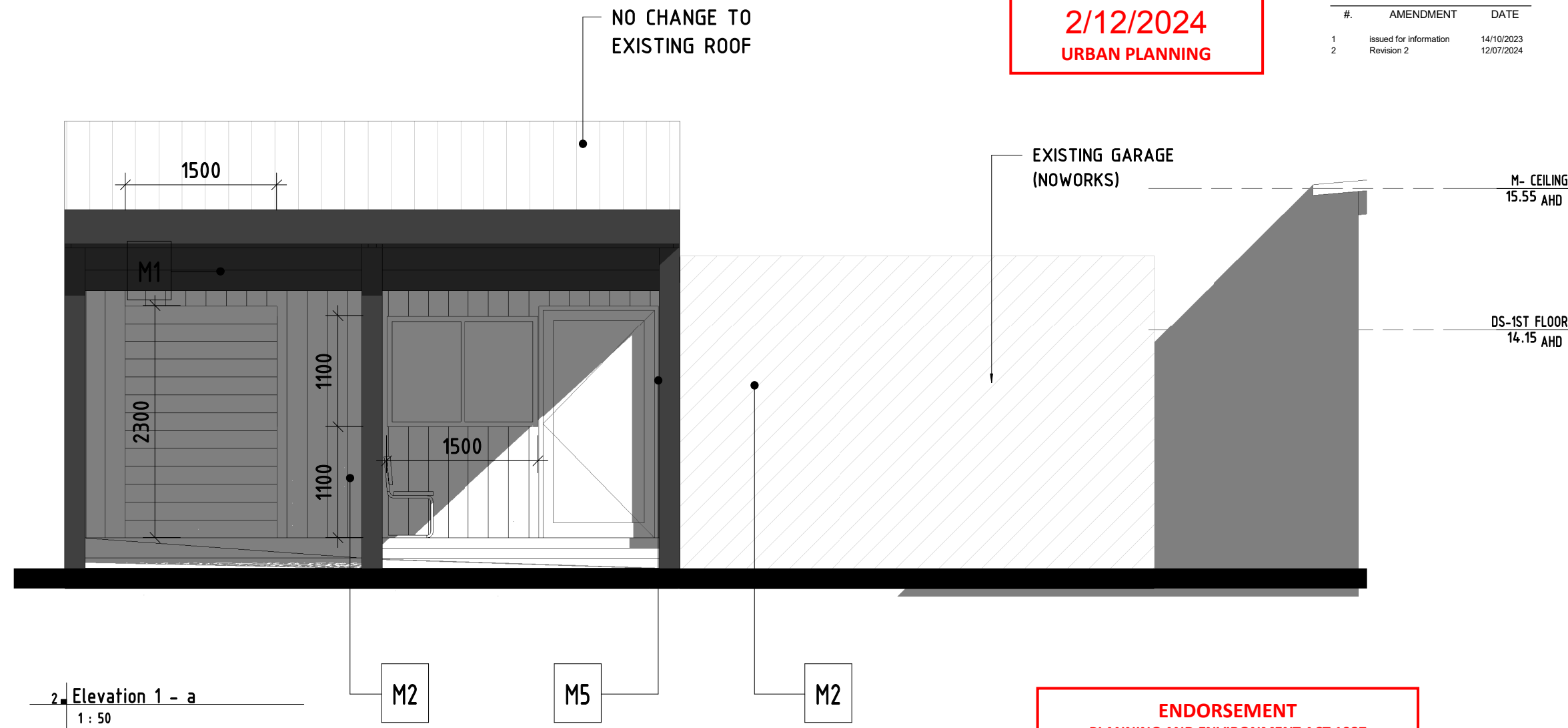
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**A-1**  
REV:  
**3**





Legends:

- 1 TROLLEY 900X2000 (SHOTTON PAMPED)
- 2 SHOWER BASE
- 3 BASIN (CAROMA CARE)
- 4 TOILET SEAT (CAROMA CARE)
- 5 WASHING MACHINE/ DRYER
- 6 LOCKERS
- 7 SSS WASHING TABEL TROLLEY (SHOTTON PAMPED)
- 8 SSS SINGLE BOWL 600X1200 (SHOTTON PAMPED)
- 9 MOP HOLDER
- 10 CLEANER SINK
- 11 SENITARY YELLOW BIN
- 12 PREPERATION TABLE
- 13 MEDICIN TROLLEY
- 14 REFUSED BIN
- 15 SEATS (WAITING AREA)

