

68 FRANCIS STREET, YARRAVILLE

Attachment 3 Architectural Plans Updated

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SPOT
PLANNING

Town Planning

68 Francis Street, Yarraville

CITY OF MARIBYRNONG
ADVERTISED PLAN



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Design + Research + Education

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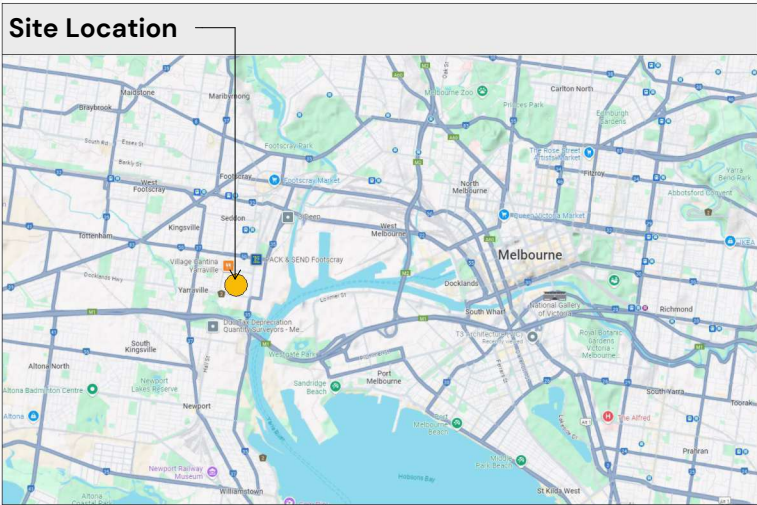
Neighbourhood

The existing character of the neighbourhood comprises

- Single and double storey buildings
- Single residential buildings
- Multi-residential buildings
- Brick veneer, weatherboard, lightweight clad and rendered finish buildings

Roof forms are hipped, gable and skillion with a mix of tiled and metal sheet roofing. There is no single architectural character of the location. The styles of buildings reflect ongoing development over a period of decades

Significant	
	Melbourne CBD 8.4km
	Tullamarine Airport 29.4km
	Yarraville Station 1.2km
	Yarraville West Primary School 1.4km
	Western Health Footscray Hopital 4.9km



Demolish existing concrete path as required to accommodate proposed crossovers

Remove existing metal fence and gate

Demolish existing corrugated iron lean to & shedding

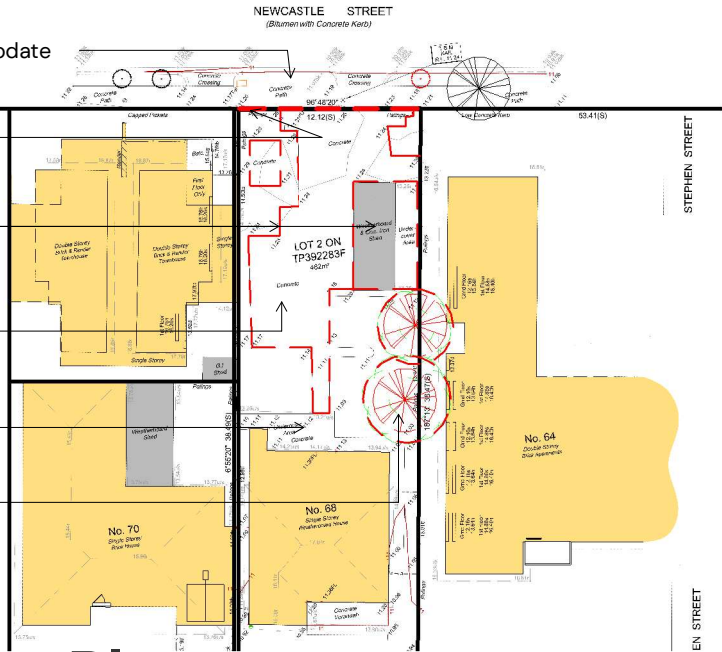
Demolish existing concrete to facilitate site works for proposed development

Demolish existing 'leant to' undercover area & concrete

Remove existing trees

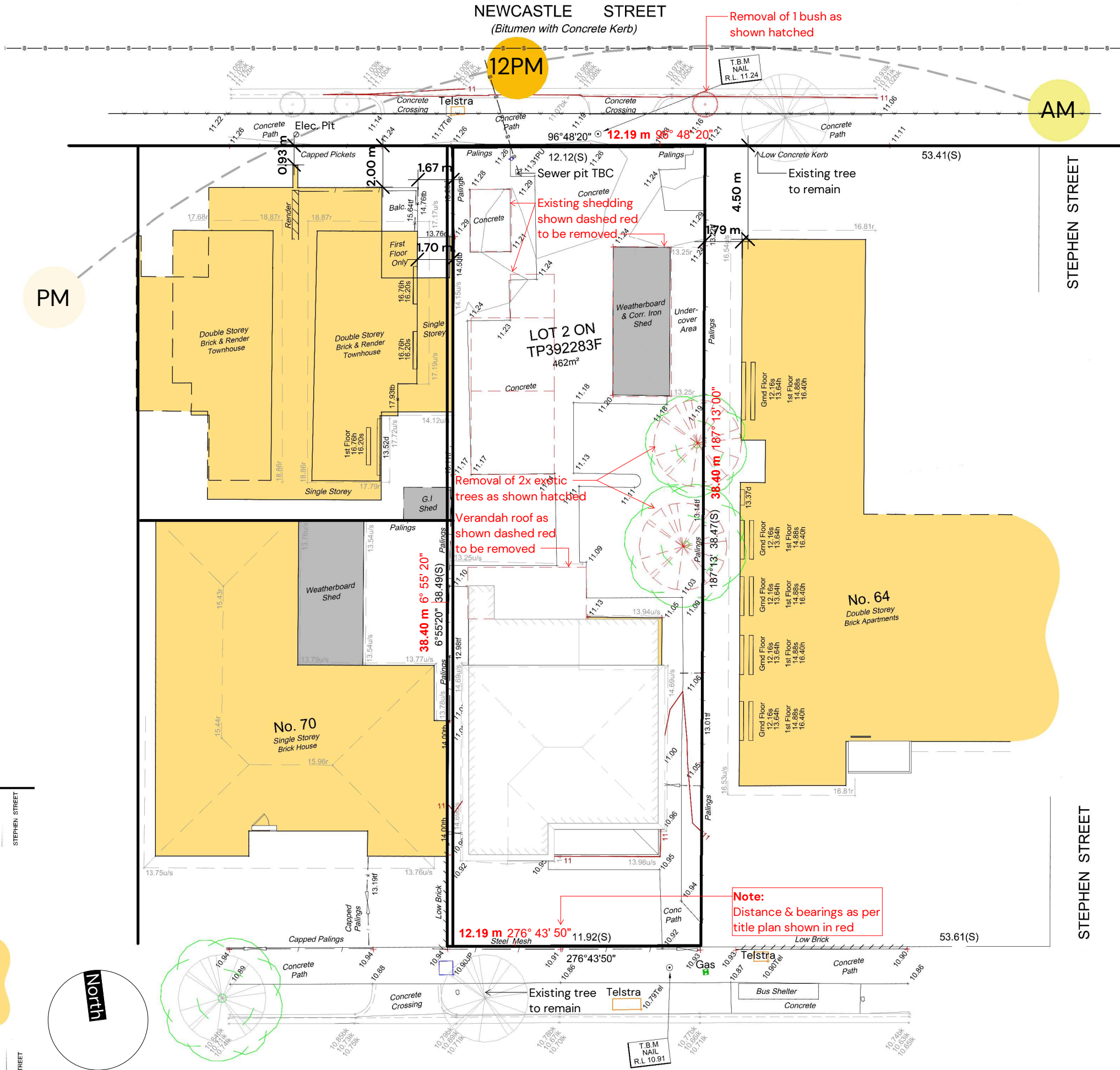
Demolition Plan

Scale 1 : 500



Site Context

Scale 1 : 200



FRANCIS STREET
(Bitumen with Concrete Kerb)
68 Francis Street, Yarraville

Town Planning

Page TPO1

Design Response

Materials and built form selected and designed to integrate with existing neighbourhood character and typology and reduce building bulk.

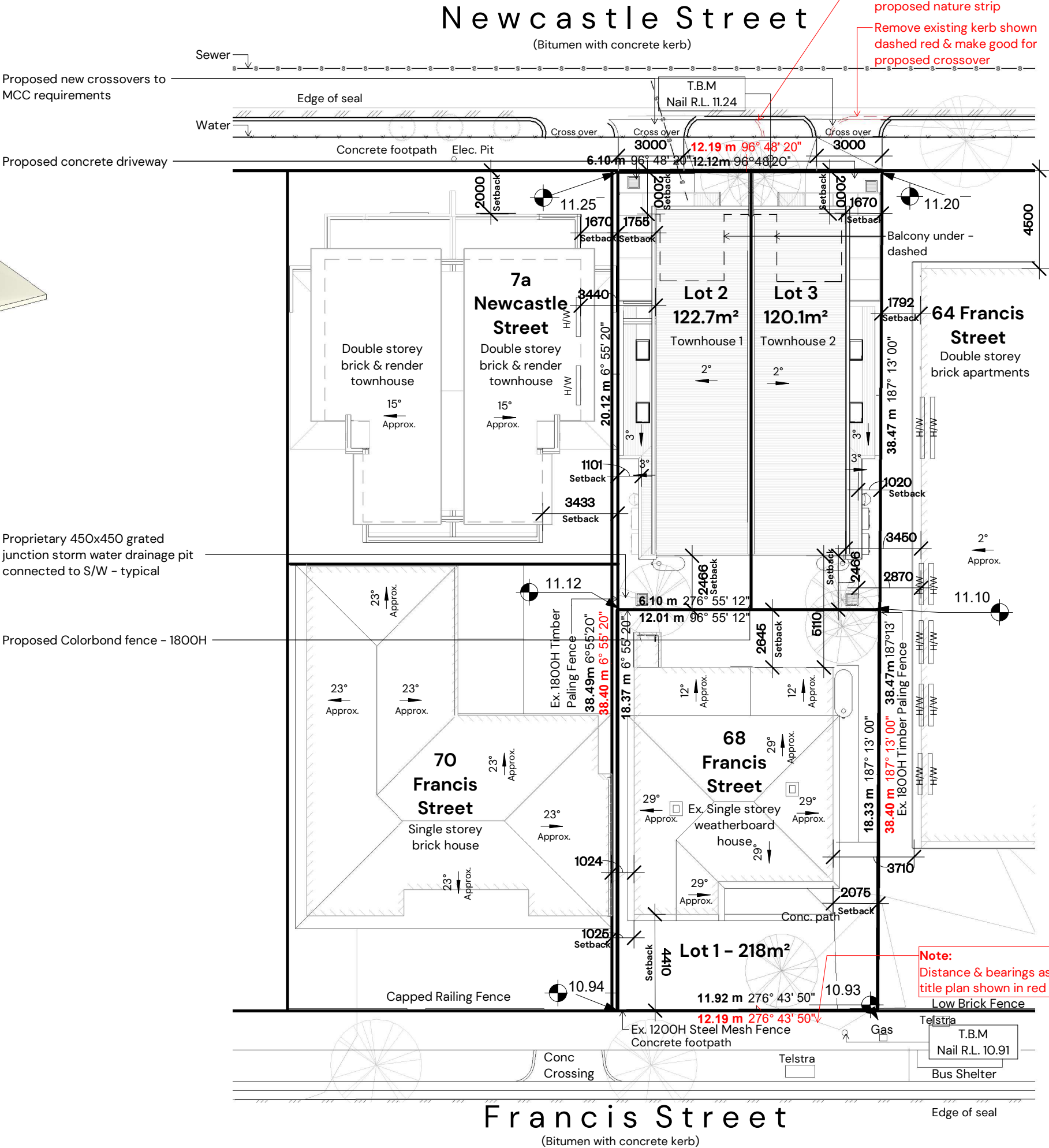
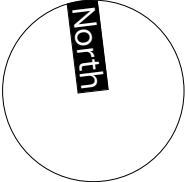
North facing private open space provided at via balcony. Direct access to living area/s.

