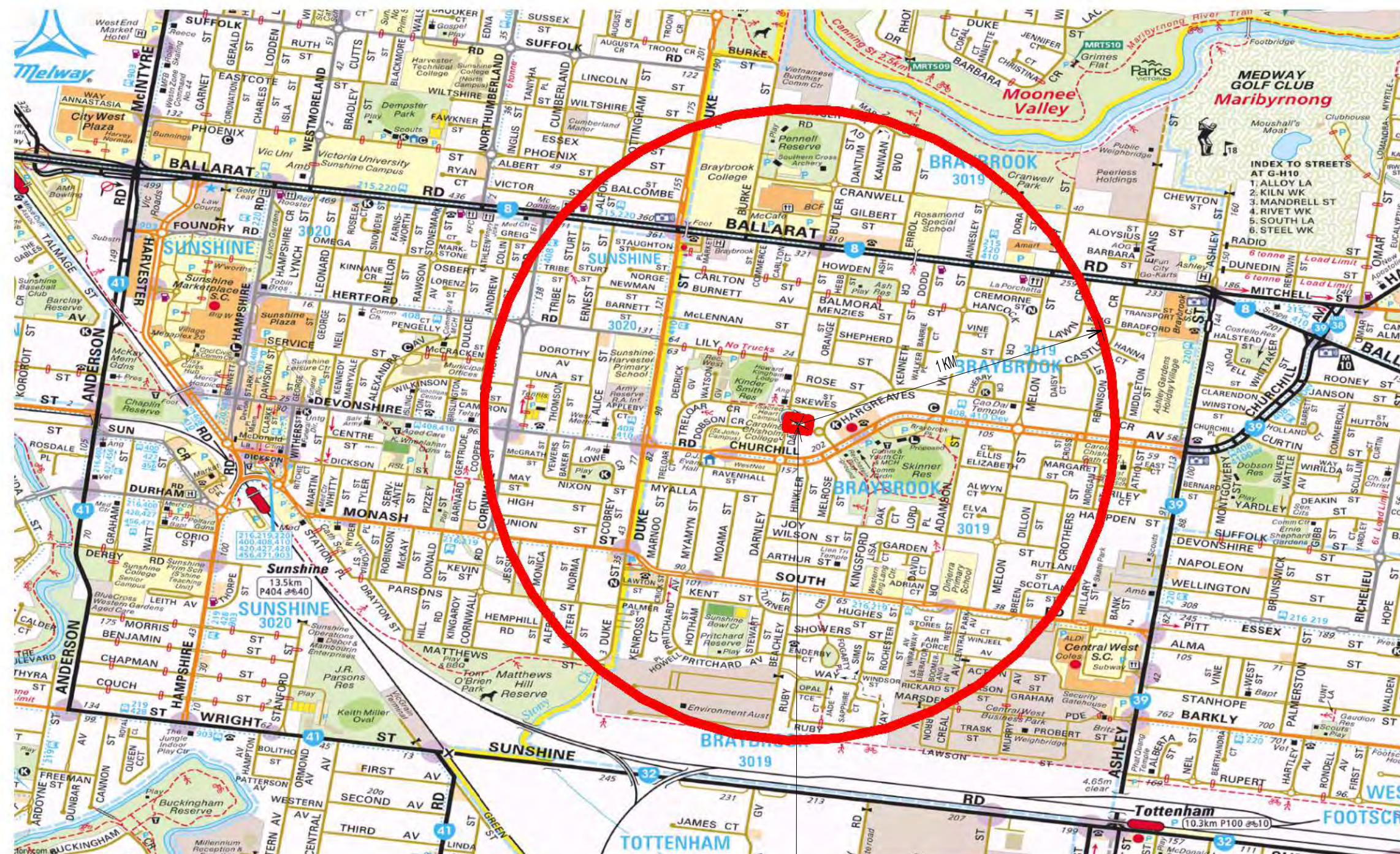




LOCALITY PLAN

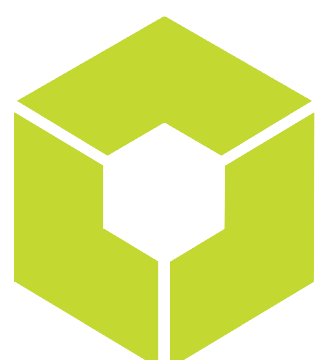
SUBJECT SITE

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

PROPOSED MULTI UNIT DEVELOPMENT AT 54 DARNLEY STREET BRAYBROOK



3D IMPRESSION



ARC ZERO PTY LTD

PROJECT: 54 DARNLEY STREET, BRAYBROOK

Cover Sheet

A 1.1

SUBJECT SITE: 52 Darnley St



50 Darnley St



54 Darnley St



CITY OF MARIBYRNONG
ADVERTISED PLAN

ARC ZERO PTY LTD

PROJECT: 54 DARNLEY STREET, BRAYBROOK

Site Analysis Plan



SITE DESCRIPTION

- The materials and types of existing residential dwellings in the area vary, ranging from single- to double-storey brick homes to those with lightweight cladding, render masonry, or a combination of materials. These homes were built in different periods, and there are also notable examples of dual occupancy and multi-unit developments in the neighborhood.
- The site's vegetation is minimal, comprising primarily of lawn areas and a mix of small to large shrubs, as recently observed. Given that the existing greenery does not contribute significantly to the site's character or the surrounding neighborhood, its removal is proposed to accommodate the new development.
- Fencing in the local area varies in material and style, including brick, picket, paling, iron, and combined designs, with heights ranging from 1m to 1.8m. While most properties feature fencing, a minority remain unfenced.
- The site is conveniently located near public amenities, major roadways, and bus routes.
- An existing crossover is located at the northwest boundary of the site.

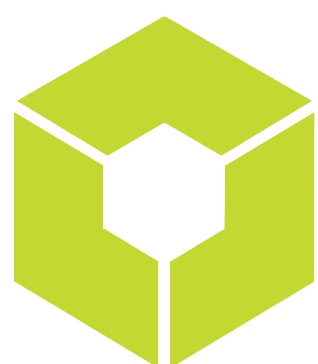
OPPORTUNITIES

- The lot size is approximately 586 m².
- The site's orientation favours the provision of north-facing open spaces and living areas can receive maximum amount of daylight.
- The site offers excellent access to nearby amenities, including schools, local shops, medical centers, a community center, and parks.
- The site provides convenient access to primary arterial roads.
- Existing traffic calming measures effectively regulate traffic flow throughout the area.
- The proposal will contribute to housing diversity in the area, addressing a range of housing demands.

CONSTRAINTS

- Risk of self shadowing into any new north-facing private open spaces.
- Risk of overlooking into adjoining properties on the northern, western and southern boundaries.
- Double storey built form is preceded but still not predominant in the area, which requires articulation to avoid dominating the surrounding existing dwellings.
- Pedestrian and vehicle access should be thoroughly considered, especially vehicle maneuverability in and out of the site near the intersection of the major road.
- The site is considered flat relatively. Site fall is spotted approximately of 200 mm from the west to the east. However, it is deemed insignificant due to the length of the site.

A 1.2



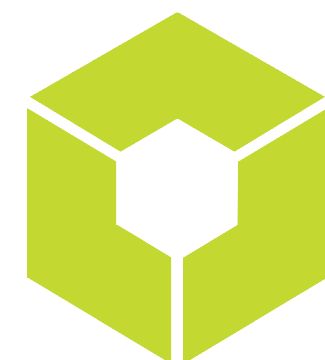
DESIGN RESPONSE

- The proposal is to build three (3) double storey dwellings with two (3) associated garages.
- Despite its distinct and contemporary design, the proposal harmonizes with the surrounding neighborhood by maintaining an appropriate overall massing. The gable roof form, seen in several recent developments in the area, is thoughtfully interpreted and incorporated into the façade design, creating an engaging interface along the streetscape of a major road. Additionally, the selected materials and color palette draw inspiration from the local context, ensuring durability while complementing the neighborhood's character.
- Overshadowing is not a major concern due to the site's advantageous orientation. However, the built form has been carefully designed to minimize excessive shadowing on adjoining private properties and the new north-facing private open spaces. Refer to the attached shadow diagrams for further details.
- Windows facing adjoining properties or other dwellings within the development are designed in compliance with the Residential Development Standards (ResCode). These openings either have a minimum sill height of 1.7m above the finished floor level (FFL) or are fitted with permanently obscured glass below this height.
- Where feasible, suitable tree planting is incorporated along all boundaries to create a natural buffer and facilitate a smooth transition between the new dwellings and their surroundings.
- The existing crossover at the northwest corner of the site will be retained, while a new crossover is proposed at the southwest corner. This new crossover will be constructed to the satisfaction of the Relevant Authority. Despite the increase in crossovers, the proposal seeks to enhance site amenities while ensuring the safety of both pedestrians and vehicles.

CITY OF MARIBYRNONG ADVERTISED PLAN

LEGEND

- 1 Adjoining existing neighbouring private open spaces to be protected from unreasonable overlooking and overshadowing.
- 2 Articulated forms to control building's mass and bulk.
- 3 Appropriate side and front setbacks.
- 4 Private open spaces that are at the front and adjacent to existing neighbouring gardens & secluded private open spaces, offering opportunity for landscaping and informal screening.
- 5 Existing crossover to be retained.
- 6 New crossover constructed to satisfaction of Relevant Authority.