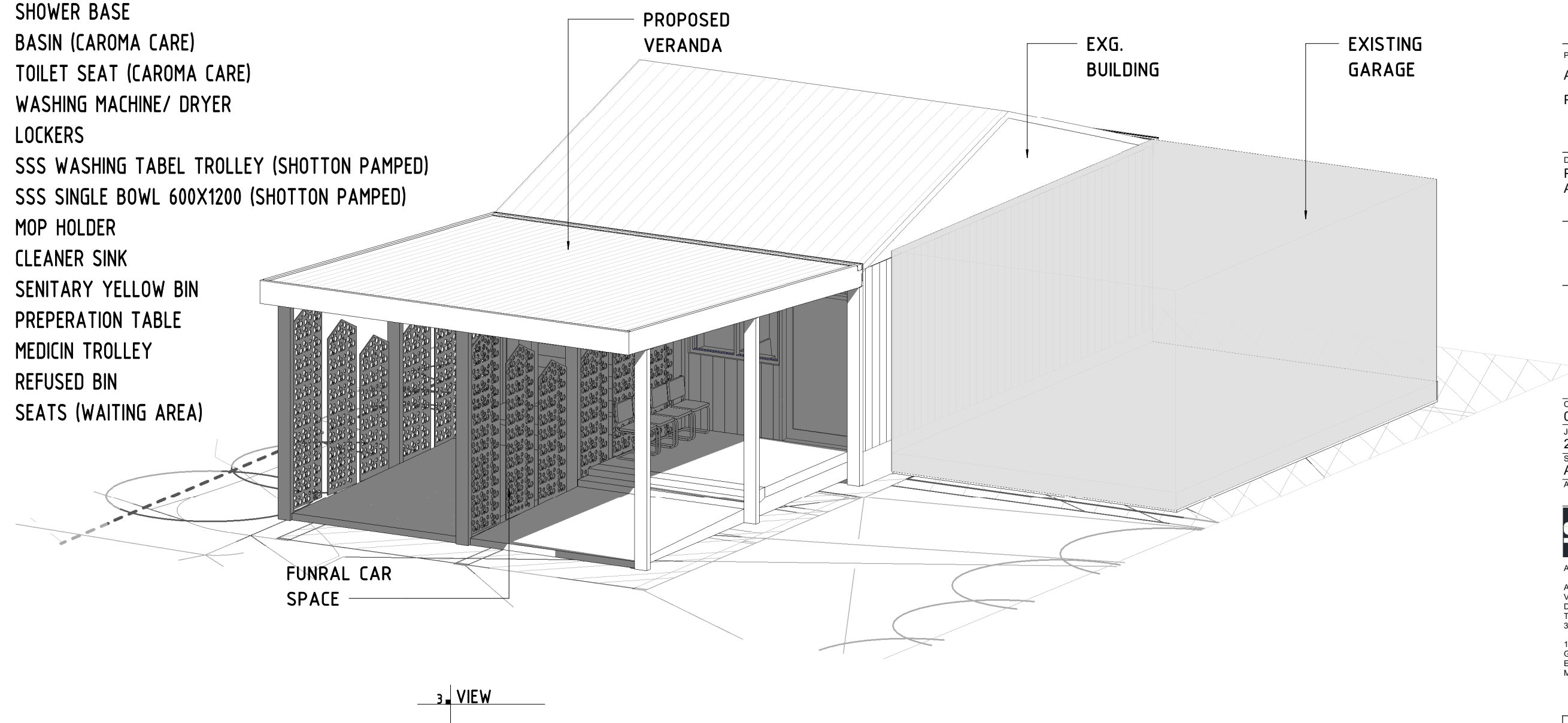


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PROJECT:  
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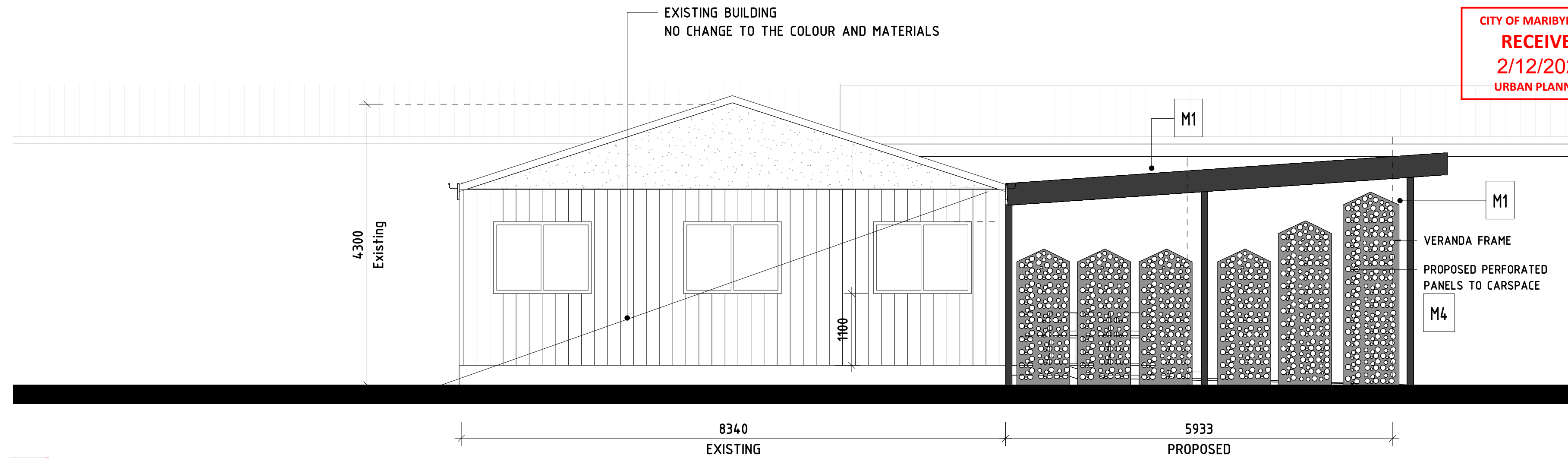
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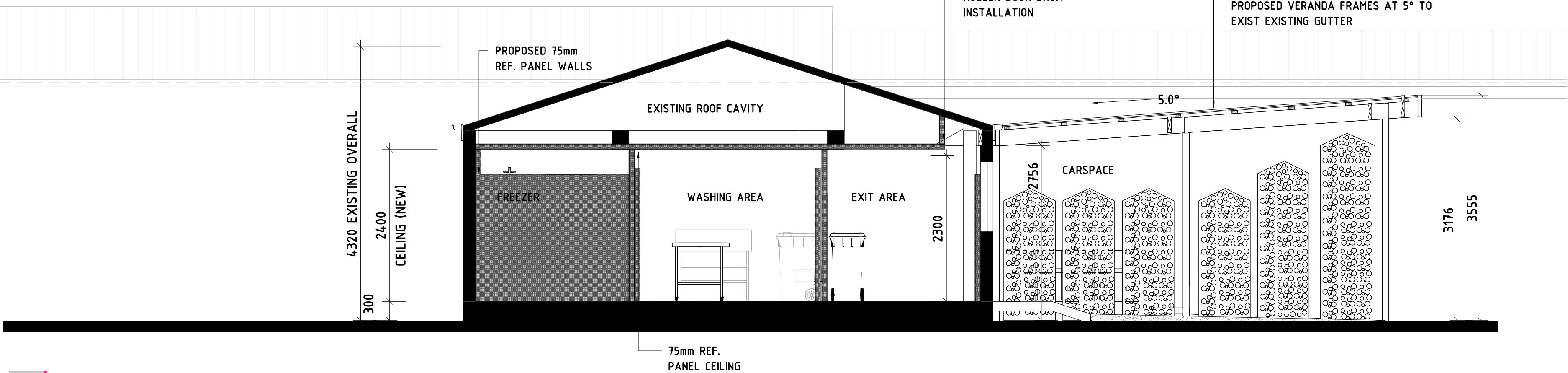
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REV:

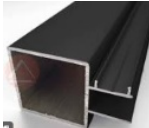
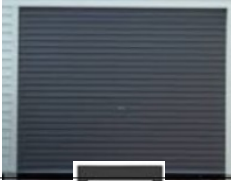

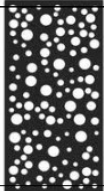

2



01 WEST ELEVATION  
1 : 50




02 Section 7  
1 : 50

COLOUR AND MATERIALS				
ITEMS	CODE	SPEC.	MATERIAL	COLOUR
	M1	designed Canopy Steel Framing	powder coated steel	Monument
	M2	D&B Frroma or Airport roller doors to manufacture installation detail	Powder coated carogated door panel	Basalt®
	M3	A&L or similar obscure glass panel /steel frame	powder coted frame door	Basalt®
	M4	"Chippiy's Outdoor" Submarine Perforated Screen. size:(by order)	Perforated metal	Basalt®
	M5	A&L or simmlar sliding windoe	Powder coated Aluminum	Monument

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**MARIBYRNONG PLANNING SCHEME**

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SECTION (A-A) AND SIDE  
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DRAWING NO:  
**A-3**  
REV:  
**2**



## GENERAL NOTES

### NCC 2022 CLASS 1 REQUIREMENTS

- STORM WATER DRAINS TO BE IN ACCORDANCE WITH NCC 2022 PART 3.12.5
  - 90 & 100 AS UPVC COVER UNDER:
    - SOL - 100MM.
    - PAVED AREAS 50MM.
  - TERMITE PROTECTION TO BE IN ACCORDANCE WITH NCC 2022 3.1.3 & AS 3601 WHERE REQUIRED
  - WEEP HOLES IN CURSE IMMEDIATELY ABOVE DPC TO BE AT MAX. 12M SPACING
  - CAVITY BRICK WIDTH TO BE NOT LESS THAN 50MM AND NOT MORE THAN 60MM
- BRICK VENEER CONSTRUCTION CAVITY WIDTH TO BE NOT LESS THAN 25MM
- DPC TO BE LOCATED IN ACCORDANCE WITH NCC 2022 3.3.4.5
- ALL DPC AND FLASHING TO BE IN ACCORDANCE WITH THE FOLLOWING NCC 2022 FIGURES:
  - FIG. 3.3.4.3 INSTALLATION OF DPC AND FLASHING IN CHIMNEYS
  - FIG. 3.3.4.4 INSTALLATION OF DPC IN SUB-FLOOR STRUCTURES
  - FIG. 3.3.4.4.1 PROTECTION TO TOP OF OPENINGS TO EXTERNAL WALLS
  - FIG. 3.3.4.5 FLASHING OF OPENINGS IN CAVITY SOLID MASONRY WALLS
  - FIG. 3.3.4.6 FLASHING OF OPENINGS IN CAVITY VENEER MASONRY WALLS
  - FIG. 3.3.4.7 STEPPED CAVITY FLASHING
  - FIG. 3.5.1.2 TILED ROOF FLASHING AND OTHER DETAILS
  - FIG. 3.5.1.7 ACCEPTABLE FLASHING DETAILS FOR PARAPETS
  - FIG. 3.5.1.8 TYPICAL ROOF PENETRATION FLASHING DETAIL
  - FIG. 3.5.3.4 TYPICAL WINDOW FLASHING DETAIL FOR WEATHERBOARDS
  - SUB-FLOOR VENTILATION TO COMPLY WITH NCC 2022 3.4.1.2
  - 150MM MIN CLEARANCE TO LOWEST FRAMING MEMBER OR
  - IF PROPERLY FLOORING USED - CLEARANCE TO MANUFACTURES REQUIREMENTS
  - INTERNAL AND EXTERNAL VENTS TO SUB-FLOOR AT MIN 1200MM

- TIMBER FRAMING AND BRACING IN ACCORDANCE WITH NCC 2022 3.4 AND AS 1684
- ROOF CLADDING TO BE INSTALLED TO COMPLY WITH NCC 2022 3.5.1 AND THE FOLLOWING STANDARDS:
  - AS 2949 FOR ROOF TILES
  - AS 2950 FOR FIXING OF ROOF TILES
  - AS 1621 DESIGN AND INSTALLATION OF METAL SHEET ROOFING
  - AS/NZS 4256 PPS 1, 2, 3, 5, AS1623 PLASTIC SHEET ROOFING
- GUTTERING TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 3.5.2.3
  - TO FALL NOT LESS THAN 1500 FOR EAVES GUTTERS UNLESS FIXED TO METAL FASCIA
  - FALL OF NOT LESS THAN 1:100 FOR BOX GUTTERS
  - EAVES GUTTERS TO BE SUPPORTED BY BRACKETS NOT MORE THAN 12M APART
  - VALLEY GUTTERS PITCHED + 12.5° TO BE MIN 400MM WIDE, ROOF OVERHANG 150MM MIN.
  - VALLEY GUTTERS + 12.5° MUST BE DESIGNED AS BOX GUTTERS

- DOWNPIPES TO BE SIZED TO COMPLY WITH NCC 2022 TABLE 3.5.2.1 AND TABLES 3.5.2.2A, B, C
  - MAX SPACING BETWEEN DOWNPIPES TO BE 12M
  - DOWNPIPES TO BE WITHIN 12M OF A VALLEY UNLESS OVERFLOW PROVIDED
  - PROVISIONS MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO BUILDING
  - SELECTION OF MATERIALS FOR SHEET ROOFING, GUTTERING AND DOWNPIPES TO COMPLY WITH TABLES 3.5.1.1 & 2, TO PREVENT CORROSION FROM CONTACT OF DIFFERENT METALS

- WALL CLADDING IS TO COMPLY WITH NCC 2022 PART 3.5 AND LAPPED AS FOLLOWS:
  - HARDWOOD CYRESS FINE AND TREATED FINE
  - WEATHERBOARDS TO BE LAPPED 30MM
  - WESTERN RED CEDAR WEATHERBOARDS TO BE LAPPED 20MM
  - BALTC FINE WEATHERBOARDS TO BE LAPPED 30MM
  - FIBRE CEMENT PLANKS 25MM

- WALL CLADDING FIXING IS TO COMPLY WITH NCC 2022 PART 3.5 AND AS FOLLOWS:
  - 1 NAIL PER BOARD AT EACH STUD MAX 600MM SPACING TO TIMBER WEATHERBOARDS
  - 1 NAIL PER BOARD AT EACH STUD MAX 600MM SPACING TO FIBRE CEMENT WEATHERBOARDS
  - 500X100MM PLAIN SHANK NAILS FOR HARDWOOD FRAMES
  - 50X3150MM ANNUAL THREADED NAILS FOR SOFTWOOD FRAMES
  - 40X2100MM GALVANISED FIBRE CEMENT NAILS FOR FIBRE CEMENT PLANKS
- SMOKE ALARMS TO BE HARD WIRED INSTALLED IN ACCORDANCE WITH NCC 2022 3.1.2 AND AS 3786