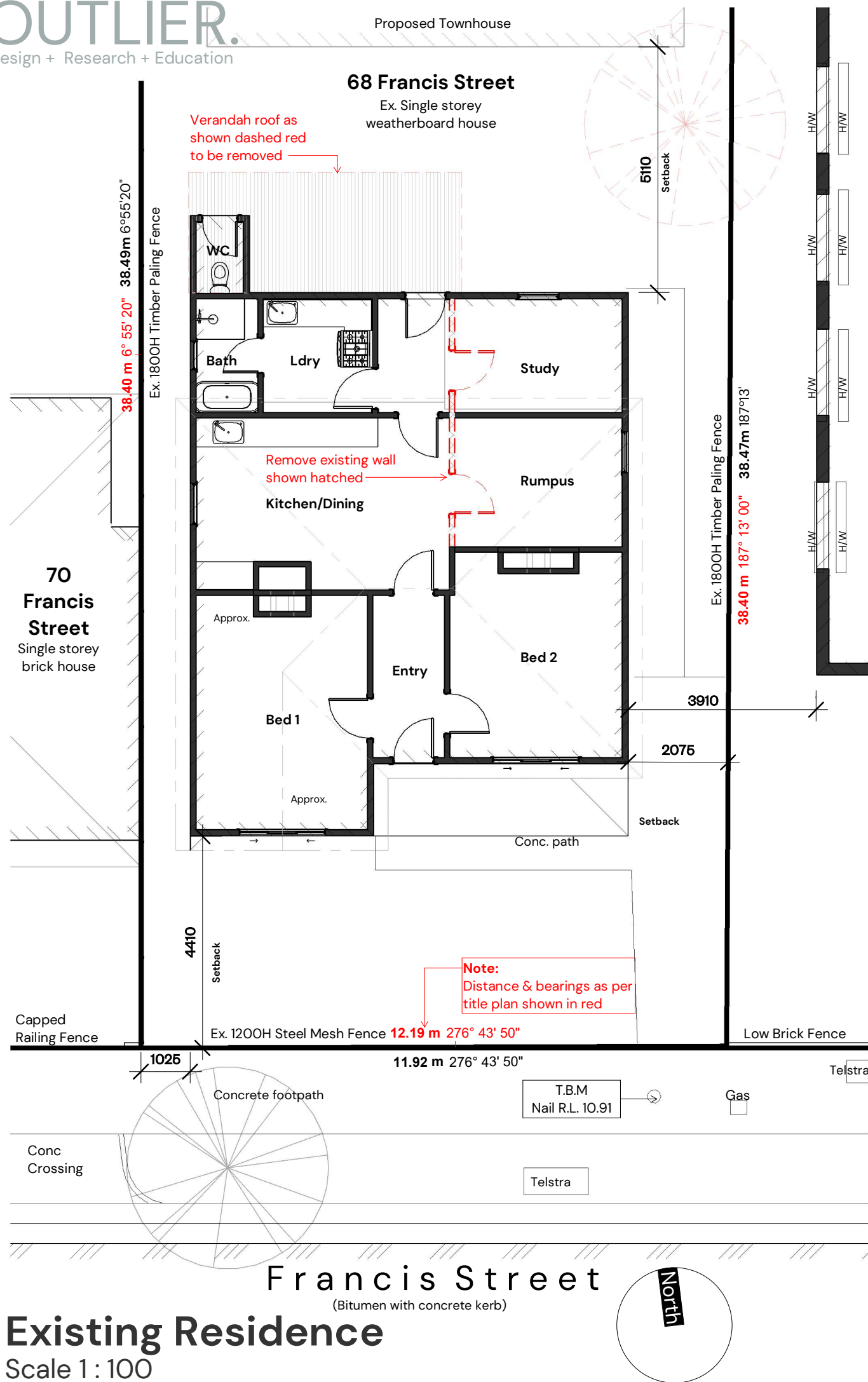
Individual addresses with clearly identifiable entries and appropriate car parking provision.

Deciduous tree planting to street frontage to soften hardscaping at entry

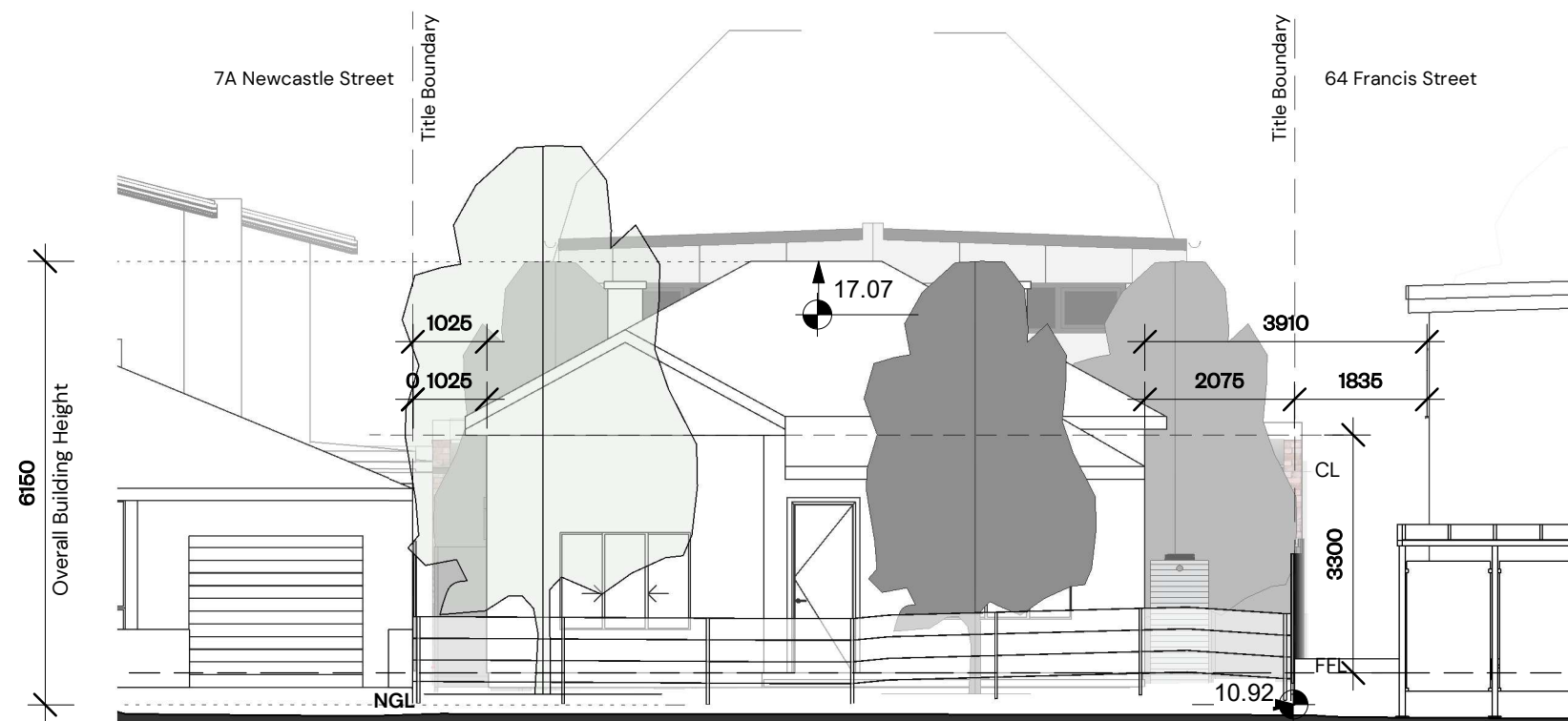
Consistent front setback with adjoining property at 7A Newcastle Street.

SITING COMPLIANCE		
Total Site Area - 472 m²		
Regulation - Residential Development Standards(Rescode)	Required	Provided
Site coverage (Standard A5 & B8) The site area covered by buildings should not exceed 60%	Max. 60% 283.2 m²	58.7% 277.1m²
B28 - Private open space (Townhouse 1 & 2) A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room;	8m²	8m²
B28 - Private open space (Existing Dwelling) An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room,	40m²	160m²
Garden Area At least 25% of the site should be garden area.	Min. 25% 118m²	36% 169.5m²