ARC ZERO PTY LTD

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ISSUE: TP AMENDMENT

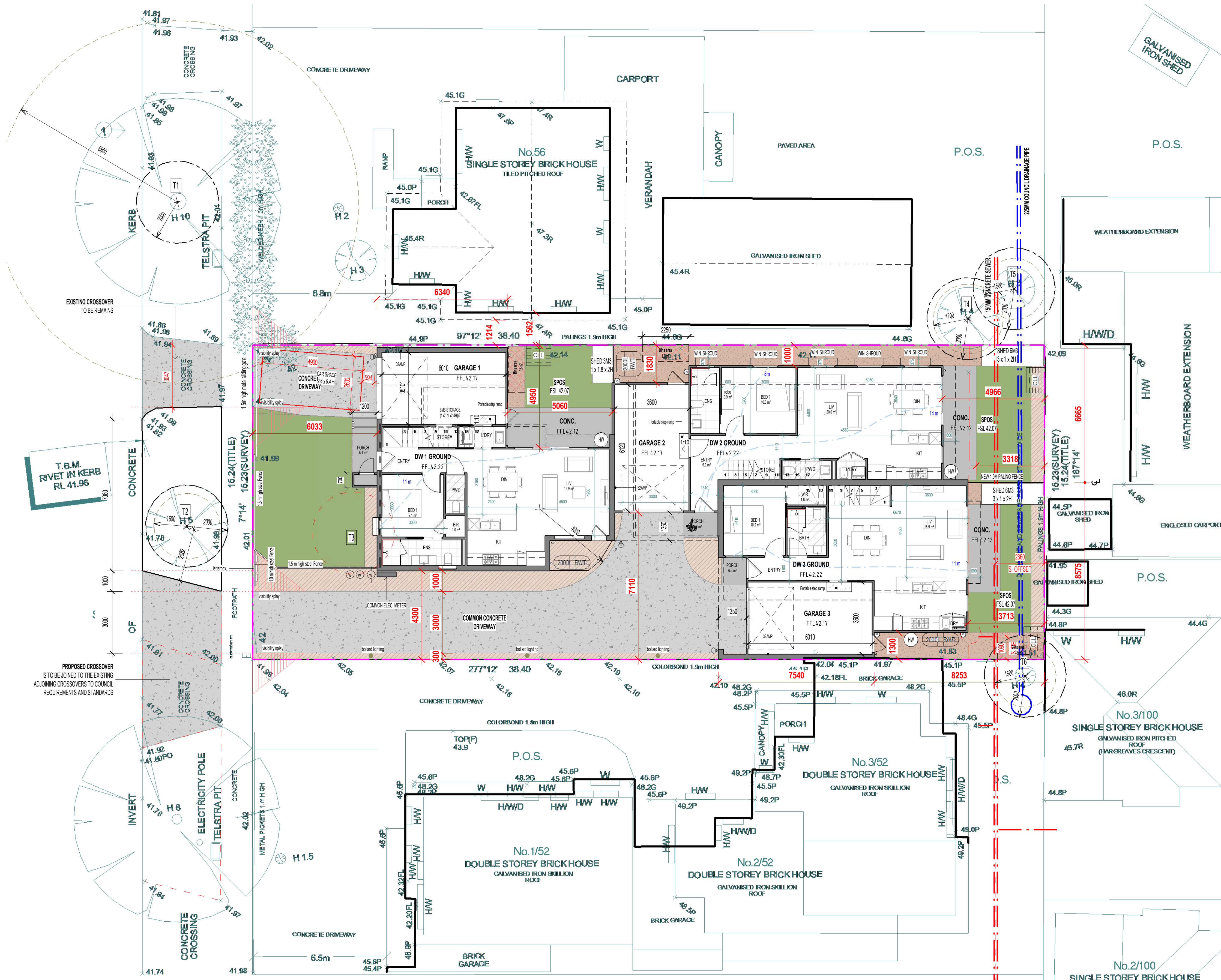
DATE: 06 MAY 2026

1 : 100 @ A1

PROJECT: 54 DARNLEY STREET, BRAYBROOK

Ground Floor Plan

A 2.1



DWELLING 1 BUILDING AREA	
DW 01 FIRST	77.8 m ²
DW 01 GROUND	70.5 m ²
DW 01 GARAGE	24.4 m ²
Grand total	172.7 m ²

Dwelling 1 Open Space Area Schedule	
SPOS 1	25.0 m ²
POS 1	40.2 m ²
POS 1	3.7 m ²
Grand total	69.0 m ²

DWELLING 2 BUILDING AREA	
DW 02 FIRST	84.0 m ²
DW 02 GROUND	71.6 m ²
DW 02 GARAGE	23.8 m ²
DW 02 PORCH	4.2 m ²
Grand total	183.7 m ²

Dwelling 2 Open Space Area Schedule	
SPOS 2	32.8 m ²
POS 2	19.2 m ²
Grand total	51.9 m ²

DWELLING 3 BUILDING AREA	
DW 03 GROUND	67.6 m ²
DW 03 FIRST	66.2 m ²
DW 03 GARAGE	23.4 m ²
Grand total	157.1 m ²

Dwelling 3 Open Space Area Schedule	
SPOS 3	31.9 m ²
POS 3	5.9 m ²
Grand total	37.8 m ²

DEVELOPMENT ANALYSIS

SITE AREA	586.0 m ²
BUILT ON AREA/SITE COVERAGE	303.0 m ² (52%)
PAVED AREA	134.0 m ²
TOTAL IMPERVIOUS AREAS	437.0 m ²
% SITE PERMEABILITY	25.4%
REQUIRED GARDEN AREA	175.8 m ² (30%)
PROVIDED GARDEN AREA	REFER TO PAGE A2.3
TOTAL CAR SPACES REQUIRED	3
TOTAL CAR SPACES PROVIDED	4

VISIBILITY SPLAY (VPP 52.06-9)

HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2 METRES ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5 METRES ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900MM IN HEIGHT.

NOTES

- THE HEADROOM CLEARANCE (INCLUDING AT THE ENTRY POINT WITH THE GARAGE DOOR OPEN) TO BE A MINIMUM OF 2.1M.
- A MINIMUM GRADE OF 1:200 FOR INDOOR AND 1:100 FOR OUTDOOR PARKING AREAS IS REQUIRED FOR DRAINAGE PURPOSES.
- THE MAXIMUM GRADE ALONG THE PARKING AREAS ALLOWED IS 1:20.
- GRADE CHANGE AT THE PROPERTY BOUNDARY MUST NOT EXCEED THE MAXIMUM OF 1:8 (12.5%) WITH THE OPPOSING FOOTPATH GRADE.
- ELECTRIC VEHICLE CHARGING PROVISION
A. DEDICATED 32AMP (3 PHASE) TO PROVIDED TO EACH DWELLING IN THE GARAGE

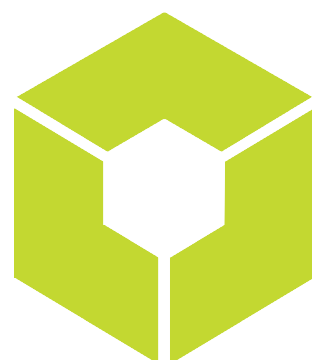
LEGEND

	PROPOSED PLANTING		PAVING AREA - IMPERMEABLE
	EXISTING TREE TO BE RETAINED		COLOURED CONCRETE DRIVEWAY - IMPERMEABLE
	EXISTING TREE TO BE REMOVED		LANDSCAPE AREAS - PERMEABLE
	WATER METER		RAINWATER TANK
	GAS VENT		CLOTHES LINE
	DAYLIGHT / MOTION FLOOD LIGHT		WASTE BINS
			GARDEN SHED

NOTE:
Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.

The rainwater from Dwelling 1, 2, & 3 roof catchment areas are to be collected and discharged via a fully charged system into the nominated rainwater tank which is to be connected to ALL toilets for toilet flushing and Laundry.