- WET AREAS:
  - PROVIDE IMPERVIOUS FINISHES TO COMPLY WITH NCC 2022 3.8.1.5 TO A HEIGHT OR
  - 1800MM HIGH TO ENCLOSED SHOWERS
  - 150MM TO ALL FIXTURES WITH 10MM OF THE WALL
  - PROVIDE SAFETY GLASS TO ALL GLAZING WITHIN 500MM OF THE FLOOR AND LESS THAN 1.5M ABOVE BATHS
  - DOORS TO ANY TOILET MUST BE REMOVABLE FROM THE OUTSIDE IF CLOSET PAN IS LESS THAN 1.2 FROM THE DOORWAY BY PROVIDING REMOVABLE HINGES & DOOR HANDLE & A 200MM GAP TO TOP OF DOOR & DOUBLE STOP
- STAIRS:
  - MIN GROUND 240MM MAX RISER 100MM MIN 20-65-550MM
  - EACH FLIGHT TO HAVE NOT MORE THAN 8 RISERS & MAX 3 WINDERS TO STEPPED QUARTER LANDING
  - THRESHOLDS MIN 100MM LONG MUST BE PROVIDED TO DOORWAY WHERE ANY CHANGE IN FLOOR OR
  - GROUND LEVEL IS GREATER THAN 50MM OR MORE STEPS ARE PROVIDED.
  - HEAD HEIGHT TO BE MINIMUM OF 2M MEASURED FROM NOSING OF STAIRS.
- BALUSTRADES:
  - MIN HEIGHT ABOVE NOSING OF STAIR 865MM
  - MIN HEIGHT ABOVE LANDINGS OR BALCONIES 1000MM
  - MAX OPENING BETWEEN BALUSTRADES 120MM
  - TO FLOORS MORE THAN 4M ABOVE THE GROUND MUST NOT HAVE ANY ELEMENTS IN THE BALUSTRADE BETWEEN A HEIGHT OF 150MM AND 700MM WHICH FACILITATE CLIMBING
- INSULATION:
  - UNLESS SPECIFIED IN A STAR ENERGY RATING REPORT, PROVIDE MIN R2.0 BULK
  - INSULATION TO ROOFS AND CEILINGS
  - FOR BRICK VENEER WALLS PROVIDE DOUBLE SIDED REFLECTIVE FOIL TO EXTERNAL FACE OF STUDS
  - FOR WEATHERBOARD/FIBRE CEMENT CLADDING PROVIDE MIN R1.5 BULK INSULATION BETWEEN STUDS

### IF NOT STATED OTHERWISE IN ENGINEERING DOCUMENTATION THE FOLLOWING APPLY

- EXCAVATION FOR DRAINS TO BE OUTSIDE ANGLE OF REPOSE OF FOOTINGS AS PER NCC 2022 FIG.3.12.1
- PREPARED TO BE IN ACCORDANCE WITH NCC 2022 PART 3.12.3
  - 150MM ABOVE SOL
  - 100MM ABOVE SANDY OR WELL DRAINED AREAS
  - 50MM ABOVE CONCRETE
- SITE MAINTENANCE TO COMPLY WITH AS 2870.1 & CSIRO SHEET 10-91
- GROUND SURROUNDING PERMETER OF BUILDING IS TO SLOPE AWAY FROM DWELLING
- PROVIDE AGGY DRAINS BEHIND RETAINING WALLS AND DWELLING PERMETER IF REQ PER NCC 2022 3.12.4
- CONCRETE FOR FOOTINGS MIN 20 MPA CURING REQUIRED IF TEMP + 30 DEGREE NCC 2022 3.2.3.1
- PROVIDE 2-170 OR 3-171MM 2M LONG TO SLAB RE-ENTRANT CORNERS PER NCC 2022 FIG.3.2.5.1
- FOR BRITTLE FLOOR COVERINGS INCREASE MESH TO F92 PER SHRINKAGE CONTROL NCC 2022 3.2.5.3
- ROOF TIE DOWNS TO BRICK PIERS TO BE 32X 80MM GALVANISED STEEL STRAP MIN. 10 COURSES
- ROOF TIE DOWNS TO BRICK PIERS TO BE 32X 80MM GALVANISED STEEL STRAP MIN. 10 COURSES
- STUMP MANUFACTURE TO COMPLY WITH NCC 2022 TABLE 3.2.5.2
  - CONCRETE STUMPS UP TO 1000MM LONG 100X100MM ONE 5MM HARD DRAWN WIRE
  - CONCRETE STUMPS 1001-3000MM LONG 100X100MM TWO 5MM HARD DRAWN WIRES
  - CONCRETE STUMPS 3001-3000MM LONG 100X100MM TWO 5MM HARD DRAWN WIRES
- GENERAL PURPOSE PORTAR MIX CEMENT LIME SAND 1:16 AS PER NCC 2022 TABLE 3.1.1.2
- ARTICULATION JOINTS TO COMPLY WITH TECHNICAL NOTE 61 & NCC 2022 3.3.1.8 AND BE PLACED:
  - IN STRAIGHT CONTINUOUS WALLS AT NOT MORE THAN 4M CENTRES
  - WHERE OPENINGS GREATER THAN 900X900MM NOT MORE THAN 5M CENTRES
  - PLACED AT EDGES OF OPENINGS AND NOT CLOSER THAN THE WALL HEIGHT FROM CORNERS
  - MIN 100MM WIDE
  - WALL TIES SPACING 470X-441
  - BRICK CAVITY 600X600MM
  - BRICK VENEER 450MM STUDS 600X600MM
  - BRICK VENEER 600MM STUDS 600X600MM
  - SPACING OF TIES AROUND OPENINGS AND CONTROL JOINTS TO BE HALVED
  - BRICKWORK UNITS, SELECTION AND INSTALLATION TO COMPLY WITH NCC 2022 FIG. 3.3.3 & 5

### ARTIFICIAL LIGHTING

- SMOKE DETECTORS:
  - INSTALL AN APPROVED SMOKE ALARM FIXED TO CEILING
  - INTERCONNECTED & WIRED TO MAIN SWITCHBOARD. DENOTED ON PLAN. SMOKE ALARMS TO COMPLY WITH AS 3786 & NCC 2022 3.1.2

### EXHAUST FANS

- INSTALL AN EXHAUST FAN COMPLY WITH AS-1668.2, DENOTED ON PLAN. TO BE WIRED TO LIGHT SWITCH AND DUCTED TO EXTERNAL AIR. 25 L/S MIN CAPACITY.
- THE FOLLOWING EXHAUST FAN FLOW RATE MUST BE AS CLAUSE 3.8.1.3 OF NCC 2022 AS:
  - BATHROOMS OR SANITARY COMPONENTS 25 L/S
  - LAUNDRY OR KITCHEN 40 L/S

- 240 BRICK VENEER OR (210 HABLE VENEER) 100MM FACE BRICK OR RENDER PAINT FINISH WITH 40MM AIR CAVITY AND INSULATION. 100MM TIMBER STUD WALL WITH 10MM PLASTERBOARD AND PAINT FINISH
- OR (75mm HERLE PANEL OVER 25mm BATTENS OVER 10MM TIMBER STUD WALL WITH 10MM PLASTERBOARD INTERNALLY. 100MM FC TO WEET AREA WITH SELECTED WALL TILES AS REQUIRED WITH 10MM GLASSWOOL INSULATION INFILL AND INSULATION SHEET OVER STUDS TO ACHIEVE R2.7 TO COMPLY NCC 2022 2021.

- 75mm CONTEX BASEBOARD. NON-CALCIFYING PAINT FINISH. 10MM TIMBER STUD WALL. 10MM GLASSWOOL INSULATION TO ACHIEVE R2.7 TO COMPLY NCC 2022. 10MM PLASTERBOARD AND PAINT FINISH INTERNALLY.

- 10mm PLASTER BOARD
- GF500X100 FIBRE CHECK PLASTERBOARD (100/100) 10mm STUD WITH GLASSWOOL INSULATION (R2.7) 10MM PLASTERBOARD AND PAINT FINISH INTERNALLY
- (125X31) WITH NO CAVITY INSULATION

- 10mm STUD WALL WITH 10mm PLASTER BOARD B/S PAINT FINISH. (1/5 SHEET FOR WET AREA) (WT46) WITH ONE SIDE PS.

- 10mm STUD WALL WITH 10mm PLASTER BOARD O/S PAINT FINISH. (DUCT WALLS)

- SINGLE BRICK WITH 110X230 BRICK PIERS

- 230 DOUBLE BRICK WALL

- HARD WIRED SMOKE DETECTOR

- SELECTED FLOOR FINISH BY OWNER CHOICE SELECTION

- SELECTED NON SLIP TILE FLOOR FINISH TO WET AREAS ACHIEVING (R10) TO AS4586 AND AS 3740-2004. BY OWNER CHOICE TO WET AREAS

- SELECTED CHROME FLOOR WASTE

### TIMBER SCHEDULES

- TIMBER TO COMPLY WITH AUST. STD 1684-2019
- FRAMING TO BE CONSTRUCTED IN ACCORDANCE WITH WIND CATEGORY IN THIS AREA

- STRUCTURAL SHEETPLAY BRACING IN ACCORDANCE WITH AUST. STD 1884-1994. BUILDING SURVEYOR/INSPECTOR TO APPROVE ON SITE.

- TIMBER STRESS GRADE.
- TREATED PINE
- FT-OREGON
- FR-UNSEASONED HARDWOOD
- FT-SEASONED HARDWOOD
- FT-SEASONED HARDWOOD (DRY BEAM)

- TIMBER SCHEDULE FOR TILED (W/MS/MS) CONVENTIONAL ROOF

- CEILING (105X31-100X38 FR @450/C MAX. SPAN 2300MM CONT.

- PURLIN/STRUTS-100X75 FR@900 C/C

- UNDER PURLIN-100X75 FR @ MID RAFTER

- RAFTER-125X38 FR @ 450 C/C

- MAX. SPAN 2400MM SINGLE SPAN

- MAX. SPAN 3000MM CONTINUOUS.