64 Francis Street
Double storey brick apartments



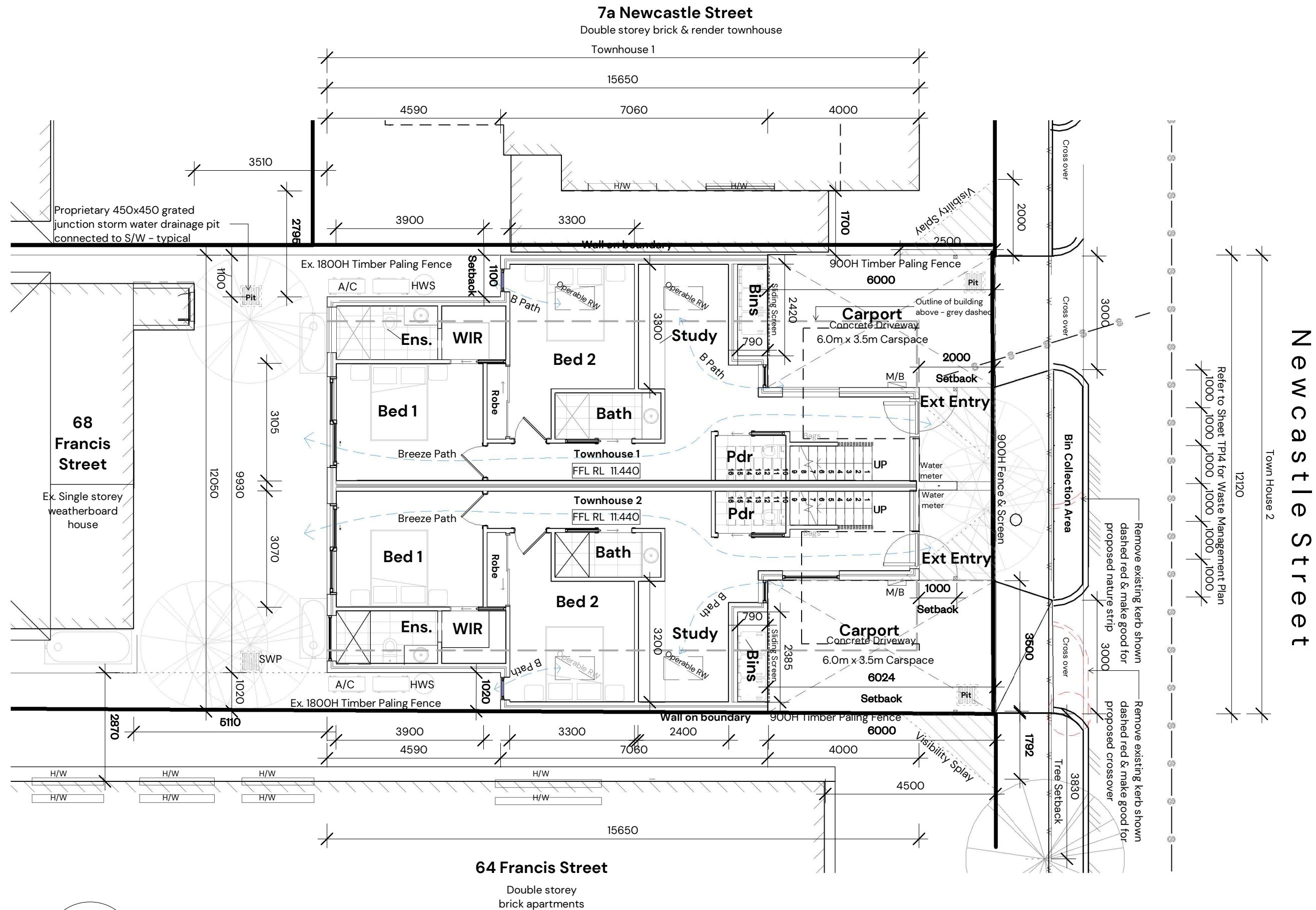
South Elevation
Scale 1 : 100
(Francis Street)

Area Schedule Townhouse 1

Name	Area
Lower Living TH 1	73.91 m ²
Ext Store TH 1	2.39 m ²
Car Parking TH 1	21.00 m ²
Ext Entry TH 1	3.41 m ²
Bins TH 1	1.77 m ²
Balcony TH 1	8.36 m ²
Upper Living TH 1	56.76 m ²
Courtyard TH 1	20.08 m ²
Total	187.68 m ²

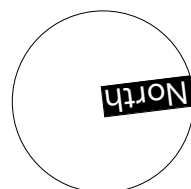
Area Schedule Townhouse 2

Name	Area
Lower Living TH 2	72.30 m²
Ext Store TH 2	2.39 m²
Car Parking TH 2	20.79 m²
Ext Entry TH 2	3.35 m²
Bins TH 2	1.63 m²
Upper Living TH 2	56.70 m²
Balcony TH 2	8.50 m²
Courtyard TH 2	19.24 m²
Total	184.90 m²



Lower Floor Plan

Scale 1 : 100



7a Newcastle Street

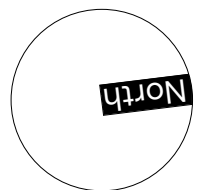
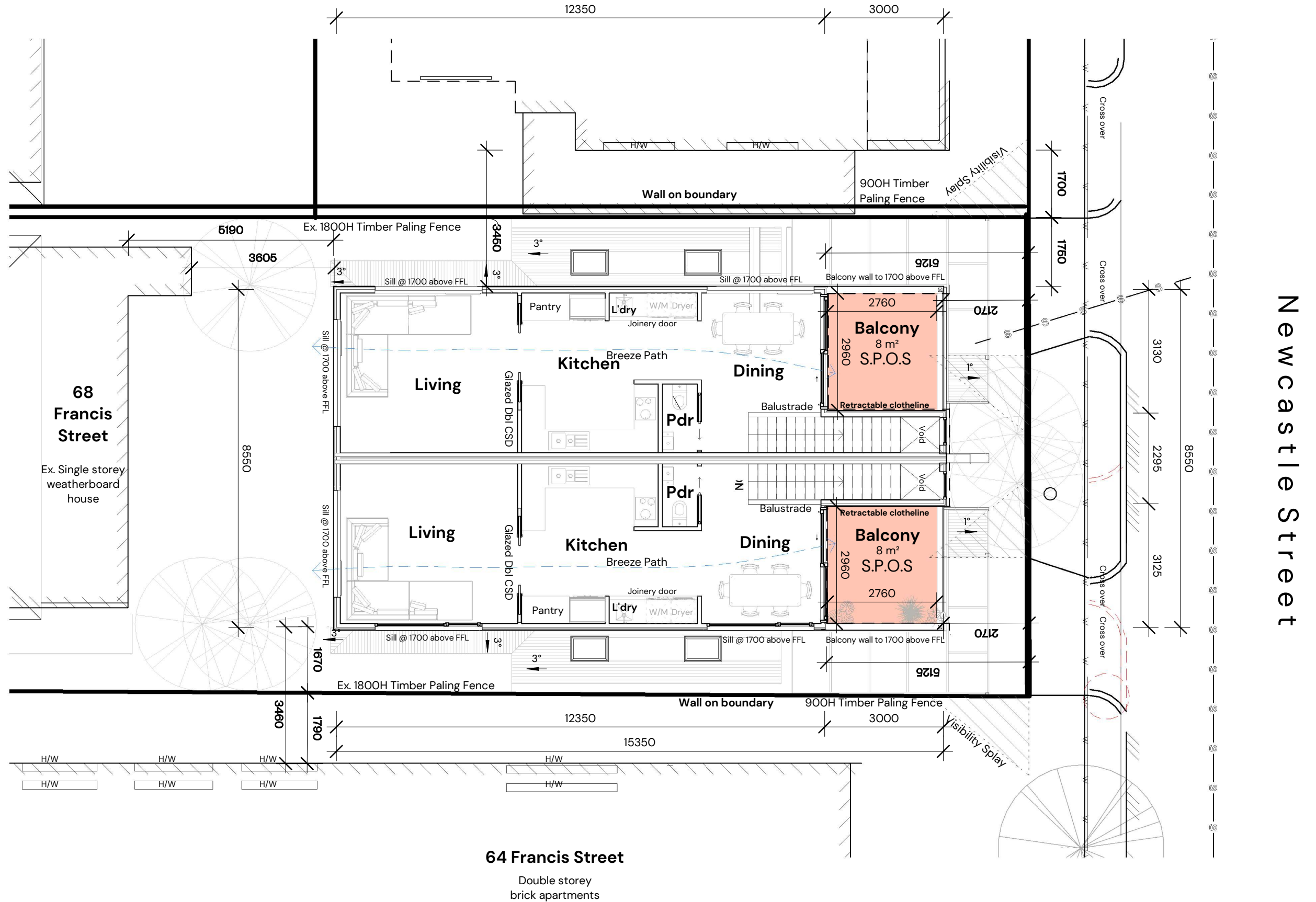
Double storey brick & render townhouse

Area Schedule Townhouse 1

Name	Area
Lower Living TH 1	73.91 m ²
Ext Store TH 1	2.39 m ²
Car Parking TH 1	21.00 m ²
Ext Entry TH 1	3.41 m ²
Bins TH 1	1.77 m ²
Balcony TH 1	8.36 m ²
Upper Living TH 1	56.76 m ²
Courtyard TH 1	20.08 m ²
Total	187.68 m ²

Area Schedule Townhouse 2

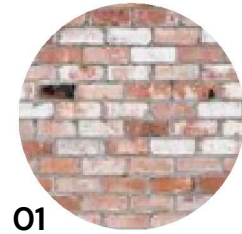
Name	Area
Lower Living TH 2	72.30 m ²
Ext Store TH 2	2.39 m ²
Car Parking TH 2	20.79 m ²
Ext Entry TH 2	3.35 m ²
Bins TH 2	1.63 m ²
Upper Living TH 2	56.70 m ²
Balcony TH 2	8.50 m ²
Courtyard TH 2	19.24 m ²
Total	184.90 m ²



Upper FL

Scale 1 : 100

External Finishes



Recycled pressed red face brickwork

01



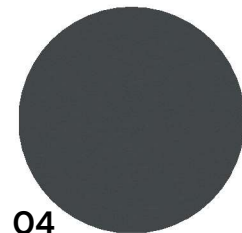
Textured cement sheet cladding. Light painted finish

02



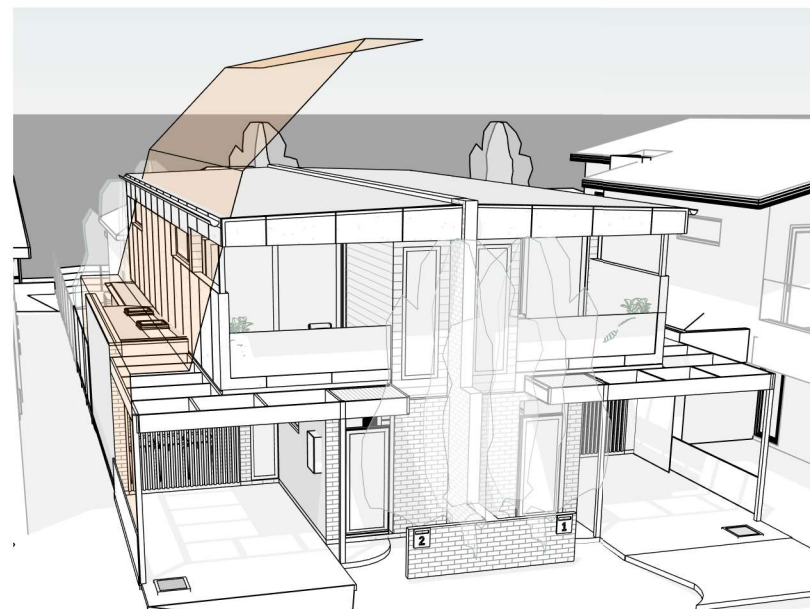
Horizontal cement sheet weatherboard cladding. Light painted finish

03

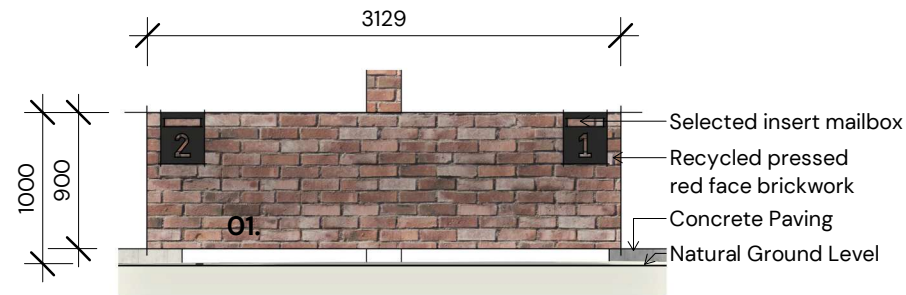


Gutters, fascia, downpipes, posts. Painted our powder coated finish in black/charcoal