CITY OF MARIBYRNONG
ADVERTISED PLAN



ARC ZERO PTY LTD

PROJECT: 54 DARNLEY STREET, BRAYBROOK

First Floor Plan

A 2.2

A: 179-185 Peel Street, North Melbourne VIC 3051

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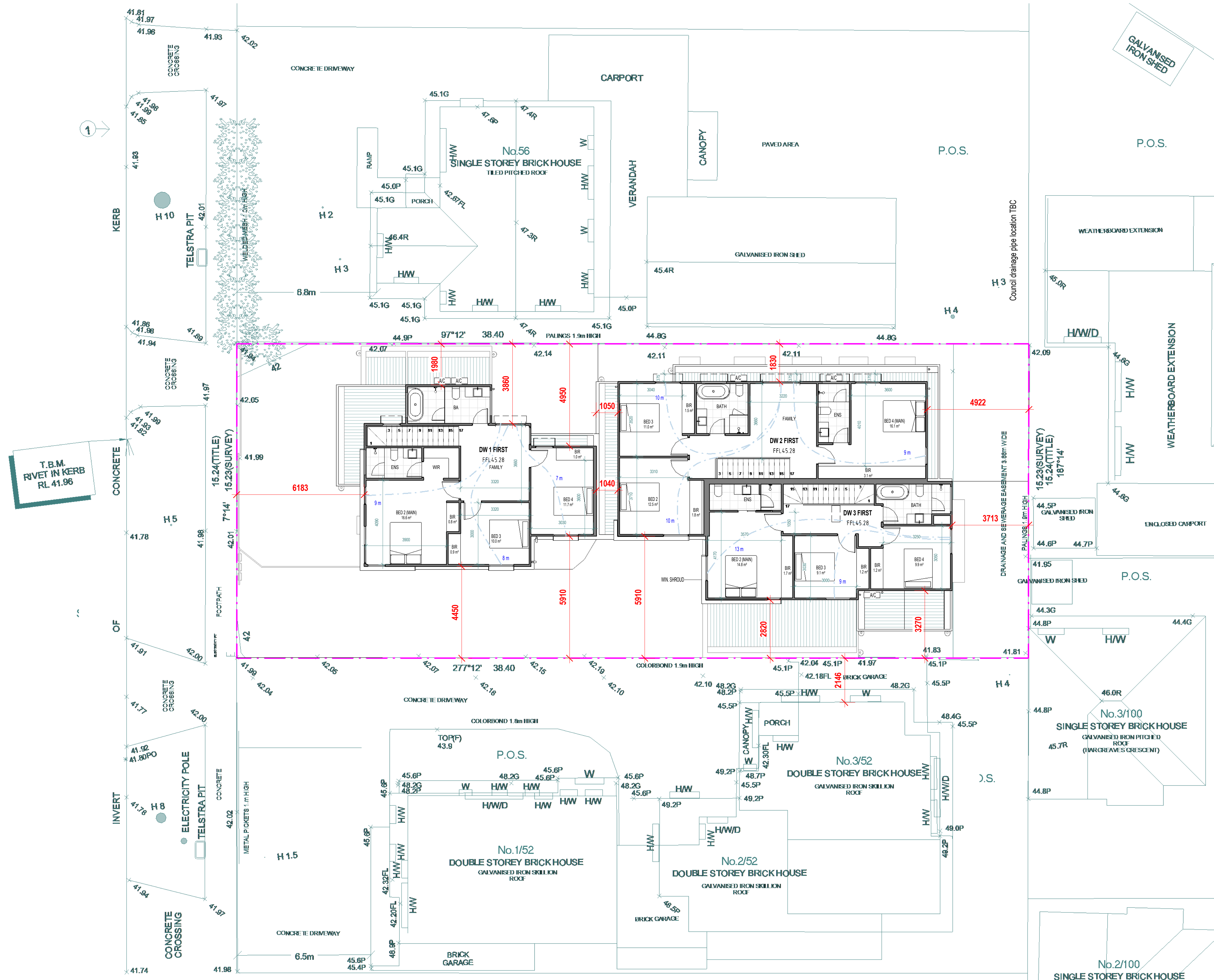
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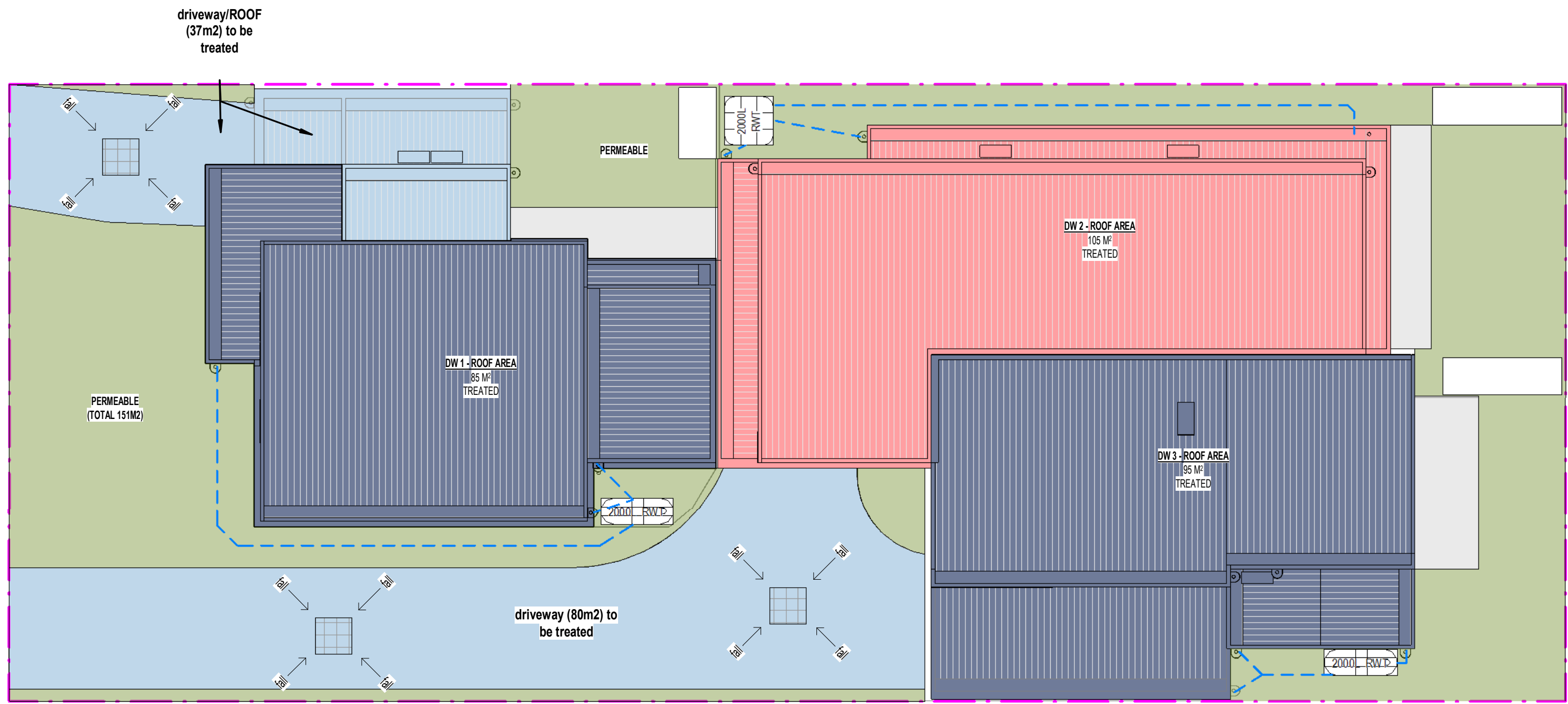
ISSUE: TP AMENDMENT

DATE: 06 MAY 2026

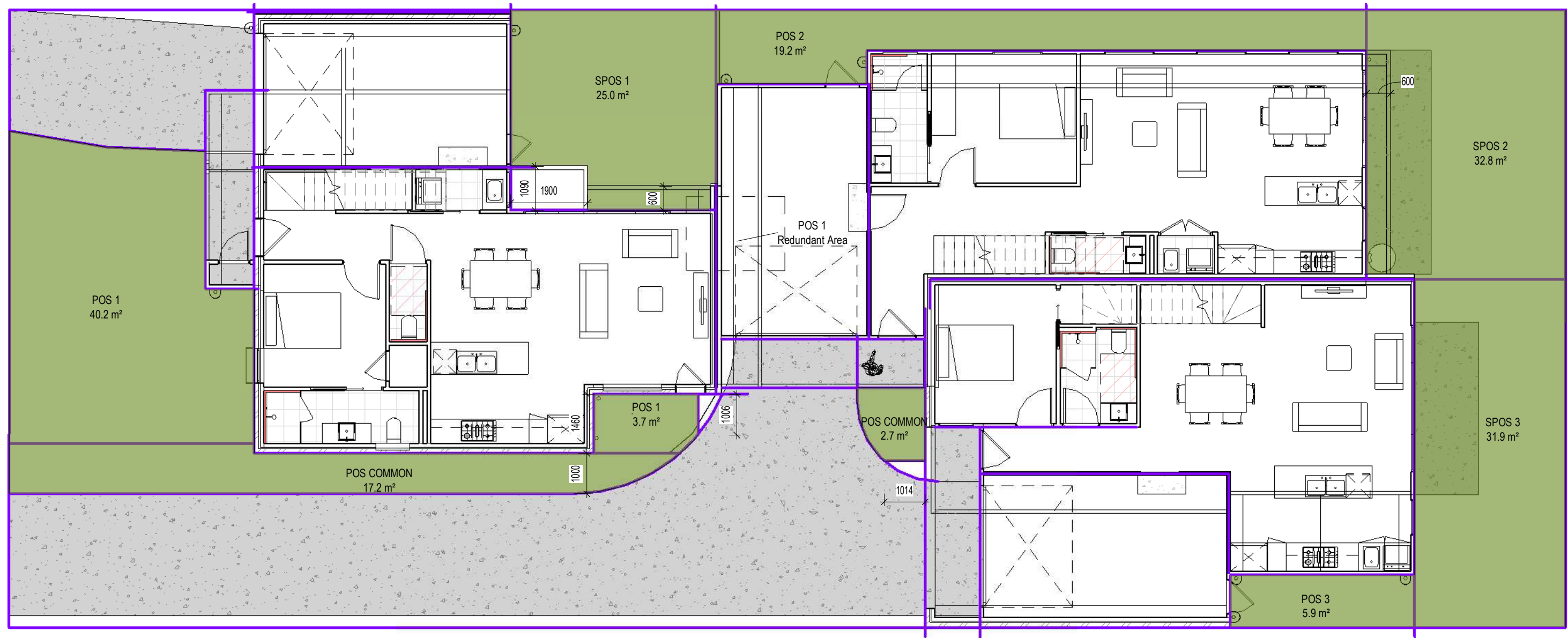
1:100 @ A1

CITY OF MARIBYRNONG
ADVERTISED PLAN





2 WSUD Plan
1 : 100



3 GARDEN AREA PLAN
1 : 100

Garden area	
POS 1	40.2 m²
POS 1	3.7 m²
POS 2	19.2 m²
POS 3	5.9 m²
POS COMMON	17.2 m²
POS COMMON	2.7 m²
SPOS 1	25.0 m²
SPOS 2	32.8 m²
SPOS 3	31.9 m²
Grand total	178.6 m²