- RODDES HPS & VALLEYS-175X38 FR

- COLLAR TIES-75X38 EVERY SECOND RAFTER

- TOP & BOTTOM PLATES-90X45 PS @ 450 C/C UP TO 3M CEILING HEIGHT.

- TIMBER FRAMING

- Battens-38 x 75 FR HWD AT 330/c/c

- Plates-90 x 45 PS Pine

- Sheds-90 x 38 AT 450/c/c

- Bracing-25 x 25 G1 angle

- Uphs-95 x 35 F10 KDHW for spans upto 2400

- STUD WALL FRAMINGS

- UP TO 3000mm, 90x45 MCP@ 450 CTRS

- USE 90x45 MCP@ PINE @ 450 CTRS

- 2 ROWS OF NODGINGS

- UP TO 4200mm USE 260 90x45 MCP@2

- USE 3 ROWS OF NODGINGS

- ALL TIMBER FRAMING IS TO BE IN ACCORDANCE WITH CURRENT CODES AS AT THE TIME OF DESIGN AS 1684 SAA TIMBER FRAMING CODE AND AS 1729 SAA TIMBER ENGINEERING CODE

### STEEL FRAMING

- STEEL ROOF FRAMING AND STEEL WALL FRAMING TO BE COMPLY WITH

- AS/NZS 4680 - 2005, COLD FORMED STEEL STRUCTURES

- AS 3623 - 1993, DOMESTIC METAL FRAMING

- AS 4100 - 1998, STEEL STRUCTURES

- AS 4555 - 2006, WIND LOADS FOR HOUSING

- AS 1170, PART-1 2002

- STRUCTURAL DESIGN ACTIONS - PERMANENT, IMPOSED AND OTHER ACTIONS

- AS 1170, PART-2 2002

- STRUCTURAL DESIGN ACTIONS - WIND LOADS

- NASH, PART-2 2005, DESIGN CRITERIA, RESIDENTIAL AND LOW-RISE STEEL FRAMING

- THE BUILDING CODE OF AUSTRALIA VOLUMES

- NCC 2022 VOLUME 2, PART 3.4.2

- STEEL FRAMING

- NCC 2022 VOLUME 2, PART 3.1.3

- TERMITE RISK MANAGEMENT

- TERMITE

- ALL NEW BUILDING WORK MUST TREATED AGAINST TERMITE INFESTION

- METHOD OF TERMITE PROTECTION TO BE APPLIED TO AS3600-1:2008, AS3600-2009, ROOFING TO AS1942-1:1992 AND GUTTERS AND DOWN PIPES TO COMPLY WITH AS/NZS3500, 3-2003 AND PART 3.5.2 OF THE NCC 2022

- ADDITIONAL GENERAL NOTES:

- 1- ARTICULATION JOINTS (A/X), NOT TO HAVE A WIDTH OF LESS THAN 10MM

- 2- ALL DOWN PIPE TO BE 100X50 RECTANGULAR COLOURED OR 400 ROUND PVC PATEIF TO MATCH GUTTER COLOUR.

- 3- INTERNAL WET AREAS

- WATERPROOFING TO COMPLY WITH (AS3740) AND GENERAL WATER PROOFING IF NOMINATED, AS PER NOMINATED MANUFACTURE REQUIREMENTS.

- 4- ALL PLUMBABLE BUILDING MEMBRAN TO COMPLY WITH (AS4200.1) AND TO BE INSATALLED TO (AS4200.2) AN ACCORDING WITH CLAUSE 3.8.7.2 OF THE NCC 2022

- 5- ROOF STORMWATER DRAINAGE TO COMPLY WITH (AS3500.3).

- 6- PROVIDE MIN 2000L/TR (RWT) TO BE CONNECTED TO ROOF DOWNPIPE AND TO BE CONNECTED TO SANITARY FLUSHING.

- 7- ROOF SARKING TO BE ACCORDING CLAUSE 3.5.2.4 REQUIREMENT OF NCC 2022 AND TABLE 3.5.2.2 AND FLAMEABILITY INDEX NOT MORE THAN (S) FOR THE SARKING MATERIALS.

- 8- TILES MUST OVERHANG FACIA OR TILING BATTEN BY NOT LESS THAN 35mm TO FIG. 3.5.2.4 NCC 2022.

### WATERPROOFING:

- WATERPROOFING TO INTERNAL WET AREAS AND BATHROOMS IS TO BE IN ACCORDANCE WITH AS3740.

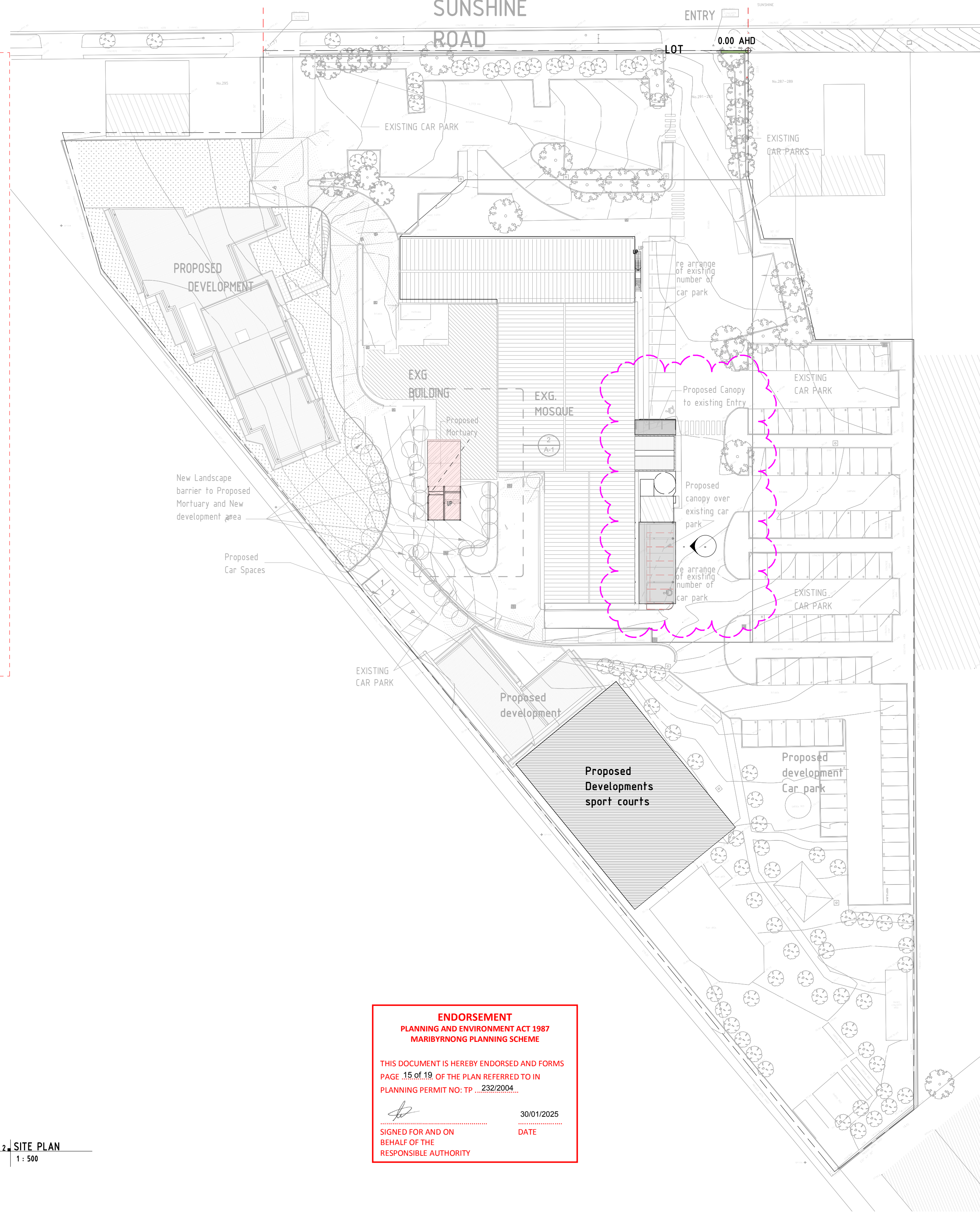
- WATERPROOFING SYSTEMS FOR WET AREAS.

- (WPA 500 FIBRE REINFORCED WATERPROOFING MEMBRANE) TO BE USED AS MANUFACTURE INSTALLATION REQUIREMENTS & DETAIL FOR INTERNAL AND EXTERNAL AREAS.

- PROVIDED WATER STOP TO SHOWER CUBICAL

- SHOWER FLOOR TO HAVE A MAX150 GRADE TO THE FLOOR WASTE.

2 SITE PLAN  
1:500



### NOTE:

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- REFER TO SCHEDULE OF FINISHES AND MATERIALS, FOR SPECIFIED COLOURS, MATERIALS, FIXTURES AND FITTINGS.
- REFER (A-00) GENERAL NOTES FOR RELEVANT NCC2019 AND AUSTRALIAN STANDARD REQUIREMENTS.