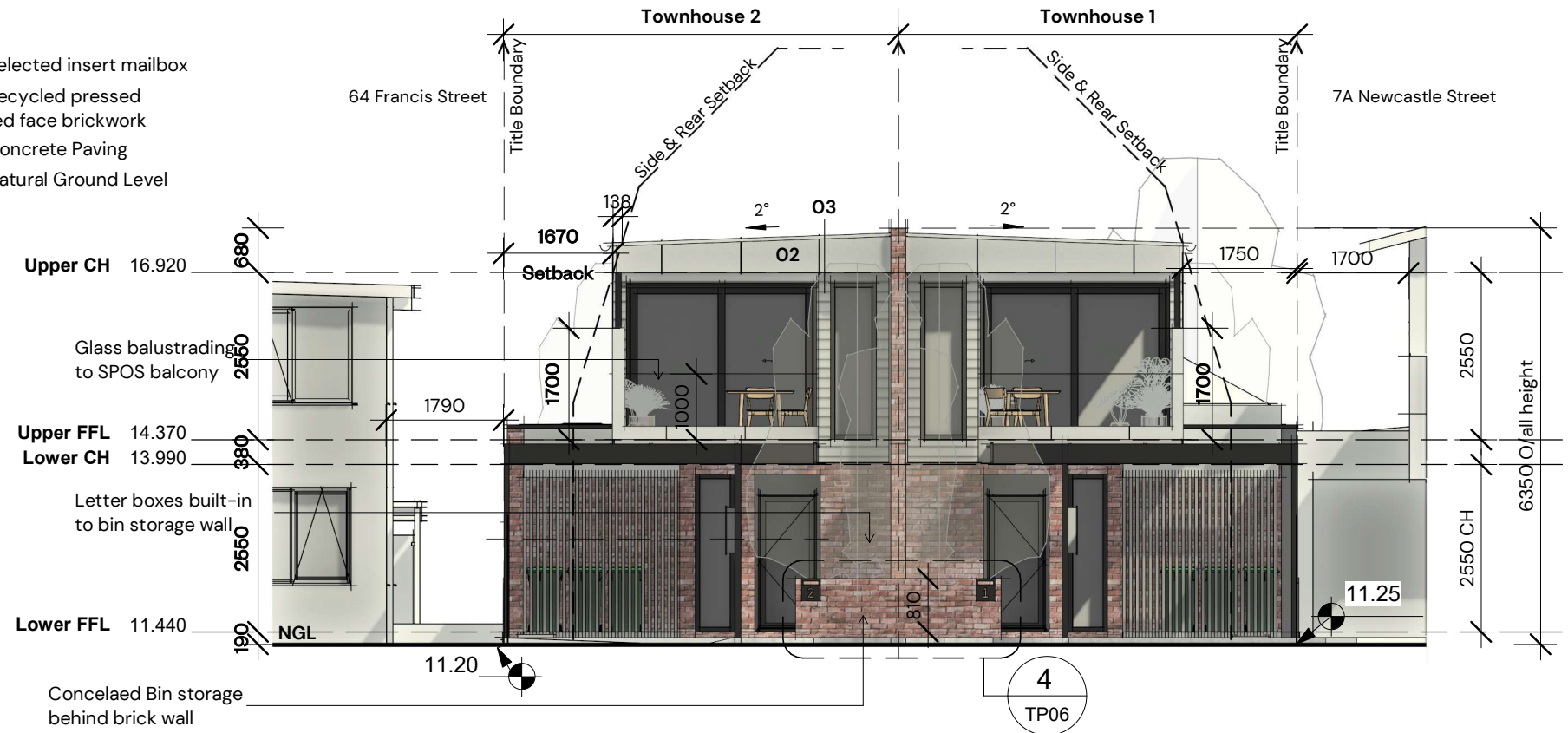
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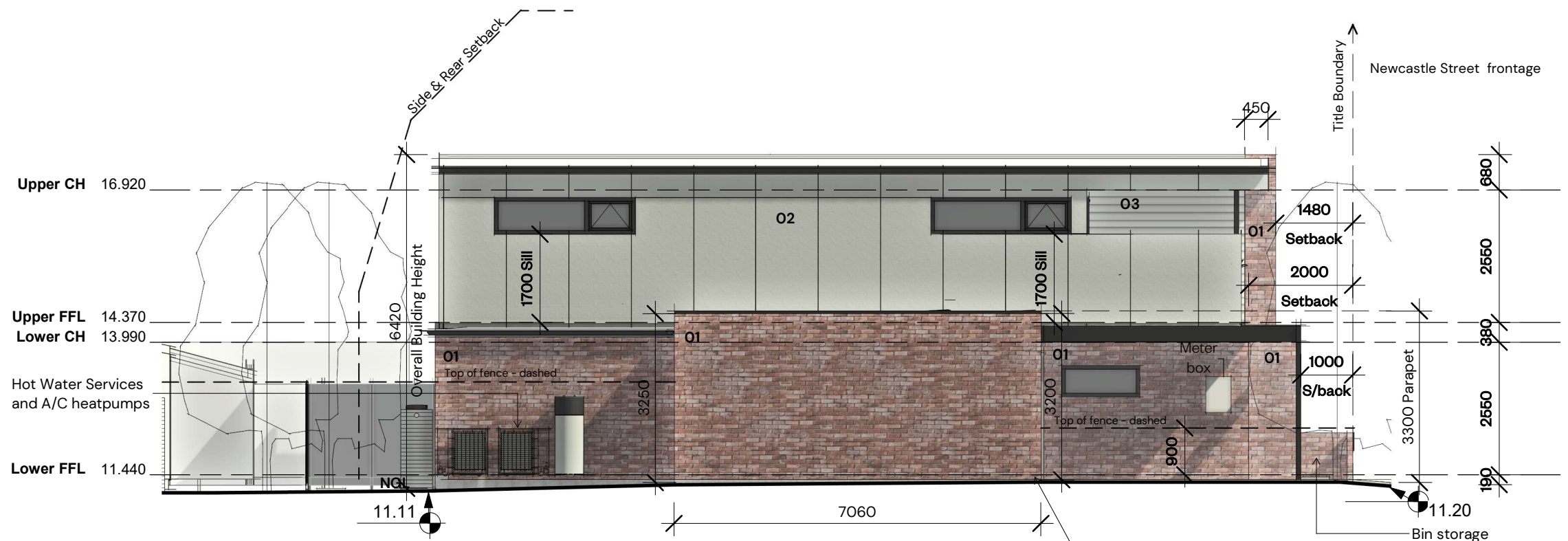
East Side Setback



Letterbox
Scale 1 : 50



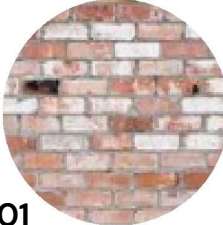
North Elevation
Scale 1 : 100





East Elevation - Townhouse 2
Scale 1 : 100

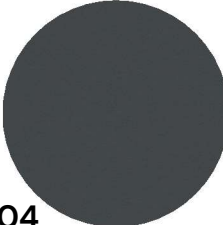
Walls & Carports on Boundaries response:
Area of Wall = 22.6m² Proposed Length of Wall = 7.06m
Proposed Average Height of Wall = 3.2m

External Finishes

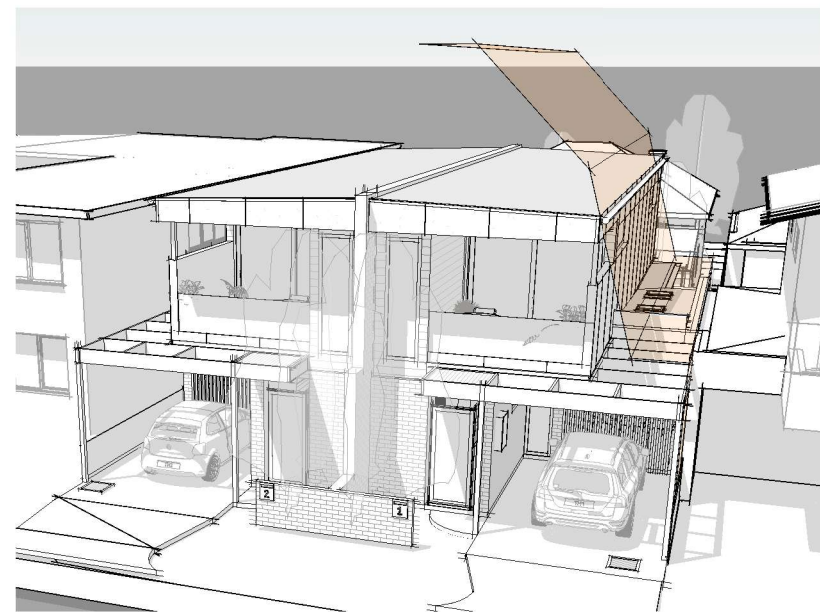
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01 Recycled pressed red face brickwork
- 