- 2m² covered area (DW1)
Total 176.7m²

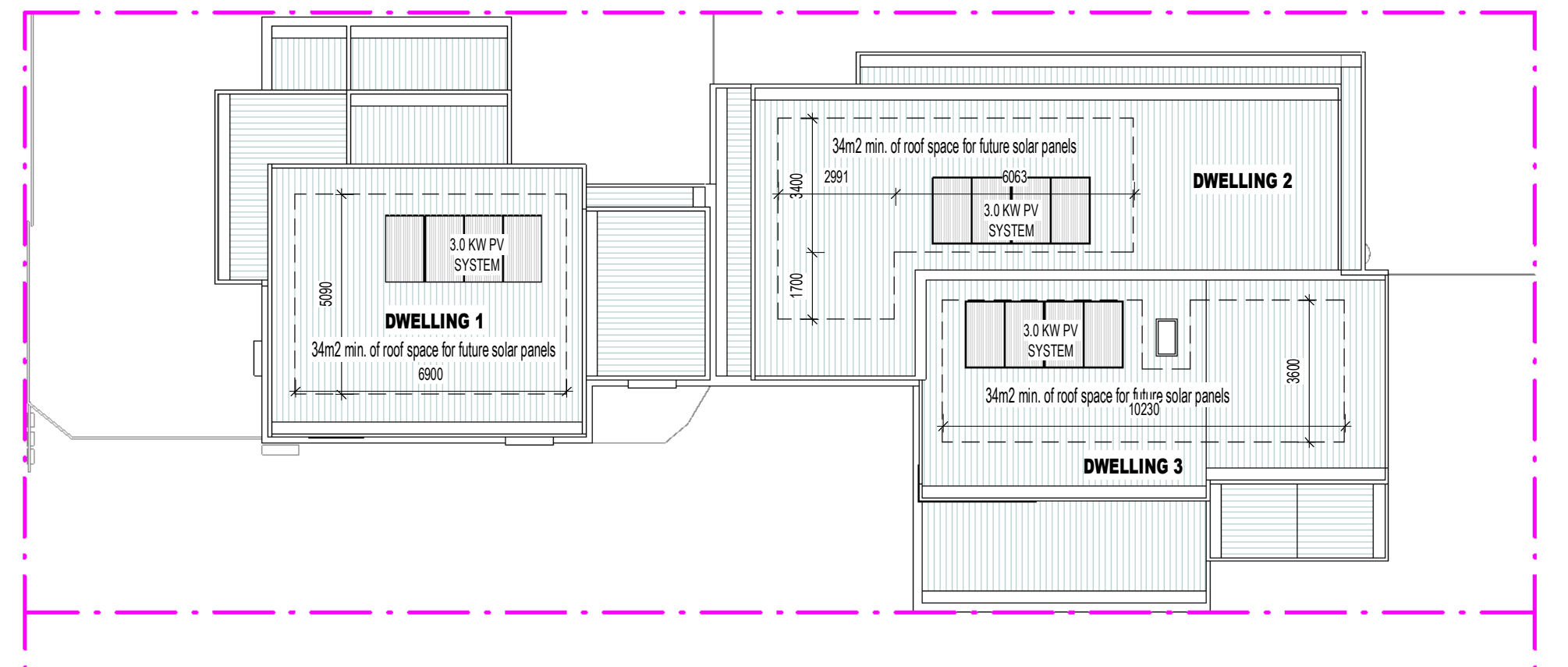
Required garden area: 586 x 30% = 175.8m²

WSUD TREATMENT SUMMARY

NAMES	TREATMENT		NUMBER OF BEDROOMS	CONNECTION	
	TYPE	SIZE (MIN.)		TOILETS	LAUNDRY
DW 1 ROOF CATCHMENT	RW TANK*	2,000 L	4	To all	Yes
DW 2 ROOF CATCHMENT	RW TANK*	2,000 L	4	To all	Yes
DW 3 ROOF CATCHMENT	RW TANK*	2,000 L	4	To all	Yes
HARD SURFACE*	100mm raingarden (3.15m²)		Enviss Sntinel Pits (3)		

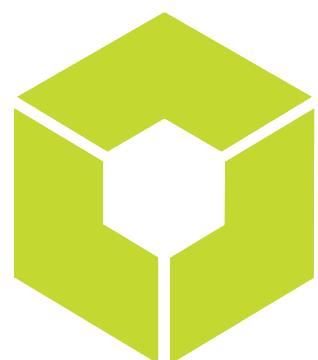
NOTES

1. RAINWATER FROM THE ROOF AREA OF EACH DWELLING IS TO BE COLLECTED AND DISCHARGED VIA A CHARGED SYSTEM INTO THE ASSOCIATED RAINWATER TANK WHICH IS CONNECTED TO ALL SERVICES SPECIFIED IN THE TABLE ABOVE.
2. HARD SURFACES INCLUDES AREAS OCCUPIED BY GARDEN SHEDS AND RAINWATER TANKS.



1 Roof Plan
1 : 150

CITY OF MARIBYRNONG
ADVERTISED PLAN

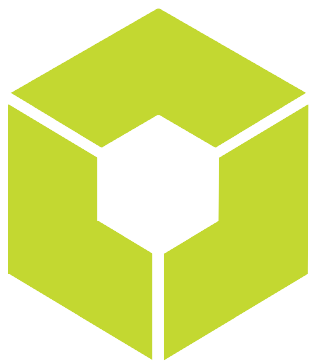


ARC ZERO PTY LTD

PROJECT: 54 DARNLEY STREET, BRAYBROOK

Roof / WSUD / GARDEN Plan

A 2.3



TREE CANOPY AREA							
Tree type	Minimum height at maturity	Minimum canopy diameter at maturity	Mature canopy cover area (sqm)	Minimum deep soil area (sqm)	Minimum deep soil dimension	Quantity	Total canopy cover area (sqm)
Type A	6m	4m	12.6	12	2.5	2 x JP	25.2
Type A	6m	6.9m	38.4 (35.8)	25	2.5	1 x TM	35.8
Grand total							61

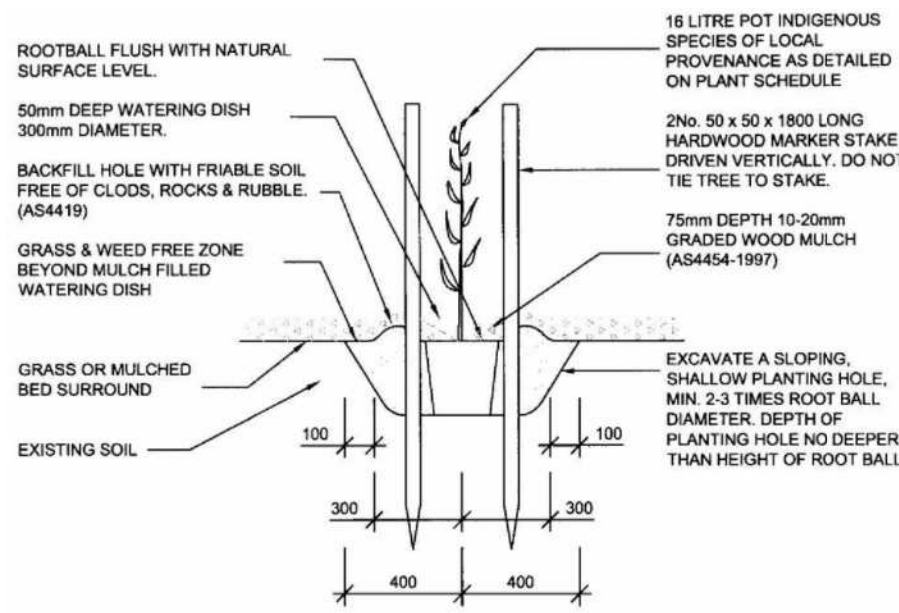
Total tree canopy cover area for the entire development is: 10 % * 586m² = 59m²

PLANTING SCHEDULE

ID	Qty	Type	Common Name	Botanical Name	Height at maturity	Pot Size @ install
bol	3	bollard lighting				
01. Groundcovers/ Tussocks						
bm	50	Evergreen shrub	Salmon Correa	Correa reflexa var. pulchella	0.5 x 0.5m	0.15m
02. Shrubs						
gr	6	Evergreen shrub	Bush Lily	Olivia miniata Kaffir Lily	0.6 x 0.6 m	0.15 m
heg	38	Evergreen shrub	Moona Lavender	Plectranthus	0.6 x 0.8 m	0.15 m
03. Trees						
JP	2	Evergreen tree	japanese persimon	Dispyros Kaki	6 x 5 m	1.5 m
EM	1	Deciduous	Elstik Maple	Acer campestre Elstik	8 x 7m	1.5m

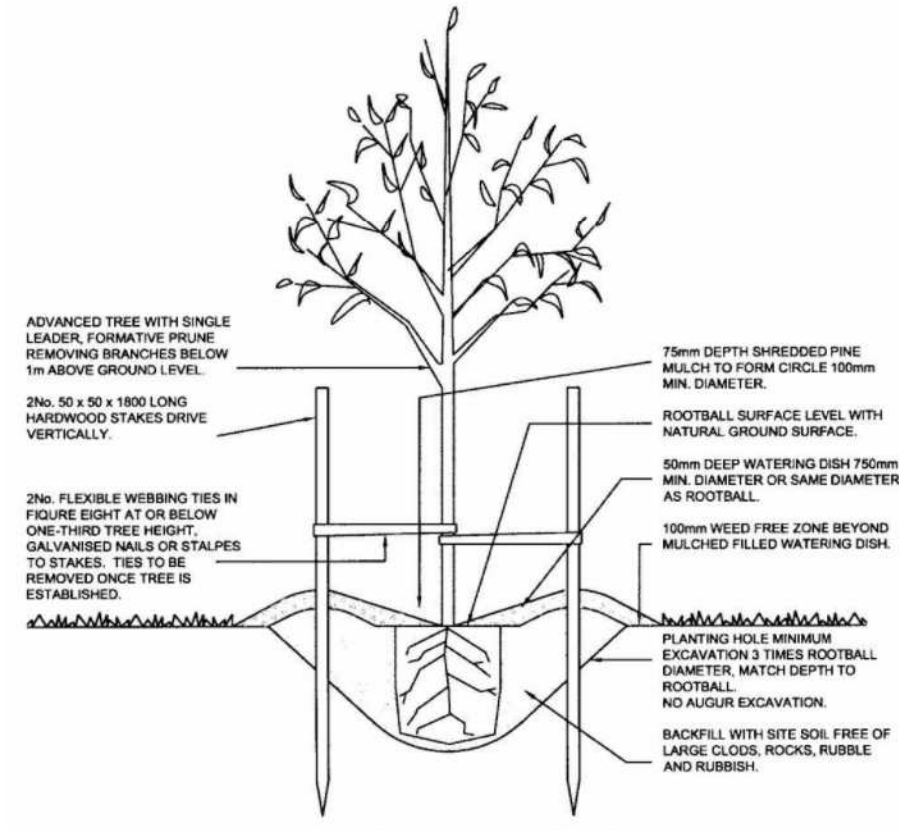
MATERIAL SCHEDULE	
Name	Specifications
Paving	Light coloured pavers, concrete, or similar. Size and style are as selected.
Garden beds & mulch	10mm pine bark mulch to a depth of 75mm.
Garden edging	75mm x 19mm treated pine.
Driveway	Weatherproofing coloured concrete driveway as selected.
Clothesline	Ground mounted folding clothesline as selected.
Toppings	50mm compacted or 60mm loose layer of selected pebbles or tuscan toppings as path.
Lawn areas & Grass strips	Low maintenance instant lawn, drought tolerant, non-invasive species turf on 50mm topsoil or use mulch as substitute during drought periods.