### ENDORSEMENT PLANNING AND ENVIRONMENT ACT 1987 MARIBYRNONG PLANNING SCHEME

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PAGE 15 of 19 OF THE PLAN REFERRED TO IN  
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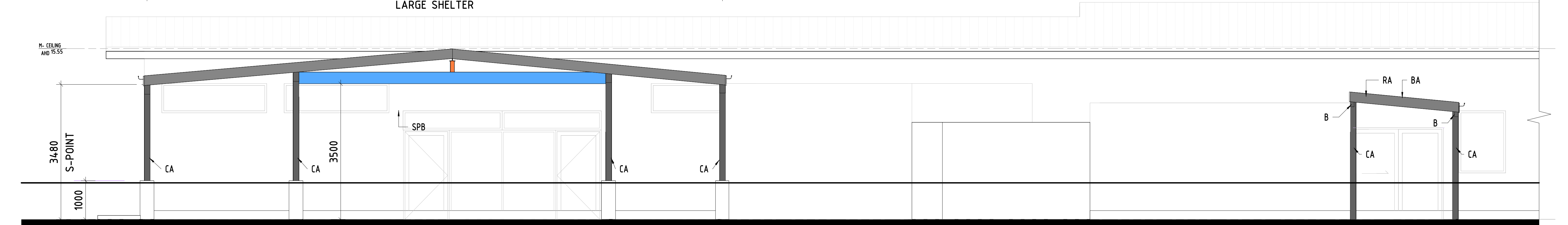
SIGNED FOR AND ON  
BEHALF OF THE  
RESPONSIBLE AUTHORITY

30/01/2025

DATE

Rev. no.	Revision notes	Date	By	Designed By:	Checked By:	Drawn By:	Date:	Scale:	Proposed Cover over Entry and Existing Car park	A-00
2	DRAWING UPDATED IN REFERE TO ADDITIONAL PROPOSED DEVELOPMENTS	2/12/24	 BUILDING DESIGN Mob. 0405 311 484 ABN 52758074091 (DP-AD 20923) (CDP-AD-56522) 1 Port Patrick Crt, Green Vale 3059 E-mail: sjarch@gmail.com	Designer	Checker	Author	03/01/20	As indicated	FOR INFORMATION	Scale 1:200 at A3 Scale 1:100 at A1
				For:	AUSTRALIAN LIGHT FOUNDATION				GENERAL NOTES AND SITE PLAN	
									Job no 23-06SJ	2






SMAL SHELTER				LARGE SHELTER						
Battens	Rafters	Roof Beams	Columns	Battens	Rafters	Internal Roof Beams	End Roof Beams	Ridge Beam	Beam supporting Ridge Beam	Columns
75x50x16mm	100x50x2.0mm	100x50x5mm	89x89x5mm	75x50x16mm	150x50x3.0mm	150x100x5mm	150x100x5mm	250 UB 37	300mm	100x100x5mm
RHS	RHS	RHS	SHS	RHS	RHS	RHS	RHS	UB	PFC	SHS
@750 cts.	at 2400cts.			at 750cts.	at 2400cts.					
(Long Length Horizontal)	(Long Length Vertical)	(Long Length Vertical)		(Long Length Horizontal)	(Long Length Vertical)	(Long Length Vertical)	(Long Length Vertical)			
BA	RA	B	CA	BA	RA	B	B	RB	SAB	CA

**ENDORSEMENT**  
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**MARIBYRNONG PLANNING SCHEME**

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 30/01/2025

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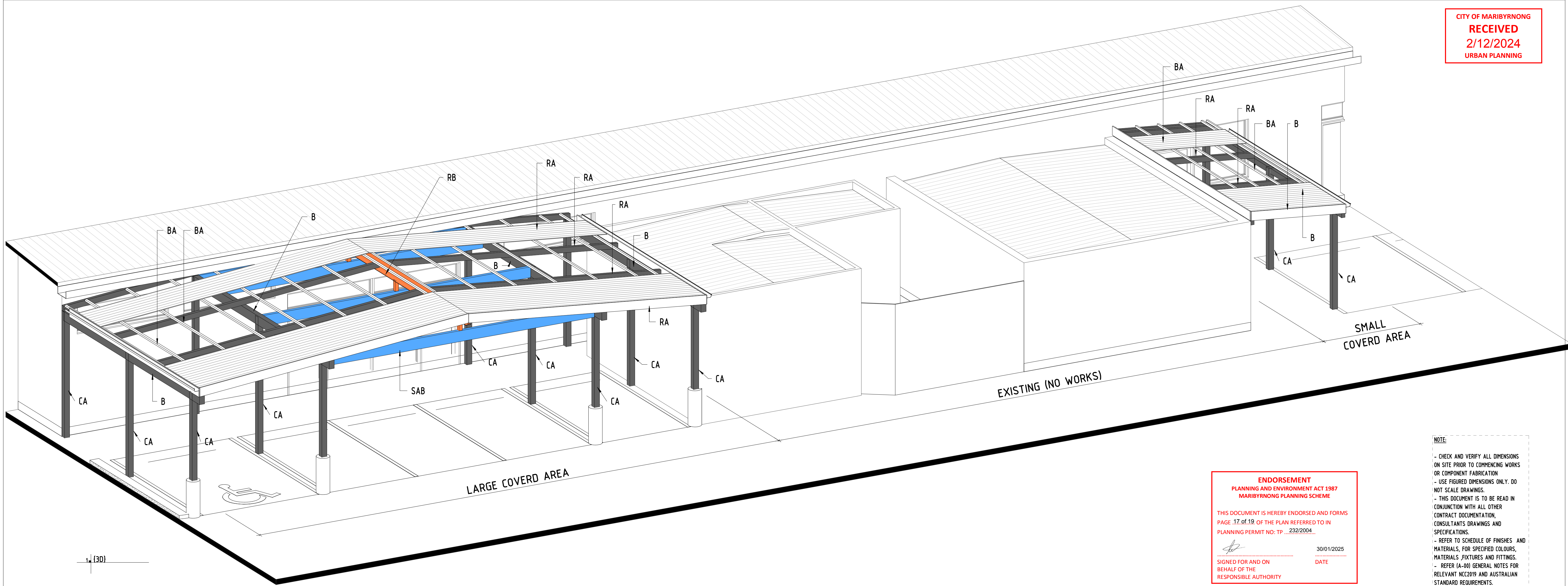
DATE

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Rev. no.	Revision notes	Date	By	<div><div><div>BUILDING DESIGN Mob. 0405 311 484</div></div><div><div>ABN 52758074091 (DP-AD 20923) (CDP-AD-56522) 1 Port Patrick Crt, Green Vale 3059 E-mail sjarch@gmail.com</div></div></div> <div><div>VICTORIAN BUILDING AUTHORITY BUILDING CONFIDENCE</div></div> <div></div>	Designed By: Designer	Cheked By: Checker	Drawn By: Author	Date: 10/07/23	Scale: As indicated	Proposed Cover over Entry and Existing Car park  FOR INFORMATION		A-01 Scale 1:200 at A3 Scale 1:100 at A1
					For: AUSTRALIAN LIGHT FOUNDATION			FLOOR PLAN AND ELEVATION	Job no 23-06SJ			





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PLANNING AND ENVIRONMENT ACT 1987  
MARIBYRNONG PLANNING SCHEME

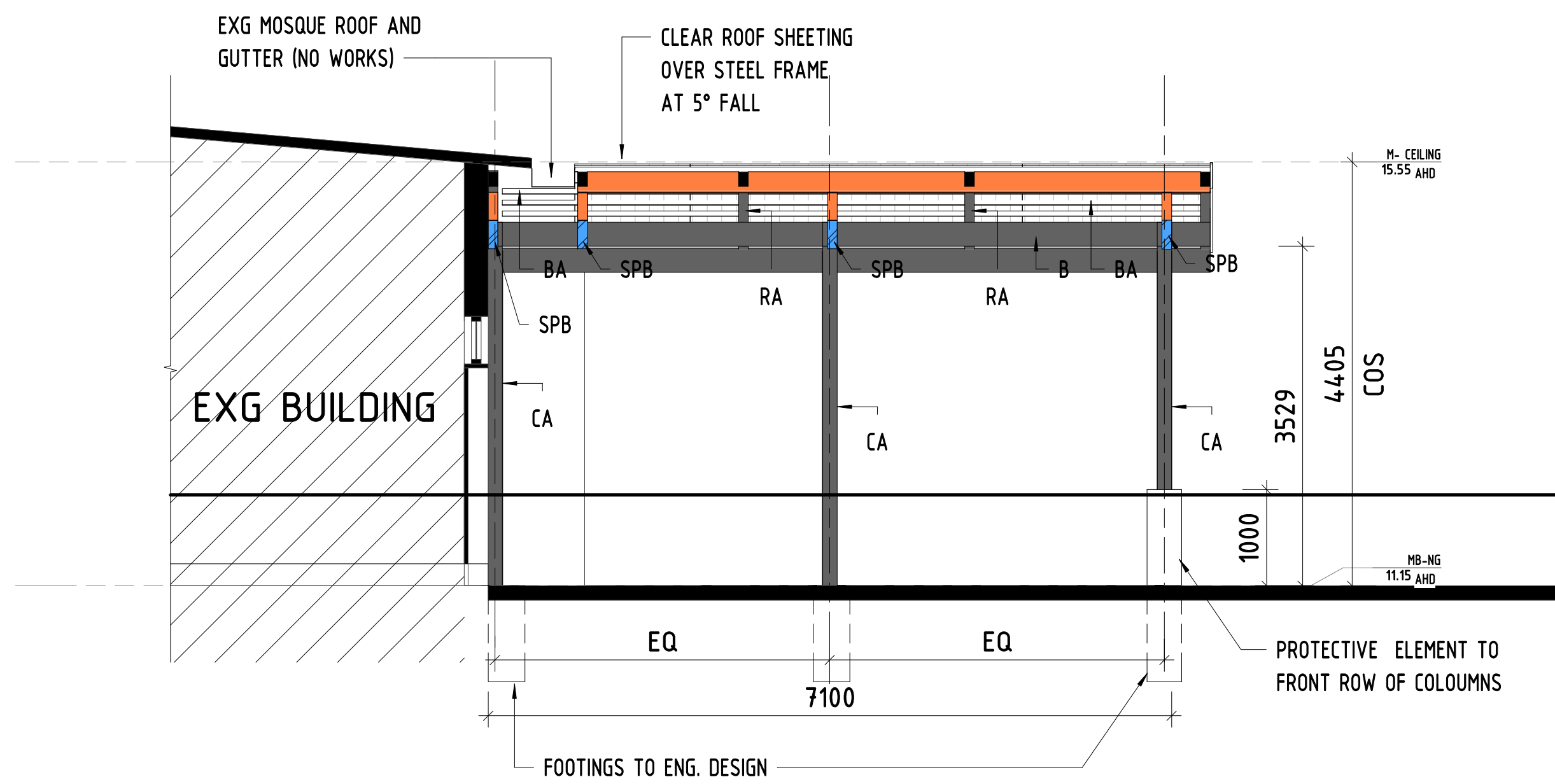
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PAGE 17 of 19 OF THE PLAN REFERRED TO IN  
PLANNING PERMIT NO: TP 232/2004