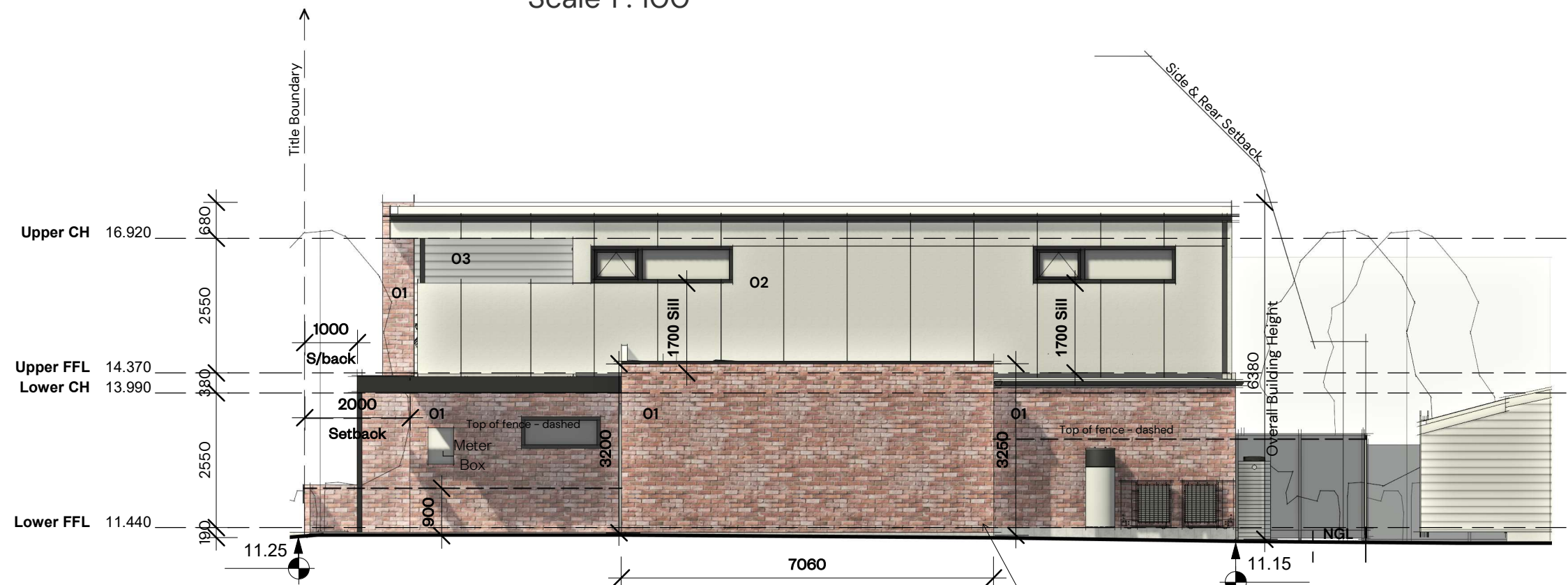
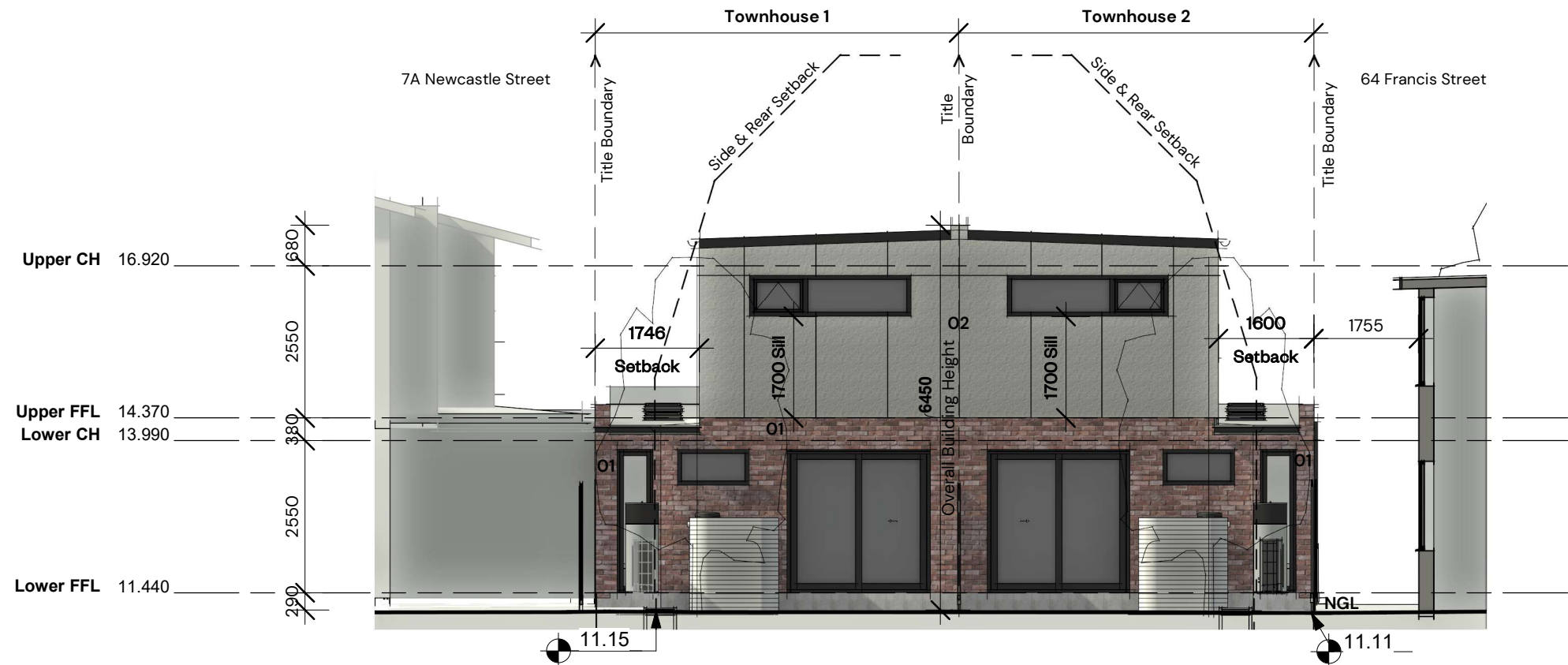
02 Textured cement sheet cladding. Light painted finish
- 

03 Horizontal cement sheet weatherboard cladding. Light painted finish
- 

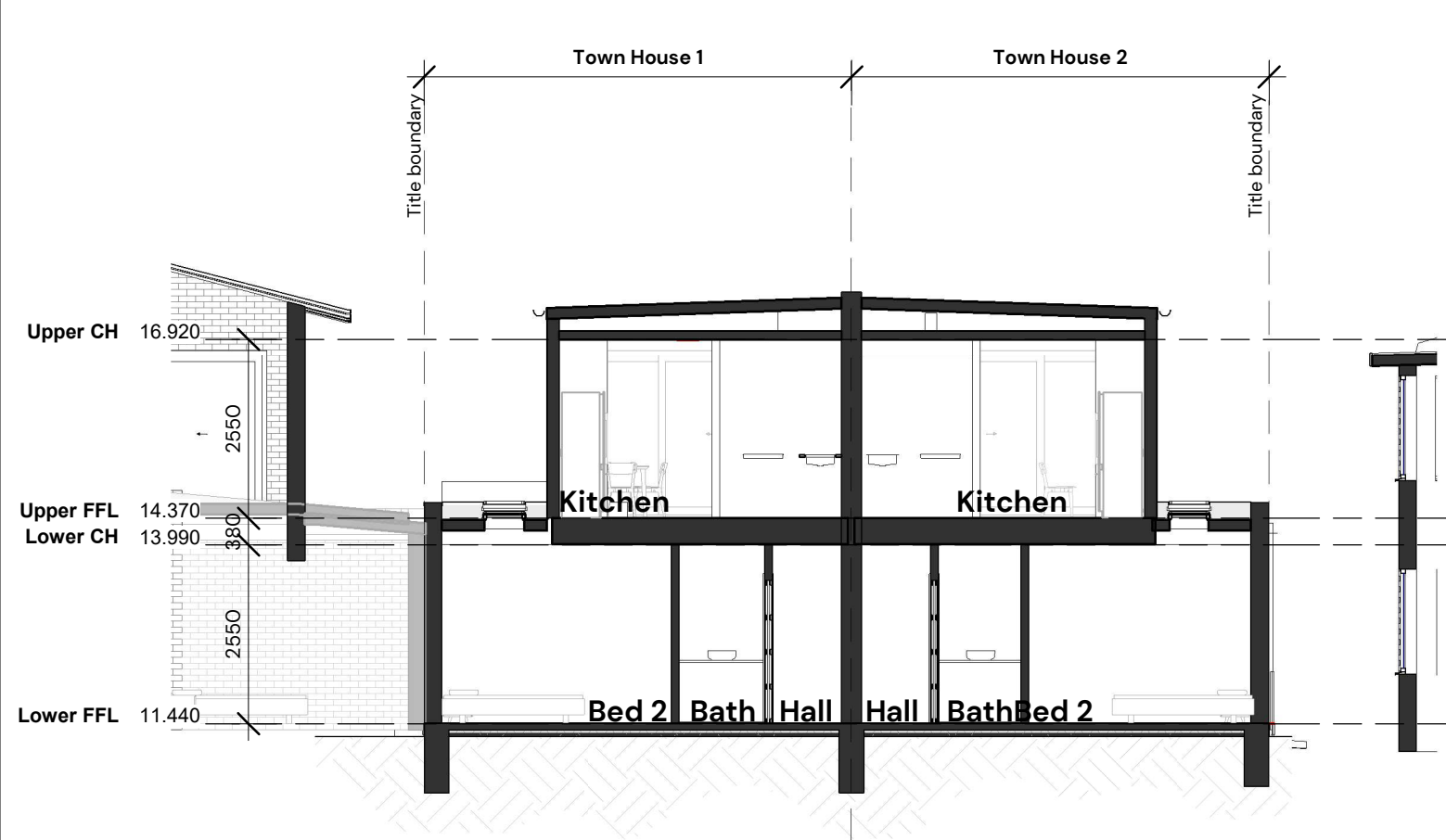
04 Gutters, fascia, downpipes, posts. Painted our powder coated finish in black/charcoal



West Side Setback

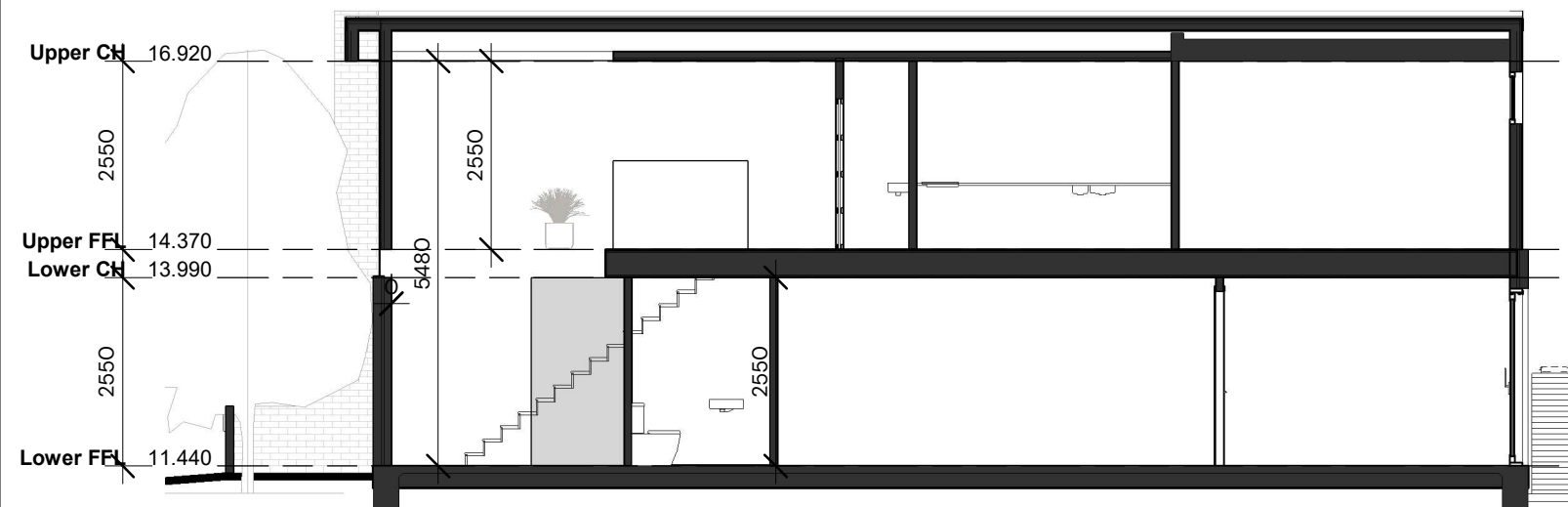


Walls & Carports on Boundaries response:
Area of Wall = 22.5m2 Proposed Length of Wall = 7.06m
Proposed Average Height of Wall = 3.18m