Permit Condition 14a
a) all lawn will be natural (not artificial).

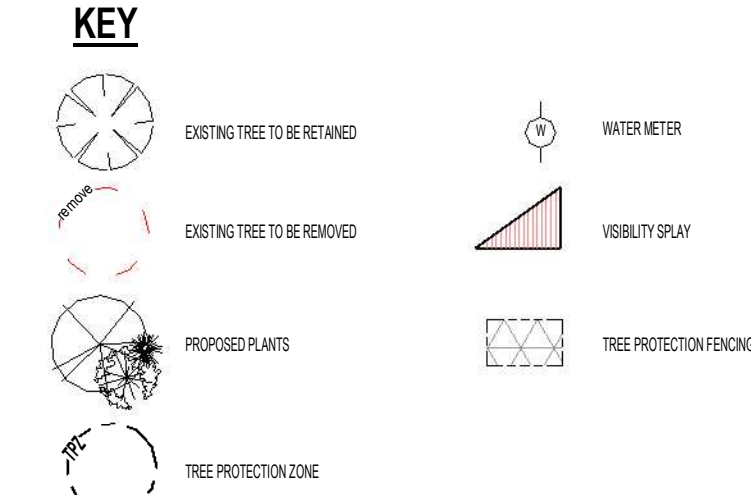


PLANT IN MULCHED GARDEN BED

- NOTES:
1. AUGER EXCAVATION NOT PERMITTED.
 2. SPRAY PLANTING SITE WITH GLYPHOSATE BASED HERBICIDE MIN. 2 WEEKS PRIOR TO CULTIVATION. REPEAT SPRAY TO ACHIEVE COMPLETE WEED KILL.
 3. PLANTS TO CONFORM TO REQUIREMENTS OF NATSPEC #2 GUIDE "PURCHASING LANDSCAPE TREES - A FIELD GUIDE TO ASSESSING TREE QUALITY".
 4. EACH PLANT TO RECEIVE 10 LITRES OF WATER IMMEDIATELY AFTER PLANTING.



ADVANCED TREE IN GRASS



PREPARING A GARDEN BED FROM A BUILDING SITE

- Cleaning:
- Clean the site of debris and weeds.
 - If soil is contaminated by paint or concrete wash - which shall be avoided - it must be dug out and removed. If in a tree protection zone (TPZ) - more reason to prevent - it shall be hand excavated to avoid cutting roots. The topsoil shall be replaced with site soil or imported topsoil that complies with 'AS 4454 - 2003 Soils for landscaping and garden use'.

Grading and Drainage:

- In areas with existing topsoil that will be paved the topsoil can be excavated (Unless in TPZs) and stockpiled - to be later used on garden beds.
- Grade the area into garden beds (slightly higher) and lawn or gravel areas. Garden beds shall be edged with sustainable sourced materials eg treated pine. The treated pine timber (or similar) is to be 75mm x 25mm in size, secured with 300mm long stakes at 1000mm spacings.
- Check the drainage of the area by running a sprinkler for 5-10 minutes (check water restrictions) and look where the water flows, noting any water tracks or ponding in areas. Adjust grading accordingly. Garden beds, paths and lawn or gravel areas shall all drain towards a drainage grate, pit or rain garden.
- Drainage issues may be addressed by the creation of a swale, which can be covered with rock pieces or a sump pit filled with crushed rock wrapped in porous geotextile and covered with lawn or stones.

Improving soils:

- Existing garden beds can be prepared with added organic material such as well rotted manures or materials from plant and animal sources sold as soil improvers or compost and prepared to AS 4454 - 2003. These can just be top dressed (placed over the top of the soil) and then covered with mulch. If there is no existing topsoil left then imported topsoil that complies with AS 4419 - 2003 shall be used with organic mulch on top.

Plants and Planting:

- Trees and plants supplied are to be healthy and free from insects, diseases and weeds. The pot sizes indicated in the plant schedule are the minimum size to be supplied and installed.
- When each planting area is prepared, if soil is dry, fill with water and allow to drain away completely. Plant roots are to be leaved outwards if roots are matted in pot. Place plant in centre of hole and ensure that the top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Soil is to be backfilled firmly into the hole and thoroughly watered in.
- Trees are to be staked with two hardwood stakes driven firmly into the ground but not through the rootball. Trees are to be secured to the stakes with strong but flexible tree ties that are tight enough to support the trees in windy conditions but loose enough to simulate good tree growth and development. The tree ties must not injure tree bark or restrict tree growth for at least the first two years of tree growth.
- A slow release fertiliser (e.g. Osmocote or similar) is to be applied to all garden beds as specified by the manufacturer and be kept away from the plant trunks and then watered immediately.
- Plants of the Proteaceae family (Grevilleas, Banksias, Hakeas and Leucadendrons) shall only be fertilised with a low phosphorous preparation (often sold as native preparations).
- Plants of the Legume (eg wattle or peas) or Casuarina (eg She Oak) families shall be fertilised with a low nitrogen preparation or not fertilised at all.
- Hard clay sub soils can be fractured or ripped to break them up without destroying their structure. This can be done in small areas with vertical action by a garden fork or spade and subsequent placement of organic matter into the vertical spaces. This shall be top dressed with organic material and then mulch added over the top.

Others:

- Soil excavation shall not be carried out in Tree Protection Zones.
- Clay soils shall never be cultivated in any way when they are wet.
- Use of plastic weed mats, solid or woven are inappropriate as they deprive soil of oxygen.
- Garden beds shall be mulched to a depth of 75 - 100mm with a sustainably sourced material with average particle size of 10mm.

MAINTENANCE NOTES

Watering: Plants shall be watered immediately after planting, then weekly for the first month, then fortnightly for the first 3 months. Watering is unnecessary if there has been enough recent rain. Additional watering is required on days over 30°C or high wind days. Drought tolerant species are selected but all plants will look better if given fortnightly irrigation over hot dry periods.

Weeding: Removal of weeds by hand and/or by a weedicide preparation once a month or as required. Take care to avoid spray drift and follow manufacturers' instructions.

Pruning: Shrubs and young trees shall be pruned at 3 months, 6 months and then yearly for dead, diseased, misshaped or crossed branches and general shaping. Young trees shall be formally pruned of competing stems to ensure a single main trunk. Stakes shall be removed after one year.

Pest and disease control: Check plants for damage once a month and use relevant sprays to manufacturer's recommendations.

Fertilisers: A general organic low phosphorous fertiliser shall be placed under mulch or incorporated into the soil with a vertical spade out once every 6 months.

Lawns: Mowing every 3 to 6 weeks, depending on time of year, rainfall and growth to 50mm height. Pest, weed control and fertilising with a liquid preparation once every 6 months.

General: Remove rubbish and replace dead plants with the same species. Maintain mulch levels.