SIGNED FOR AND ON BEHALF OF THE RESPONSIBLE AUTHORITY

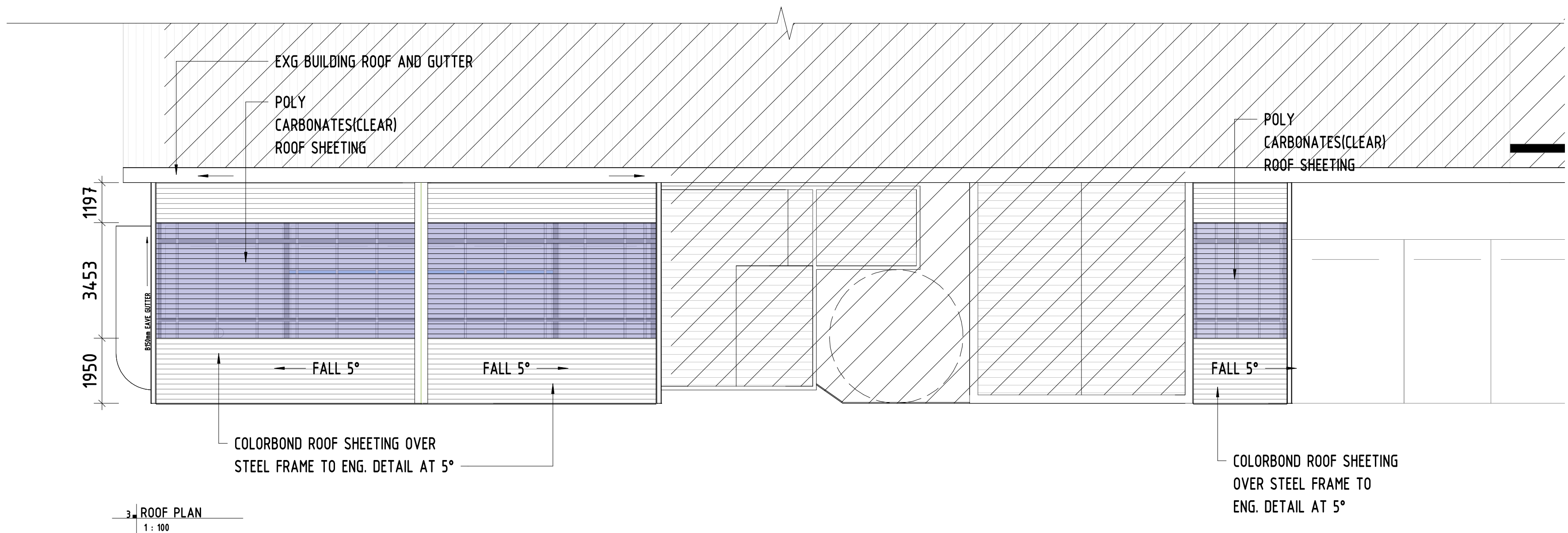
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2 Section 15  
1 : 50



3 ROOF PLAN  
1 : 100

Rev. no.	Revision notes	Date	By	<b>sjarch</b> BUILDING DESIGN Mob. 0405 311 484 ABN 52758074091 (DP-AD 20923) (CDP-AD-56522) 1 Port Patrick Crt, Green Vale 3059 E-mail: sjarch@gmail.com				<b>VBA</b> VICTORIAN BUILDING AUTHORITY BUILDING CONFIDENCE		Designed By: Designer	Checked By: Checker	Drawn By: Author	Date: 10/07/23	Scale: As indicated	Proposed Cover over Entry and Existing Car park FOR INFORMATION		A-02 Scale 1:200 at A3 Scale 1:100 at A1
										For: AUSTRALIAN LIGHT FOUNDATION					VEIW- ROOF PLAN AND SECTION		Job no 23-06SJ

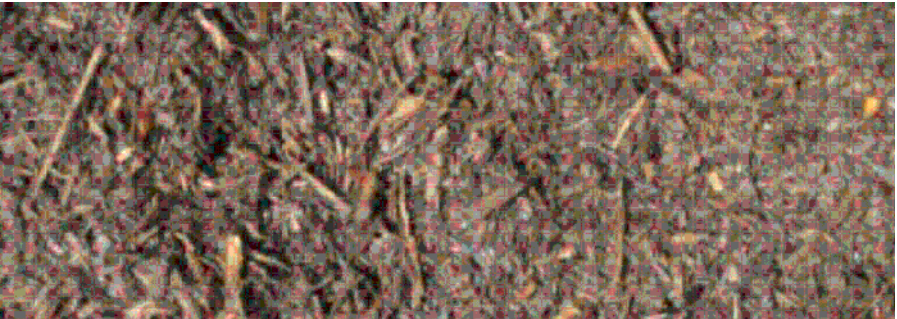


Softfall Mulch - playground under surfacing



Product: Softfall mulch 300mm depth Minimum requirement under Australian Standards.  
Supplier: MossRock, or similar  
Phone: (03) 9589 9116

General mulch for planting areas



Product: Chipped product from local Arborist company or Eu Mulch

Synthetic Lawn

Supply and install 'Tru Lawn Cool Plus' synthetic lawn to areas as shown.  
Install to manufacturer's directions then top dress synthetic lawn with a fine, dry 'ecofill' silica sand to a thickness of 15-20mm. Use a broom to sweep in and brush grass blades straight. Synthetic Lawn to cover mounds areas. Allow for drainage in centre of large mound with 200mm depression.

Tree Trunk Posts

Approximately 1.8 - 2.0m x 75mm radius random tree trunks/branches  
Eucalyptus timber contorted 500mm into ground to create a forest of trunks  
Supplier: Premier Timber Milling  
3045 Warburton Highway, Milgrove  
Contact: Colin Goldsmith, 5966 9682

Soft Fall areas / Rubber Track

**Type 1**  
Install Soft fall Rubber 'Pl' allies' 1m x 1m x 0.15mm squares to all specified areas. Areas are to be prepared with Shock pads from A1 Rubber, to be installed as underlay to the depth of 35mm to fit specified area. Areas to satisfy AS 4422 for F.H.O.F. of 1.0m.  
Colour - Red Earth and Jade Green laid in checkered pattern

**Type 2**  
Install Soft fall Rubber 'Pl' allies' 1m x 1m x 0.15m squares (area not fall critical zone).  
Colour - Red Earth and Jade Green laid in checkered pattern Prepare 'Type 1' & 2 area with compacted FCR to 75mm depth minimum over laid with 30mm crushed stone dust. All soft fall areas are to be installed by recommended contractor recommended by the manufacture.

Contact: A1 Rubber 02 9756 2146  
Blue Wet Pour 'Cova Rubba' 'Chrome Yellow Rubber Track to be installed to specified areas to manufactures specification. Contact A1 Rubber 02 9756 2146 to be installed by recommended contractor Contact: A1 Rubber 02 9756 2146

Timber Play Equipment

All platforms/decks to be built no higher than 1.5m. Guard rail/barrier to be installed on all platforms greater than 500mm in height. Guard rail/barriers to be no less than 700mm in height. Free Height of Fall Zone (F.H.O.F.) requires 1700mm around platforms equal to 1.0m in height.

NOTES:

All fencing to Architects specification.

Timber Edging

Timber edging to be 75mm x 25mm treated pine secured to 300mm long treated pine stakes at nom. min 1000mm spacings with galvanised screws and installed to all junctions between garden beds, lawn and topping / pebble areas

Irrigation

An approved drip irrigation system is to be supplied to all planter boxes & garden beds. It is the responsibility of the contractor to ensure that all irrigation meets manufacturers specifications. The system is to be connected to mains supply and include a rain-shut off device.