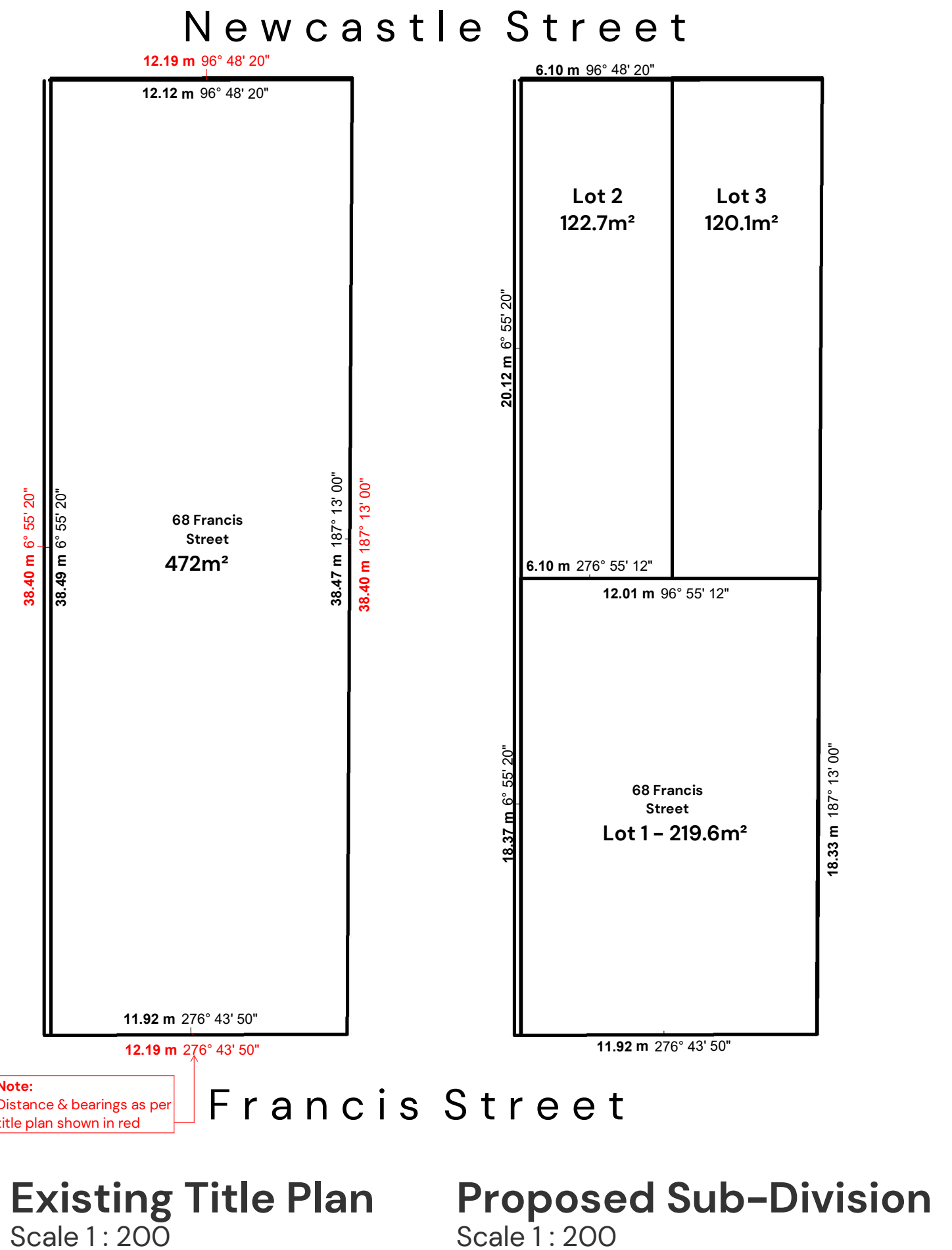
Section
Scale 1 : 100

A.A
A20



Section
Scale 1 : 100

B.B
A20



Existing Title Plan
Scale 1 : 200

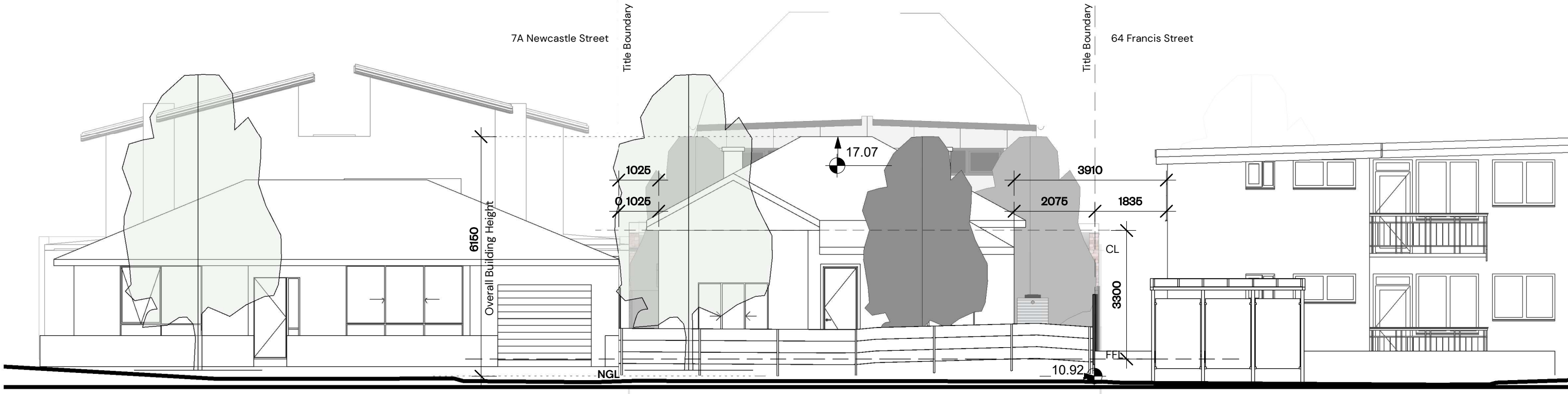
Proposed Sub-Division
Scale 1 : 200



Streetscape Elevation



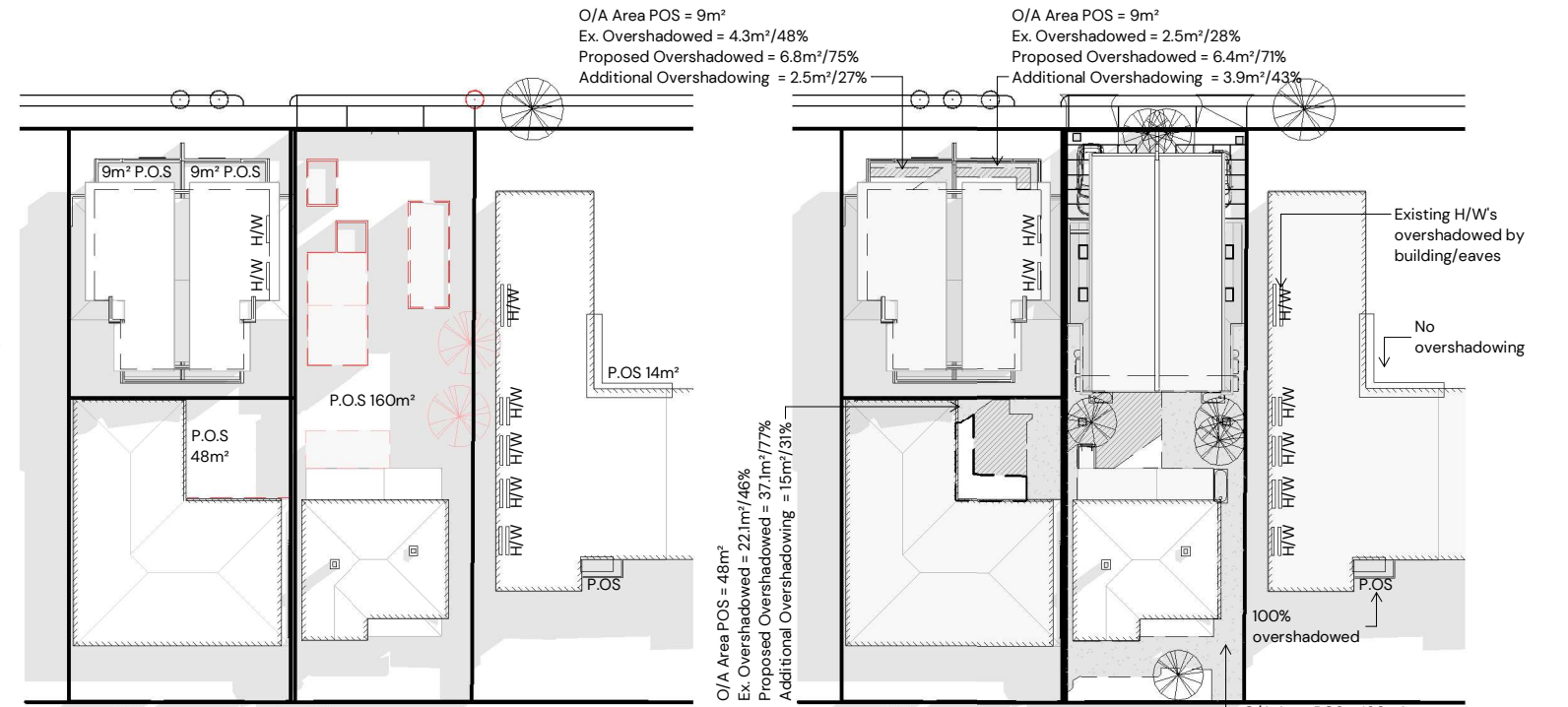
3D Streetscape



Francis St Streetscape
Scale 1 : 100

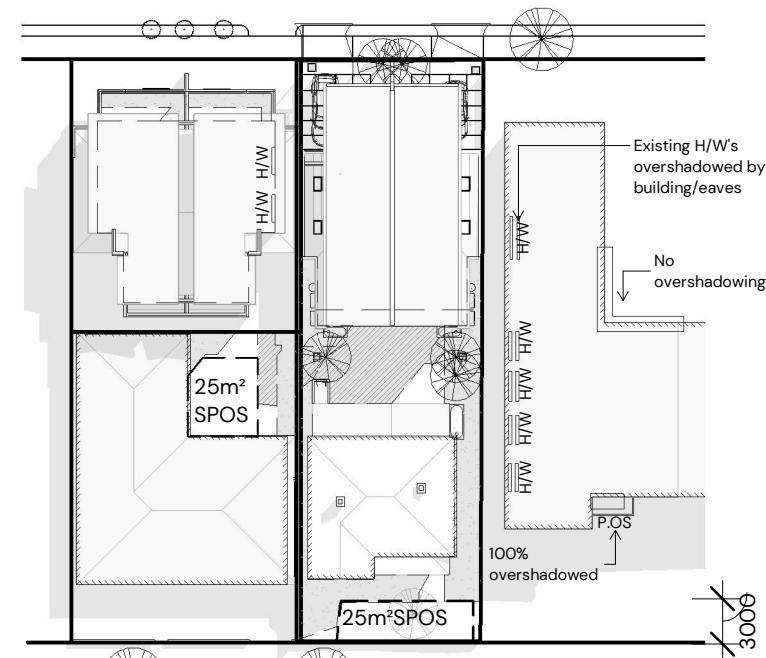






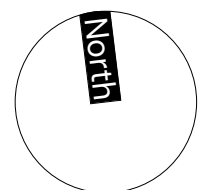
Proposed 10am Sep 22

Scale 1 : 500

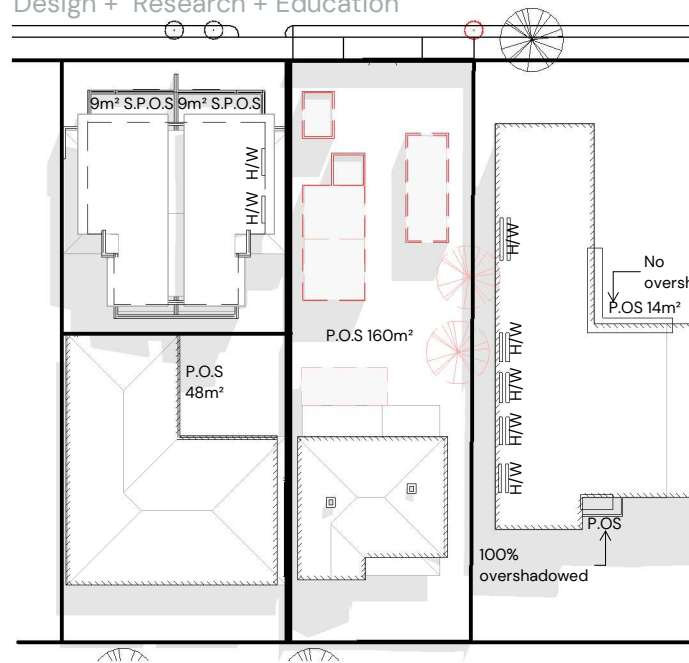


Proposed 11am Sep 22

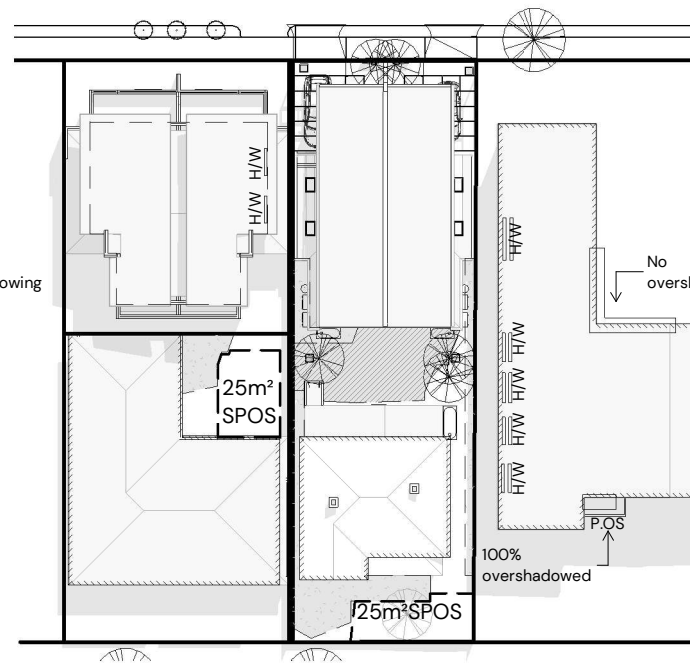
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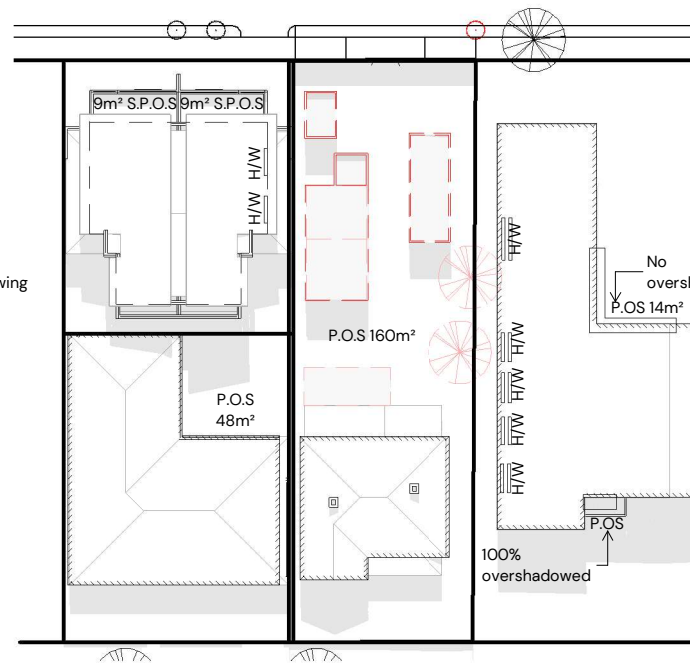
Page TP12