TREE PROTECTION GUIDELINES

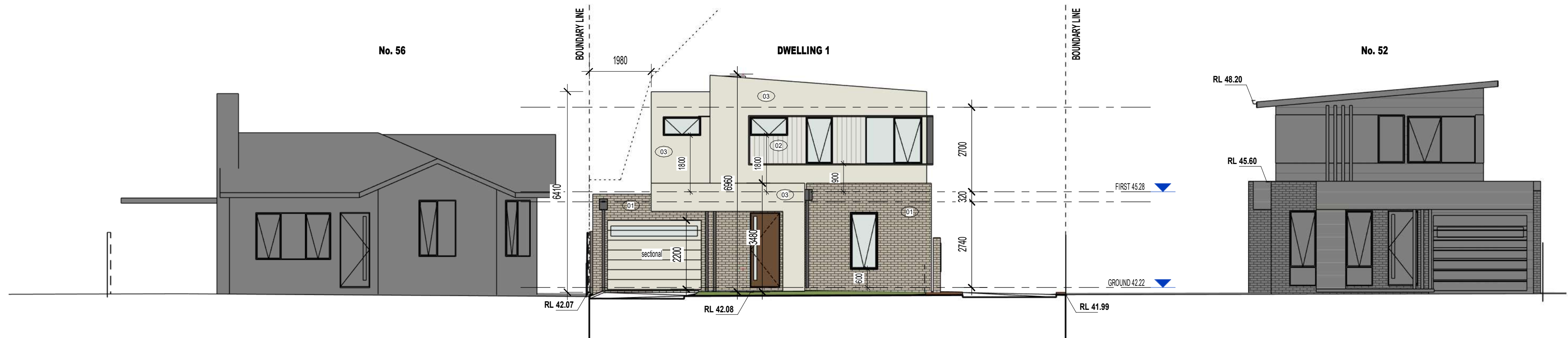
- The Tree Protection Zone (TPZ) radius shall be determined by measuring the trunk diameter (DBH) at 1.4m above the ground in metres and multiplying it by 12. The TPZ is an area isolated from construction disturbance - which includes excavation, compacted fill and machine trenching - so that the tree remains viable. Any root excavation within the TPZ shall be avoided and this is to be done during the design and planning stage. If it is unavoidable, then Council's Arborist shall be contacted on Ph. 9298 8125.
- The Tree Protection Zone is to be fenced and clearly marked at all times. The fence shall be chain wire mesh panels (2.4m wide x 2.1m high) attached to concrete feet/base or similar.
- If temporary access is required through a TPZ area then a geofabric shall be laid down within the TPZ, with a 100mm depth of no fines mulch/woodchip with a rumble board strapped together laid on top and reinstated immediately after wards.
- Any underground service installations shall be bored within the TPZ.
- No fuel, oil dumps, chemicals, materials, equipment, vehicles or temporary buildings shall be allowed in the TPZ.
- Nothing whatsoever shall be attached to any tree including wires, nails, screws or other devices.
- Supplementary watering shall be provided to all trees throughout any dry or windy periods during and after the construction process.
- Any pruning required must be carried out by a trained and competent Arborist to comply with Australian Standard AS 4373 - 1996 Pruning of Amenity Trees.
- Activities to be restricted within the TPZ and other notes are outlined in the Australian Standard AS 4970 - 2009 "Protection of Trees on Development Sites".

VISIBILITY SPAY

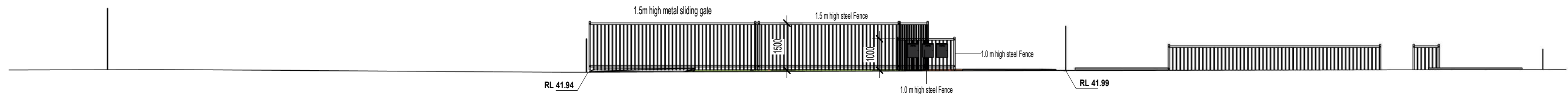
Have a corner spray or area at least 50 per cent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 0.9m in height.

GENERAL NOTES

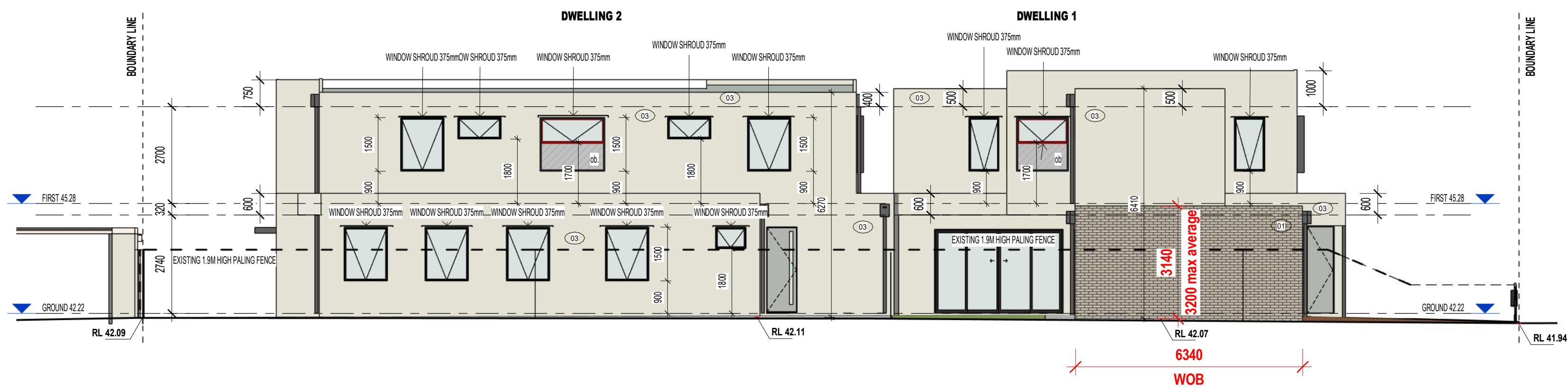
- This landscape plan is intended for planting guide and general layout only.
- All dimensions, locations, conditions, etc. are to be verified on site.
- This plan is supposed to be read in conjunction with other relevant plans and town planning permit conditions.