Stepping stones

Castlemaine Slate random paving stepping stones

Product: Castlemaine Slate  
Supplier: Yarrabee & Castlemaine  
Phone: (03) 9535 1500



Raised vegetable Gardens

Veggie Planters

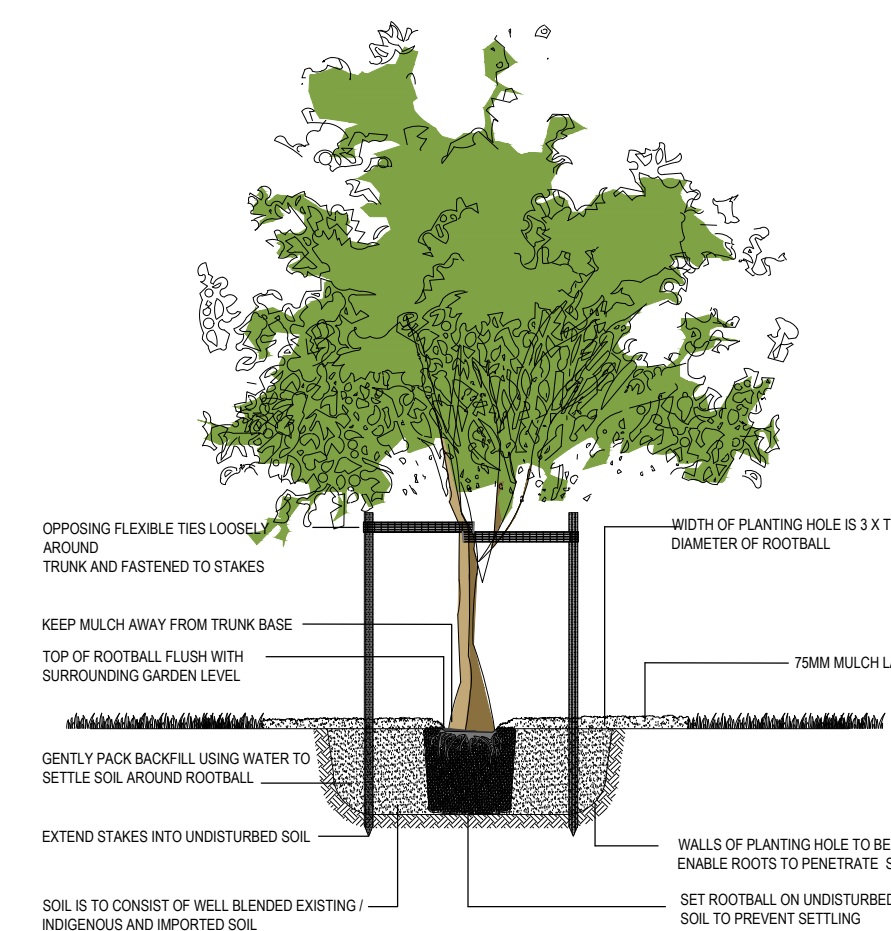
Vegetable Colourbond Planters - install on minimum 75mm compacted crushed rock base. Sizes include: Two Oblong 3000L x 1000W x 600H  
Supplier - The Veggie Garden (03) 5367 8988

Decking / Platform Areas

Decks to be constructed from appropriate graded timber for outdoor decking. Structure to be of solid constructing guaranteed for 20 years use. Decking to be Spotted Gum 140mm x 20mm pre-drilled and screwed with a bugle battren type screw in a staggered pattern into a double joist.

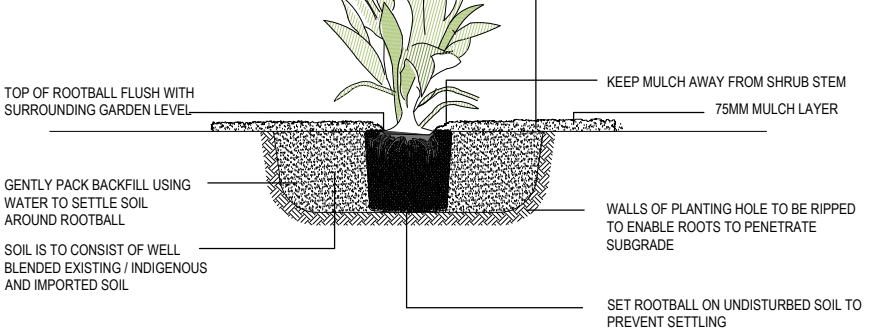
Advanced Tree Planting

detail not shown to scale



Shrub Planting

detail not shown to scale



Surface Finishes Detail

Garden Beds

75mm ORGANIC FINE BARK MULCH  
400mm APPROVED BEDDAM (COM SOIL)  
MIN 100mm DEEP ROTARY-HOED SUBGRADE

Topping / Pebble areas

40MM COMPACTED DRUMMAID TOPDRESS (60% TO 80MM PERFEABLE)  
100MM COMPACTED TO 80MM (NO COMPACTED FOR BASE INSIDE BASE OF EXISTING TREES)  
SUBGRADE

Legend

- Proposed evergreen trees
- Proposed deciduous trees
- Proposed fruit trees
- Proposed evergreen shrubs
- Proposed ground cover/ low planting
- Proposed sand pit (with shade over /soft fall edging for younger children)
- Proposed synthetic turf areas
- Proposed paved areas
- Proposed concrete areas
- Proposed soft fall areas/ Type 1
- Proposed soft fall areas/ Type 2
- Proposed soft fall mulch areas
- Proposed mulch areas
- Proposed pebble areas
- Selected paving
- Proposed compacted Lilydale toppings
- Proposed decking
- Fences with heights and materials as nominated
- Proposed paver step-stones
- Proposed paved areas

Plant Schedule

CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
TREES					
ACB	Asar buxgerianum	Trident Maple	2	400r / min 1.8m high	8m x 6m
APS	Asar palmatum 'Sango Kaku'	Japanese Maple	1	400r / min 1.8m high	6m x 5m
CFW	Corymbia ficifolia 'Widely'	Dwarf Flowering Gum	5	400r / min 1.8m high	6m x 3.5m
FH	Ficus microcarpa var. MII	Hill's Fig	4	400r / min 1.8m high	12m x 7m
FHE	Ficus NINI 'Emerald Standard Ficus'	Emerald Standard Ficus	5	400r / min 1.8m high	4m x 2m
HF	Hydnocarpum laevis	Nakua Frangipani	2	400r / min 1.8m high	10m x 4m
LIN	Lagotisornis indica 'bushcree'	White Crops Myrtle	1	400r / min 1.8m high	8m x 6m
MGT	Magnolia grandiflora 'Teddy Bear'	'Teddy Bear'	3	400r / min 1.8m high	4m x 2m
PC	Pyrus calleryana 'Capital'	Capital Pear	9	400r / min 1.8m high	11m x 2.5m
TL	Tristania laurina	Karooka	2	400r / min 1.8m high	6m x 5m

FRUIT TREE

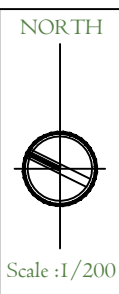
CS	Citrus limon 'Meyer'	Meyer Lemon	1	400r / min 1.8m high	4m x 4m
SHRUBS					
AS	Acronia anathii var. 'Minor'	Compact Lily Pili	21	20cm pot	3m x 1.5m
GO	Gonolobus crata	Hop Goodenia	2	20cm pot	1.5m x 1.5m
MPM	Marrugo paniculata 'Mini-A-Mini'	Dwarf Orange Jessamine	3	20cm pot	3m x 3m
MSP	Marrugo paniculata	Orange Jessamine	13	20cm pot	1.5m x 1m
SAH	Syngonium aureoline 'Vinterland Gold'	Narrow Brush Cherry	10	30cm pot	4m x 1.5m
SPB	Syngonium paniculatum 'Black-eyed Blue'	Lily pili	18	20cm pot	4m x 1.5m
STT	Syngonium aureoline 'Tiny Tree'	Dwarf Brush Cherry	17	20cm pot	1m x .8m
WFA	Westringia australis 'Jarvis Grey'	Compact Coastal Rosemary	3	20cm pot	1m x 1m
WFA	Westringia australis 'Nighting'	Coast Rosemary	4	20cm pot	2m x .8m

GROUND COVERS & LOW SHRUBS

BP	Brunneria australis	Blue Pincushion	79	14cm pot	5m x 4m
CHR	Chrysanthemum apiculatum	Common Everlasting	8	14cm pot	5m x 1.5m
CP	Colobanema pulchellum	Pink Breath of Heaven	30	14cm pot	1.5m x 1.5m
CPB	Carpobrotus rossii	Nakua Pig Face	54	14cm pot	2m x 1.2m
CRN	Conoclinium var. nanum/leukale	Common Correa	73	14cm pot	2m x 1.0m
PAT	Pachystima terminalis	Pachystima	126	14cm pot	2m x 7m

TUSsocks / GRASSES / EVERGREEN PERENNIALS

DCB	Dianella caerulea 'Breeze'	Beauva Plant Lily	4	14cm pot	7m x .65m
DR	Dianella monida var. 'evadea'	Black-Anther Flax-Lily	7	14cm pot	6m x .8m
LL	Lomandra longifolia	Spry Headed Mat Rush	10	14cm pot	1m x 1m
LM	Lirioden exoni	Lirioden	23	14cm pot	75m x 75m
LLT	Lomandra Lime Tuft	Mat Rush	14	14cm pot	5m x .5m



PROJECT ADDRESS: 291 SUNSHINE ROAD TOTENHAM  
DATE: 16-04-2021  
SHEET SIZE: A0  
PROPOSED BY: NJA/JMA Landscape Arch UEL/UK  
DRAWN BY: AS  
PROJECT NO: B L7831  
REV # D  
KEYSTONE ALLIANCE PTY LTD  
713 Perry Road Rosanna VIC 3073  
T: 03 9478 8099 M: 0414 901 126  
E: mail@keystonealliance.com.au  
W: keystonealliance.com.au



Landscape Plan



**GARDEN BED ESTABLISHMENT:**

WHERE INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL PROVIDE FOR THE ESTABLISHMENT OF A GARDEN BED; ALL WORKS ARE TO BE CARRIED OUT BY STANDARD HORTICULTURAL PRACTICES. ALL WORKS SHALL ONLY BE CARRIED OUT UNDER SUITABLE SOIL CONDITIONS, AND USAGE OF MACHINERY OR HAND TOOLS UNDER ADVERSE CONDITIONS THAT WOULD DAMAGE THE SOIL STRUCTURE WILL NOT BE PERMITTED.