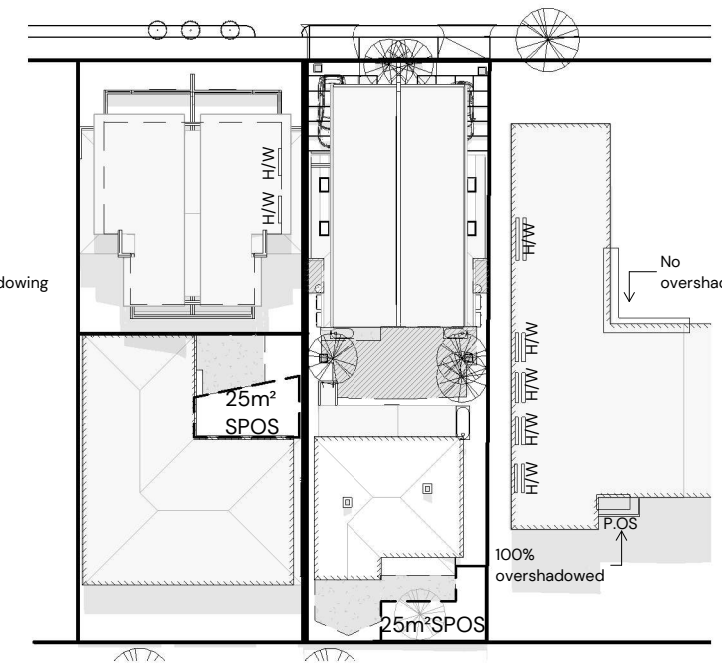
Existing 12pm Sep 21
Scale 1 : 500



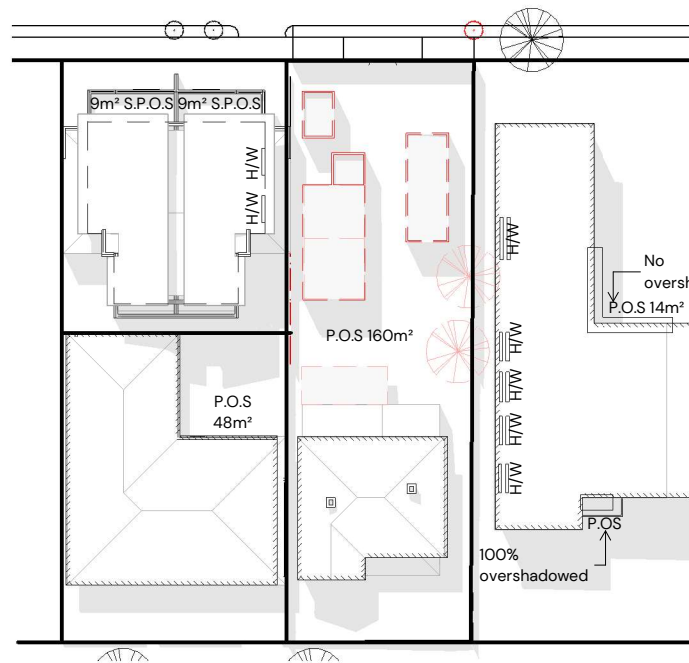
Proposed 12pm Sep 21
Scale 1 : 500



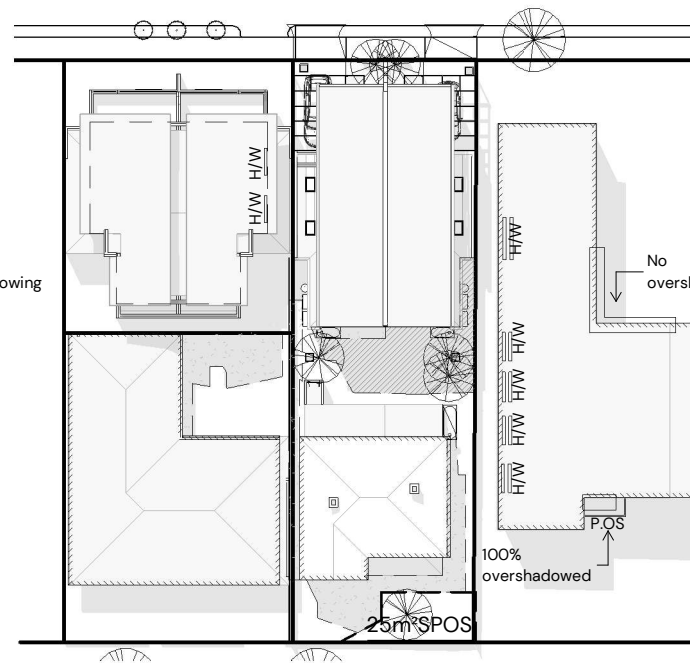
Existing 1pm Sep 21
Scale 1 : 500



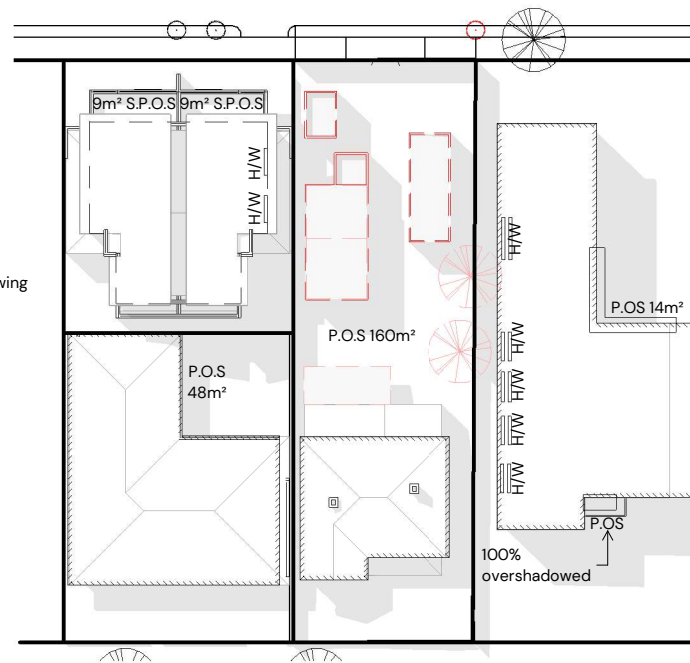
Proposed 1pm Sep 21
Scale 1 : 500



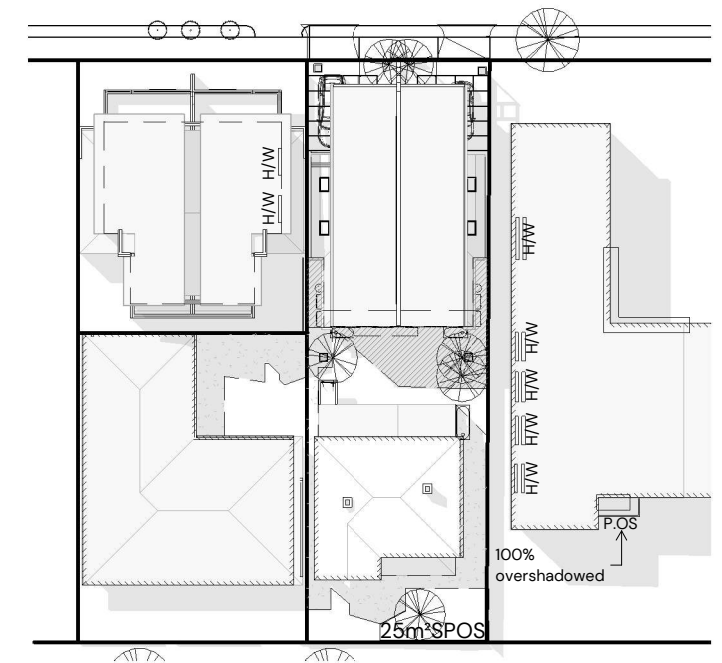
Existing 2pm Sep 21
Scale 1 : 500



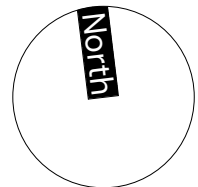
Proposed 2pm Sep 21
Scale 1 : 500



Existing 3pm Sep 21
Scale 1 : 500



Proposed 3pm Sep 21
Scale 1 : 500



- = Existing Overshadowing
- = Proposed Overshadowing

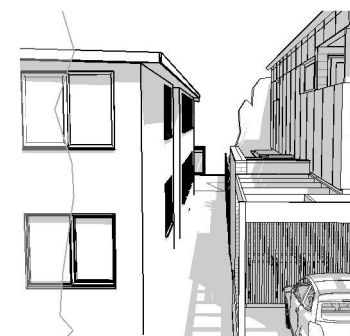
Over Shadowing



12pm Sep 21



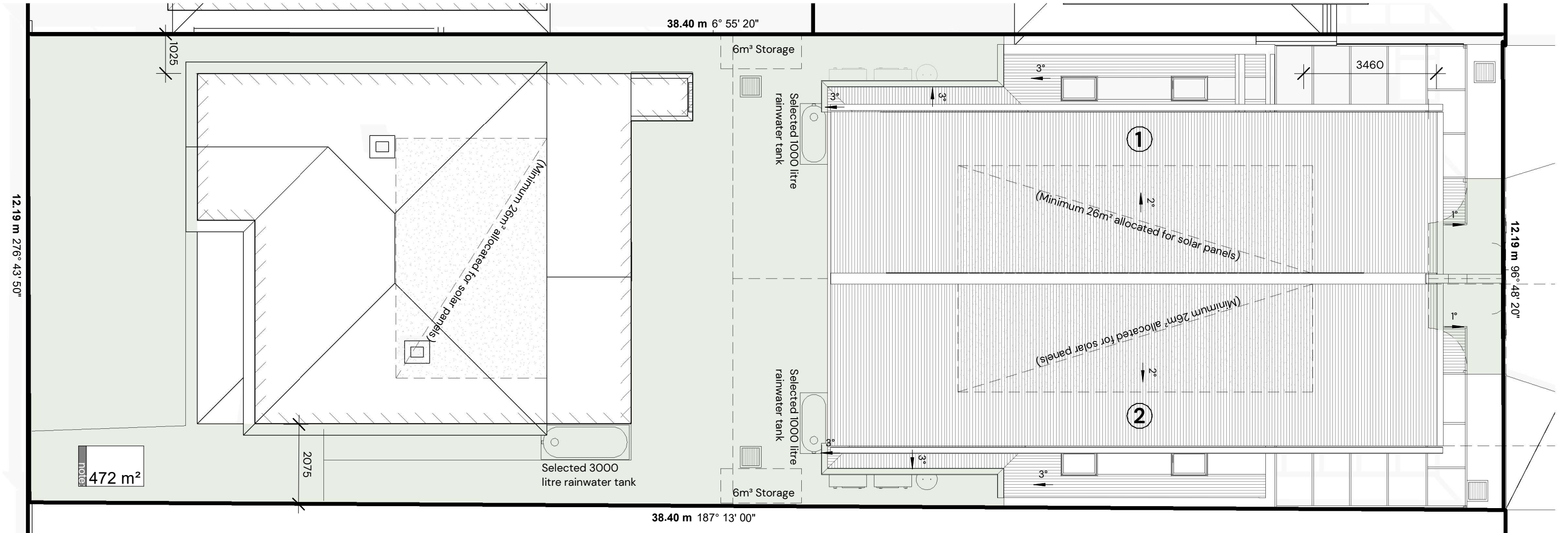
1pm Sep 21



2pm Sep 21



3pm Sep 21



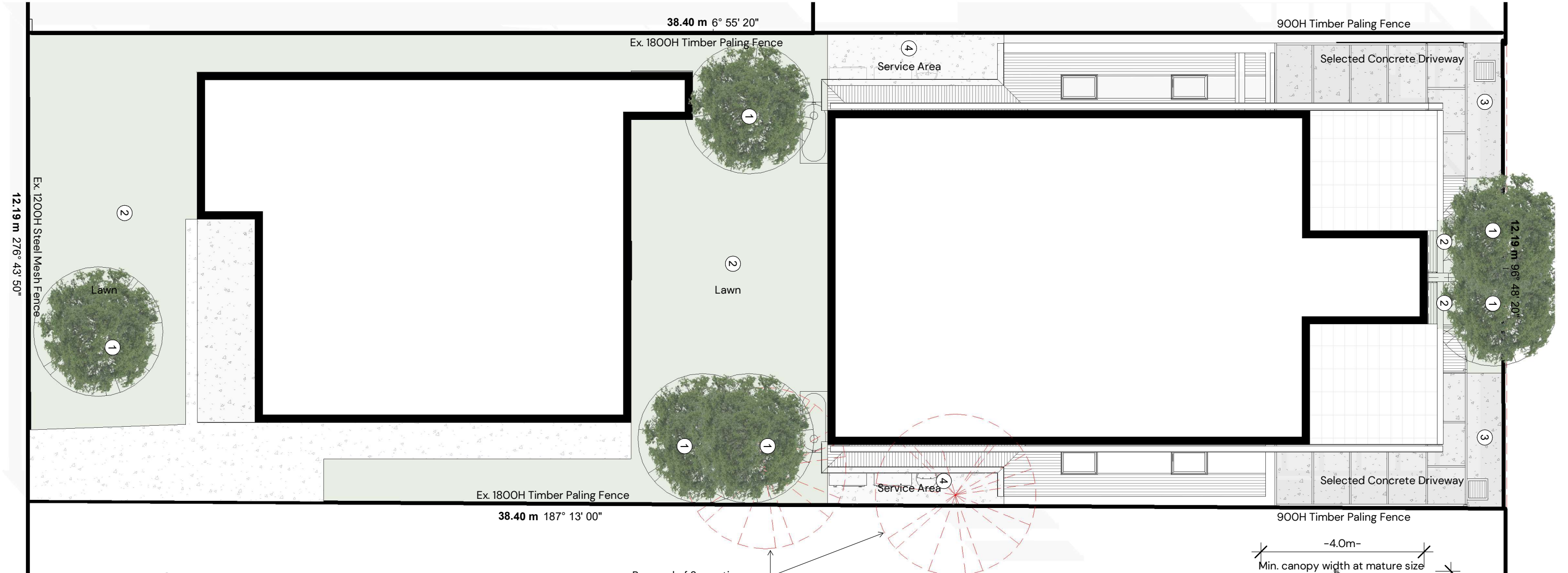
Waste Management Plan	
Aspect	Details
Nature Strip	Minimum 1 metre of unobstructed street frontage 2 x bins is provided on the nature strip, excluding driveways, fire hydrants, and street trees, to accommodate individual garbage, recycling, and green waste bins for each dwelling.
Bin Location	Bins will be stored within each dwelling's carport, screened from street view, and easily accessible for residents on collection day.
Bin Storage Area Dimensions	Each bin storage area will be a minimum of 0.8m (deep) x 1.8m (width) per bin, allowing for the standard 240L bins (garbage, recycling, and green waste), with sufficient space for maneuvering and ventilation.