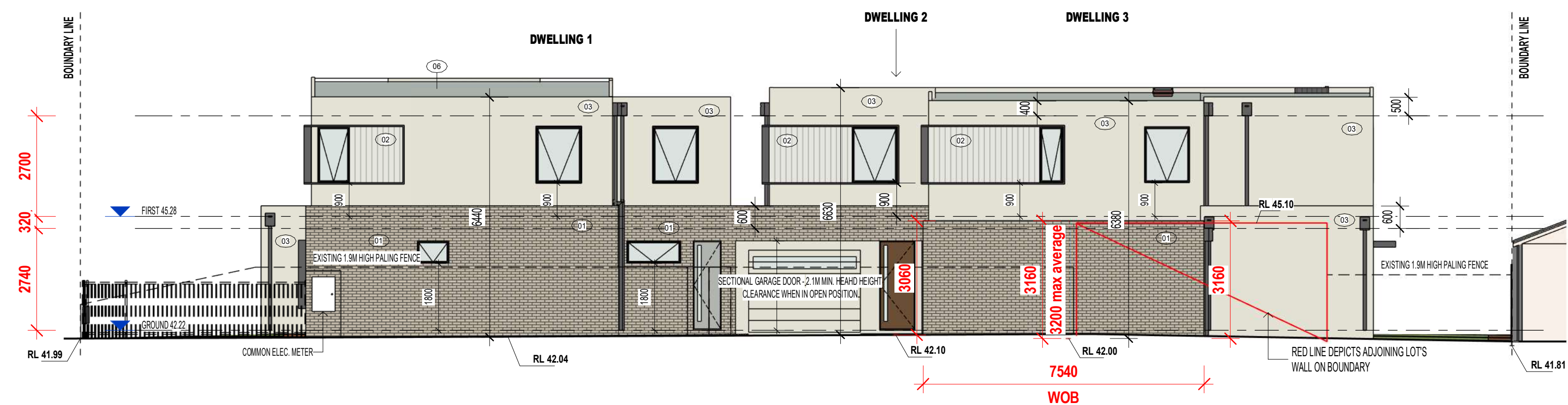
1 Elevation WEST - Streetscape
1 : 100



7 Elevation WEST - FRONT FENCE
1 : 100

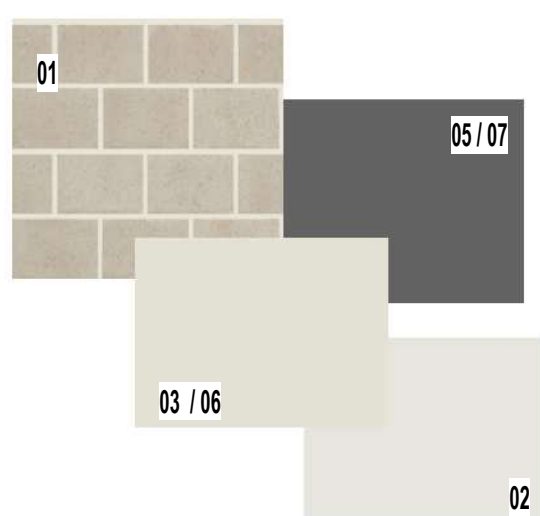


3 Elevation NORTH
1 : 100



5 Elevation SOUTH
1 : 100

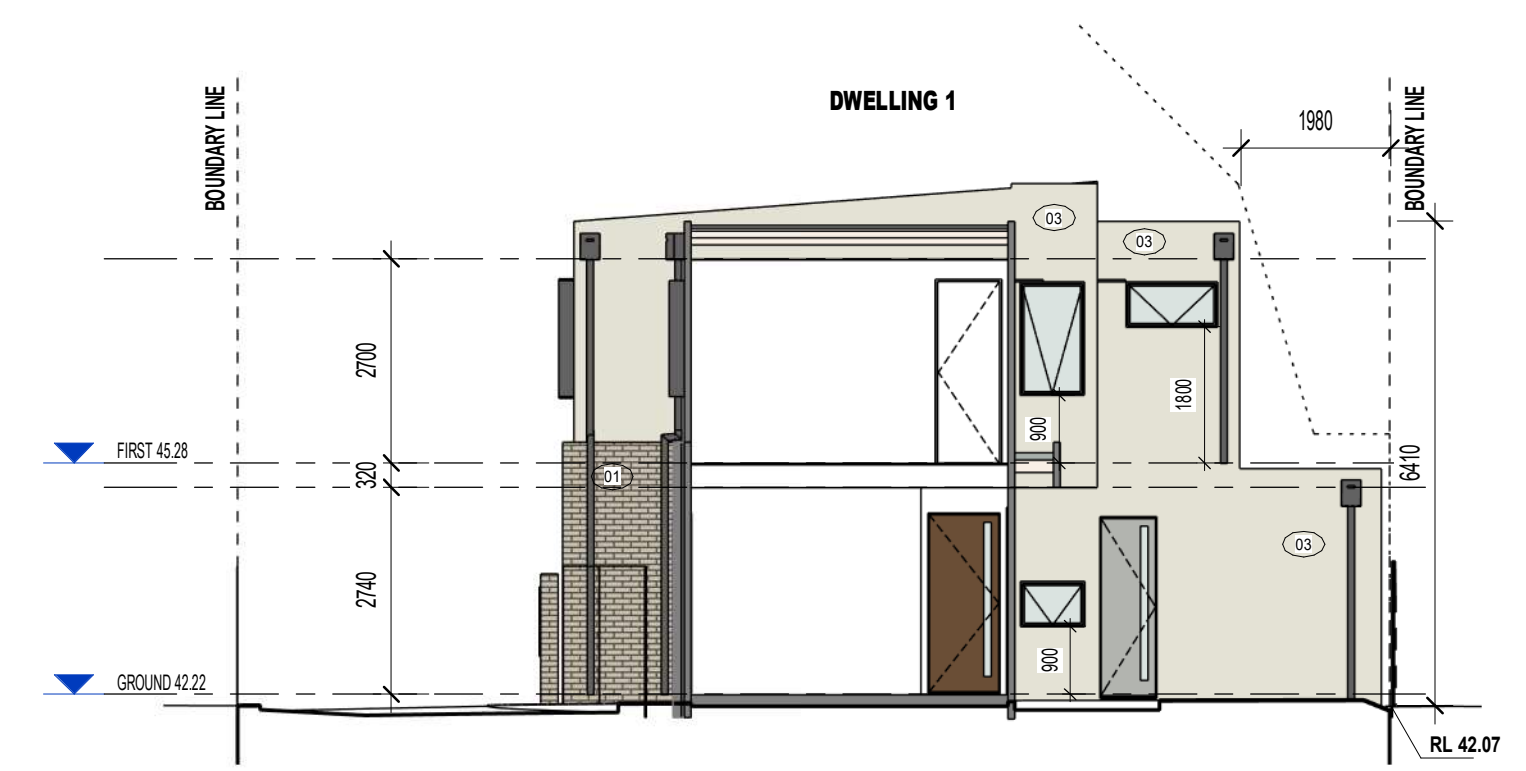
MATERIAL SCHEDULE



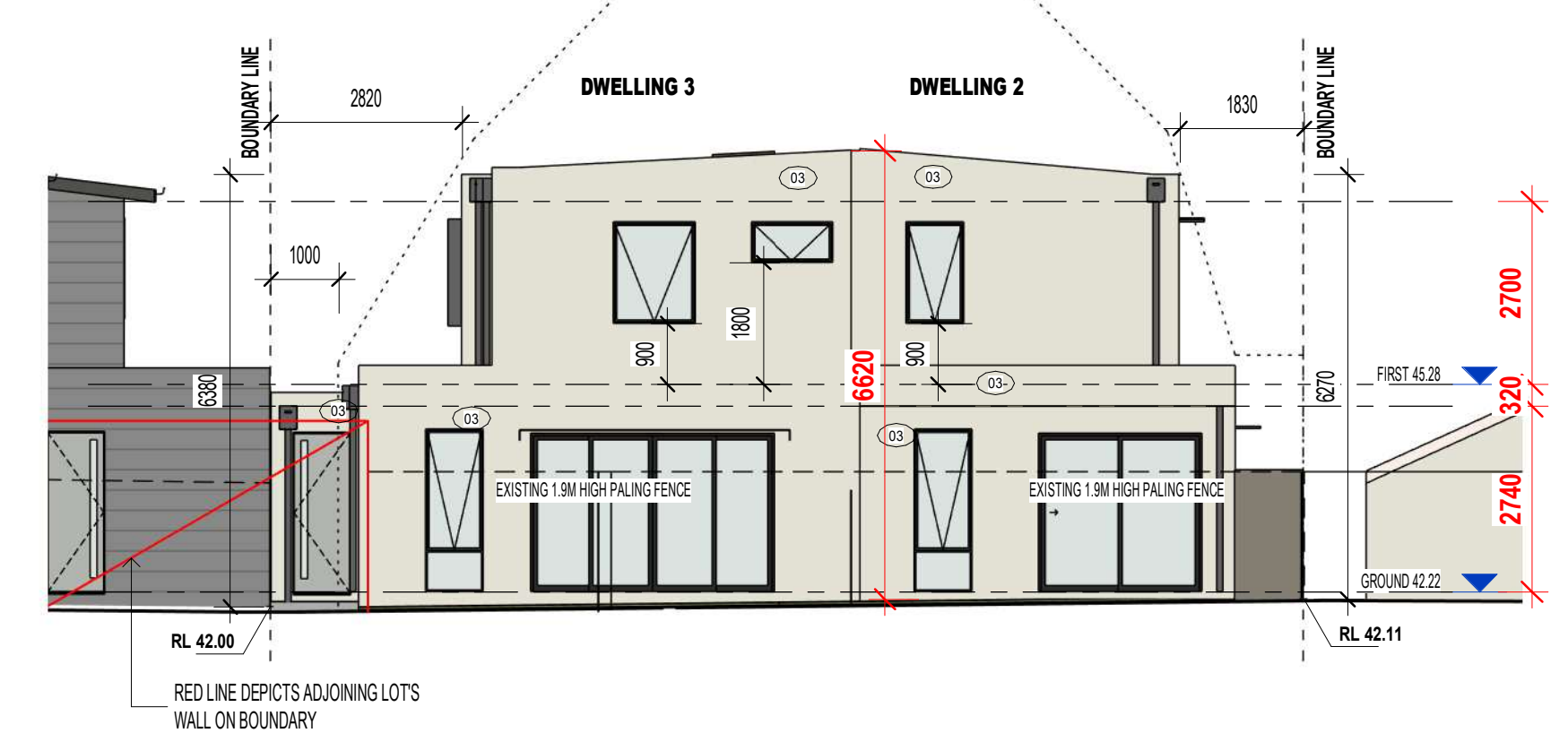
01	FACE BRICK FINISH	<i>Impression Moon dust</i>	PGH BRICKS
02	PAINT FINISH	<i>Snowy mountain</i>	DULUX
03	PAINT FINISH	<i>Surfmist</i>	DULUX
05	COLORBOND FINISH	<i>Basalt</i>	DULUX
06	COLORBOND FINISH	<i>Surfmist</i>	DULUX
07	POWDER COATED	<i>Basalt</i>	COLORBOND

WINDOW NOTE

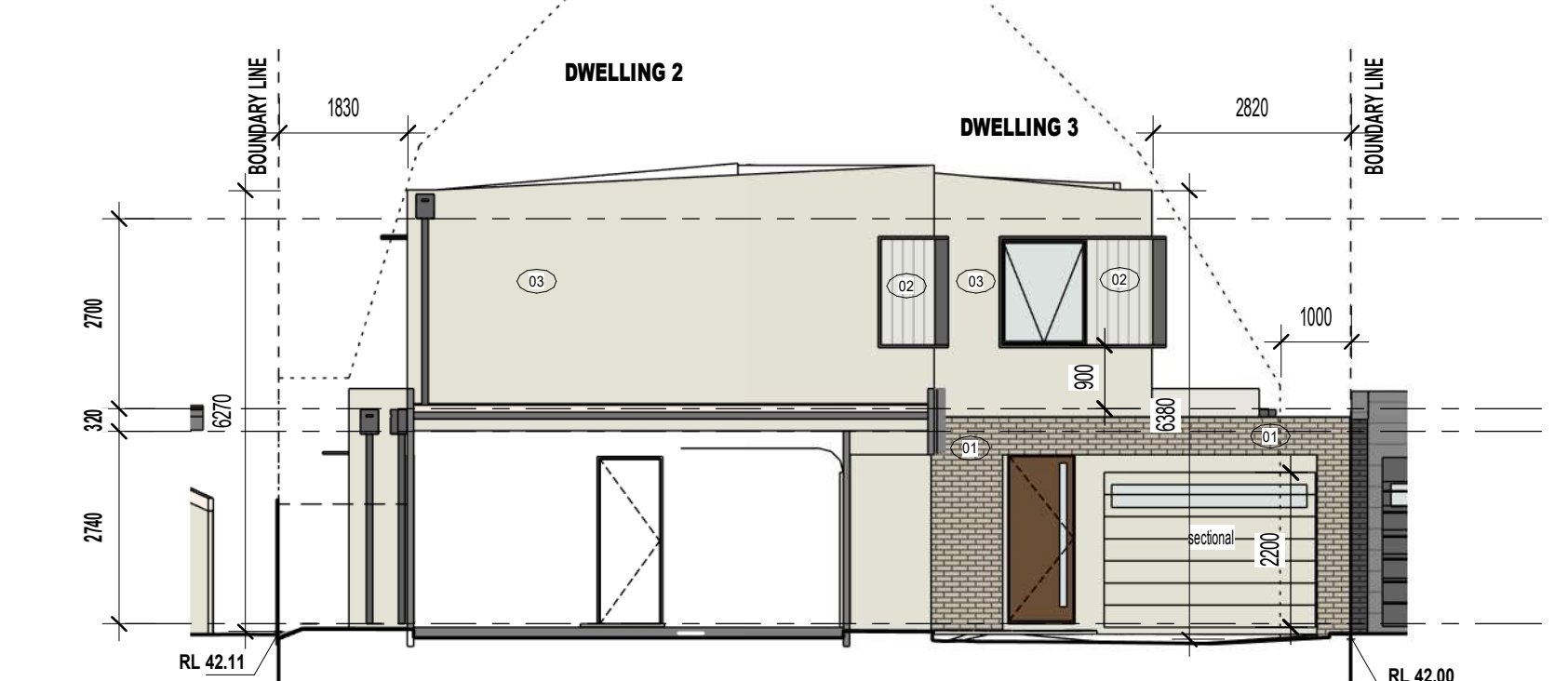
- ob. FIXED, OBSCURE GLAZING IN ANY PART OF THE WINDOW BELOW 1.7M MINIMUM ABOVE FLOOR LEVEL (FILM IS NOT ALLOWED).
- EACH WINDOW TO HAVE A MINIMUM OF ONE OPERABLE SASH AND CAN BE LOCKED IN OPEN POSITION.
- SCREENED WINDOWS ARE TO BE FIXED, OR RESTRICTED AWNING/ OPERABLE TO A HEIGHT OF 1700MM ABOVE FINISHED FLOOR LEVEL (FFL) IN ACCORDANCE WITH CLAUSE 55.04-6 (STANDARD B22 - OVERLOOKING) OF THE MARIBYRNONG PLANNING SCHEME.