AFTER FINAL SETTLEMENT, THE FINISH SURFACE LEVEL SHALL MATCH THE TOP OF THE ADJOINING BEDDING EDGES, PLACE TOP SOIL TO WITHIN 75mm BELOW THE FINISHED LEVEL TO ALLOW FOR THE REPLACEMENT OF MULCH,

GRADES:

ALL GRADES ARE TO BE SHAPED TO ASSIST DRAINS,  
PREPARATION OF SUBGRADE:

EXCAVATE AS REQUIRED. TP ESTABLISH SUBGRADE LEVEL TO ALLOW FOR THE ADDITION OF TOPSOIL AND MULCH. ALL GARDEN AREAS THAT HEVELY COMPACTED FROM THE CONSTRUCTION WORKS SHALL BE BROKEN UP BY AN INITIAL CULTIVATION before THE PLACEMENT OF THE TOP SOIL; THIS SHALL BE CARRIED OUT BY CULTIVATING TO A DEPTH OF 300mm AND SHALL BE ALONG THE CONTOURS TO PREVENT EROSION, THIS SHALL LEAV THE GROUND IN A LOOSE AND FRIABLE CONDITION.

TOPSOIL:

IMPORTED TOPSOIL FROM AN APPROVED SUPPLIER WILL CONFIRM THE FOLLOWING, TEXTURE LIGHT TO MEDIUM CLAY LOAM, i.e. CAPABLE OF BEING COMPRESSED INTO A BALL BY HAND WHEN MOIST YET CAN BE BROKEN APART IMMEDIATELY AFTER,

**TOPSOILING:**

SPREAD TOPSOIL TO AN EVEN DEPTH OF 250mm, AND DO NOT DELIVER OR SPREAD IN A MUDDY CONDITION. WHERE ACCESS IS REQUIRED OVER ESTABLISHED OR PROPOSED GARDEN AREAS, KEEP THE VEHICULAR ROUTES IN THE SMALLEST POSSIBLE AREA,

**GARDEN PREPARATION:**

BEFORE LYING MULCH IN ALL LARGE GARDEN BEDS AND WHERE THICK SCREEN PLANTING (e.g. BORDER PLANTING) OCCURS CULTIVATE TO A DEPTH OF 300mm MIN IN SMALL GARDEN AREA DIG TO SPADE DEPTH (230mm).

GYPSUM:

AFTER TOPSOIL IS SPREAD IN GARDEN AREAS, SPREAD GYPSUM AT THE RATE OF 1-1 KILOGRAMS PER SQUARE METER, DEPENDING ON THE MANUFACTURER'S

RECOMMENDATIONS FOR THE TYPE OF TOPSOIL. MIX THE GYPSUM INTO THE TOPSOIL BY PARKING IN LIGHTLY TO A DEPTH OF 50mm,  
MULCH- SUPPLY AND PLACED SELECTED MULCH IN ALL GARDEN BEDS TO A MINIMUM THICKNESS OF 75mm.

**PLANTING:**

REFER TO THE TREE AND SHRUB PLANTING DETAILS,

COMPLETION:

REFILL ANY DEPRESSION CAUSED BY SETTLEMENTS AND REFORM ANY AREAS WHICH PREVENT WATER RUNOFF,

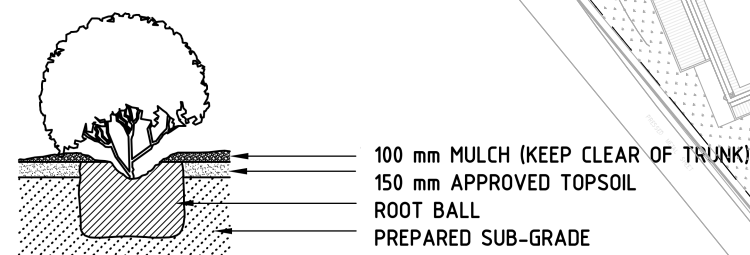
FERTILISER:

USE 8-9 MONTH OSMOCOTE FRTILIZER AT THE RATE SPECIFIED BY THE MANUFACTURER.

**PLANTING PROCEDURE:**

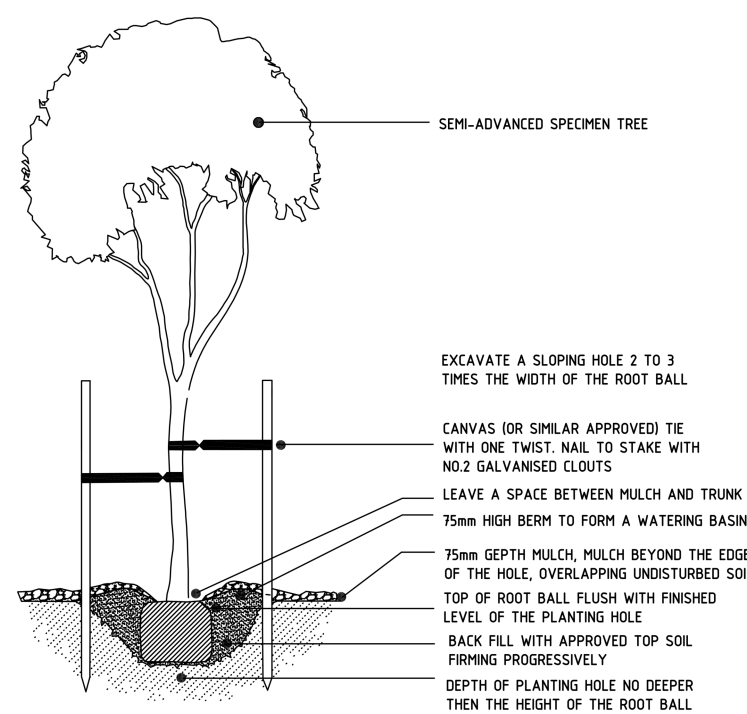
AFTER THE PLANTING BED SATISFACTORILY, THE PROCEDURE SHALL BE AS FOLLOWS:

- (II) THOROUGHLY SOAK BEFORE PLANTING.
- (III) CLEAR MULCH FOR 500-1000mm AROUND HOLE FOR REPLACEMENT AFTER PLANTING,
- (III) DIG HOLE 300-450mm DIAMETER AND JUST OVER THE DEPTH OF THE PLANT CONTAINER, IN REFILLING BREAK AWAY LUMPY SOIL, WHICH IS TO BE USED IN REFILLING THE HOLE.
- (IV) IF THE SOIL IS VERY DRY, FILL THE WATER AND ALLOW TO DRAIN COMPLETELY,
- (V) AT THIS STAGE, THE HOLE SHALL BE DEEP ENOUGH TO ACCEPT THE SOIL'S HEIGHT IN THE PLANT CONTAINER, AND THE PLANT CAN BE PLACED SO THAT THE FINAL LEVEL WILL BE HIGHER THAN IN THE POT.
- (VI) STAKING: TOW STAKES PER PLANT ARE TO BE USED. PLACE STAKES BEFORE PLANTINGS TO ENSURE THAT THE STAKES WILL NOT DAMAGE THE ROOTBALL, ie STAKES SHALL BE PLACED IN A NORTH/SOUTH ORIENTATION,
- (VII) PLACE THE PLANT INTO THE HOLE AND FILL THE SOIL FIRMLY WITHOUT DISTORTING THE SHPE OF THE PLANT ROOT SYSTEM. A BOWLL SHALL BE FORMED AROUND THE PLANT TO BE PLANTED IN A MOUNDED MULCHED AREA ABOVE THE LAWN.
- (IX) THE PLANT LABEL SHOULD BE REMOVED FROM THE TRUNK OF THE PLANT, AND WHERE STAKES ARE AVAILABLE, IT SHOULD BE REMOVED FROM THE TRUNK OF THE PLANT, AND WHERE STAKES ARE AVAILABLE, IT SHOULD BE TIED TO A STAKE,
- (X) APPLY OSMOCOTE FOLLOWING MANUFACTURER'S INSTRUCTION.
- (XI) MULCH IN THE GARDEN BED AREA IS TO BE RETURNED TO THE DISTURBED AREA; KEEP MULCH AWAY FROM TREE TRUNKS TO AVOID ROTTING.
- (XII) WATER SEVERAL TIMES AFTER PLANTING TO ENSURE THAT THE WATER PENETRATES THE SOIL.



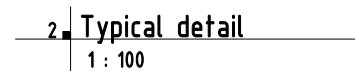
## SHRUB PLANTING DETAIL

NOT TO SCALE



### TREE PLANTING DETAIL

NOT TO SCALE



PLANTING SCHEDULE							
					POT		
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	SIZE	QUALITY	
L1	PITTOSPORE	SILVER SHEEN	3m+	1.5m	500mm	14	14
L2	PIRUS CALLEANA	RED SPIRE	8m+	5m	500mm	1	1
L3	SYZYGIUM AUSTRALIS	LILLY PILLI	3m+	1.5m	500	17	17
	PIRUS ORNAMENTAL						
L4	PEAR	EVERSCREEN	10m	5m	200mm	1	1
Total Windows							33

**ENDORSEMENT**  
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**MARIBYRNONG PLANNING SCHEME**

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RESPONSIBLE AUTHORITY

DATE

PROJECT:  
Australia Light Foundation  
Proposed Mortuary

DRAWING:  
LANDSCAPE PLAN

Contractors must verify all dimensions on site before commencing any work or preparing shop drawings.

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CREATION DATE:  
**07/13/24**

JOB NO:  
**23-06SJ**

SCALES:  
**As indicated**

AUTHOR:  
**Author**

**sjoinch**  
BUILDING DESIGN

ACCN 642500543

ABN 52758074091  
VIC  
DP-AD-20923  
TAS  
345153779

**VBA** VICTORIAN  
BUILDINGS  
AUTHORITY  
**BUILDING CONFIDENCE**

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Greenvale Vic. 30559  
E-mail [sjainch@gmail.com](mailto:sjainch@gmail.com)  
Mobile 0405311484

DRAWING NO  
**A-4**  
REV:  
**3**