Waste Collection	Waste collection will be consistent with Maribyrnong City Council's Waste Management Policy 2019 and Guidelines for Dwellings. Individual bins will be presented on the nature strip on collection day and promptly returned to storage areas. Council collection is preferred and will be used where practical, regardless of private arrangements. Note: Only 2 bins at any single collection time are required to be accommodated on the nature strip.

SITING COMPLIANCE			
Total Site Area - 472 m²			
Regulation - Residential Development Standards(Rescode)	Required	Provided	
Site coverage (Standard A5 & B8) The site area covered by buildings should not exceed 60%	Max. 60%	58.7%	277.1m²
B28 - Private open space (Townhouse 1 & 2) A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room;	8m²	8m²	
B28 - Private open space (Existing Dwelling) An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room,	40m²	160m²	
Garden Area At least 25% of the site should be garden area.	Min. 25%	36%	169.5m²

SITING COMPLIANCE			
Total Site Area - 472 m²			
Regulation - Residential Development Standards(Rescode)	Required	Provided	
Permeability Area (Standard A6 and B9) At least 20% of the site should not be covered by impervious surfaces.			
- Overall Site	Min. 20%	30%	94.4m²
- Existing Residence			145.5m²
- Townhouse 1			43.8m²
- Townhouse 2			95m²
			24.5m²
			24m²



Roof Plan
Scale 1 : 100



Landscaping Schedule

①		Proposed Class A tree Total Site = 472m² Mature total canopy cover = 75.6m²/ 16% site coverage Refer to tree planting guidance issued by relevant local council or use the authoritative online guide: Which Plant Where website at www.whichplantwhere.com.au .
②		Selected lawn
③		Selected concrete paving
④		Selected permeable paving or similar