2 Elevation East Internal
1 : 100

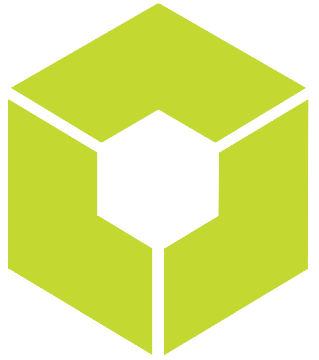


4 Elevation EAST
1 : 100



6 Elevation West Internal
1 : 100

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



ARC ZERO PTY LTD

PROJECT: 54 DARNLEY STREET, BRAYBROOK

Elevations

A 2.5

A: 179-185 Peel Street, North Melbourne VIC 3051

M: 0490 931 074

E: info@arczero.com.au

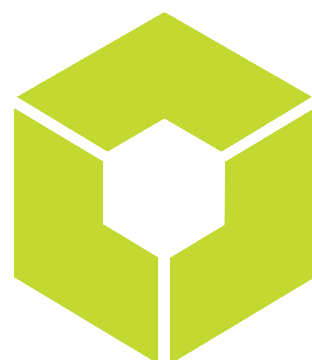
W: www.arczero.com.au

ACN: 139 748 128

ISSUE: TP AMENDMENT

DATE: 06 MAY 2026

1 : 100 @ A1



ARC ZERO PTY LTD

PROJECT: 54 DARNLEY STREET, BRAYBROOK

9 am Shadow Diagram

A 3.1

A: 179-185 Peel Street, North Melbourne VIC 3051

M: 0490 931 074

E: info@arczero.com.au

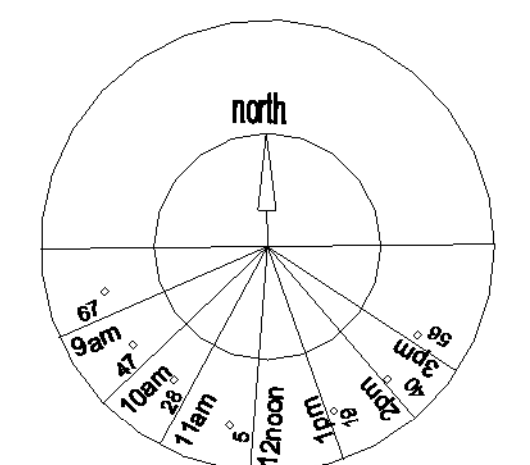
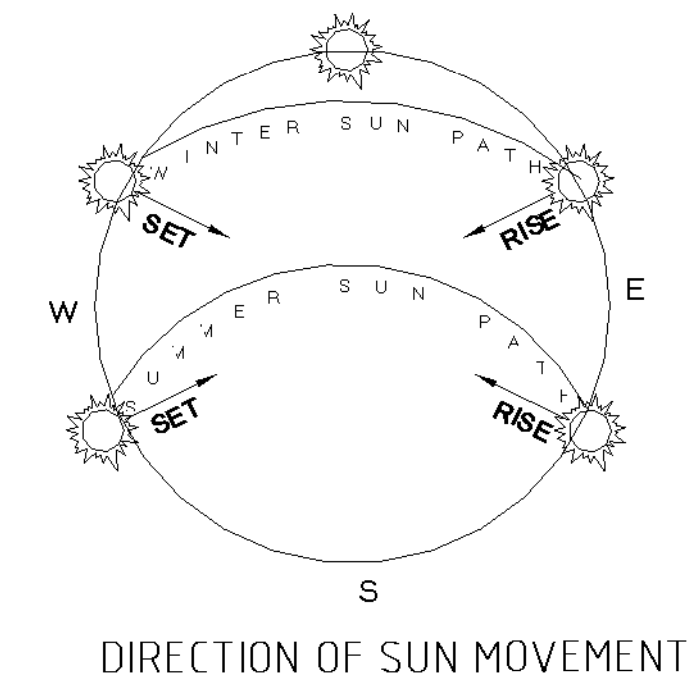
W: www.arczero.com.au

ACN: 139 748 128

ISSUE: TP AMENDMENT

DATE: 23 MAR 2026

1:100 @ A1



shadows generated from the 22nd September equinox

TIME	ALTITUDE	SHADOW LENGTH (PER METER HIGH)
9 am	32°	1.60 m
10 am	41°	1.15 m
11 am	49°	0.87 m
12 pm	52°	0.78 m
1 pm	50°	0.84 m
2 pm	45°	1.00 m
3 pm	36°	1.30 m

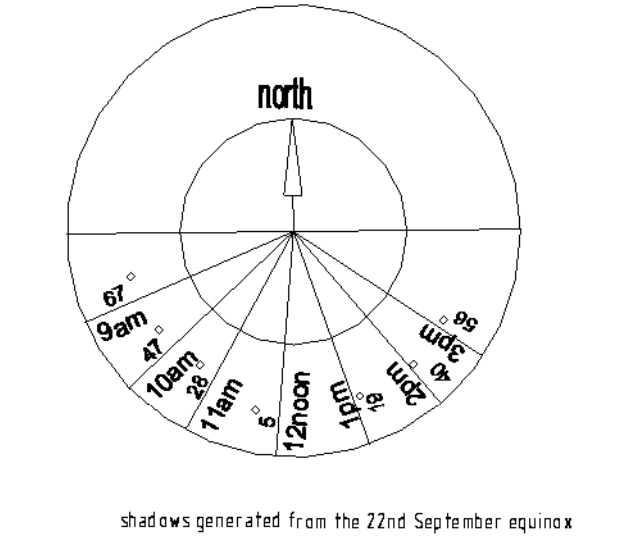
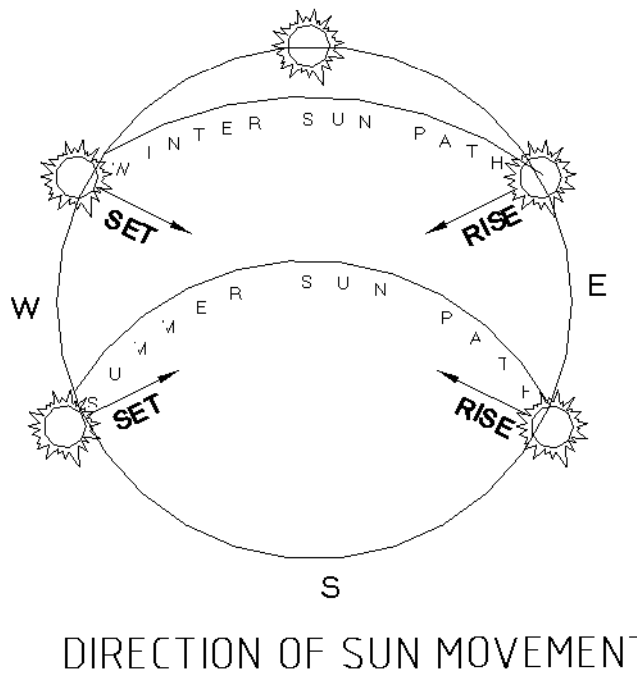
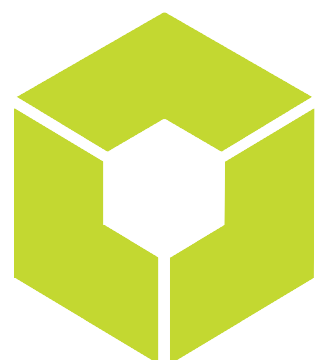
LEGENDS

- SUBJECT NEIGHBOURS' SPOS
- EXISTING SHADOWED SPOS
- ADDITIONAL SHADOWED SPOS

NOTES

THE SHADOW LEGEND ONLY APPLIES TO THE ADJACENT PROPERTIES AND THEIR SECLUDED PRIVATE OPEN SPACES (SPOS) TO DEMONSTRATE OVERSHADOW COMPLIANCE WITH THE CURRENT PLANNING SCHEME.
ALL SHADOW CASTED ON THE SUBJECT DEVELOPMENT SITE OR OUTSIDE OF SUBJECT SPOS IS ONLY SHOWN IN GENERIC GREY COLOUR.

CITY OF MARIBYRNONG
ADVERTISED PLAN



shadows generated from the 22nd September equinox

TIME	ALTITUDE	SHADOW LENGTH (PER METER HIGH)
9 am	32°	1.60 m
10 am	41°	1.15 m
11 am	49°	0.87 m
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3 pm	36°	1.30 m

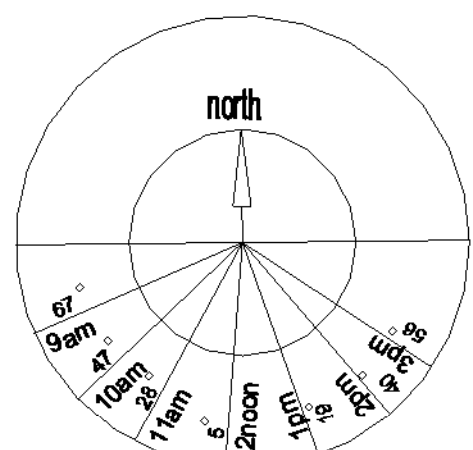
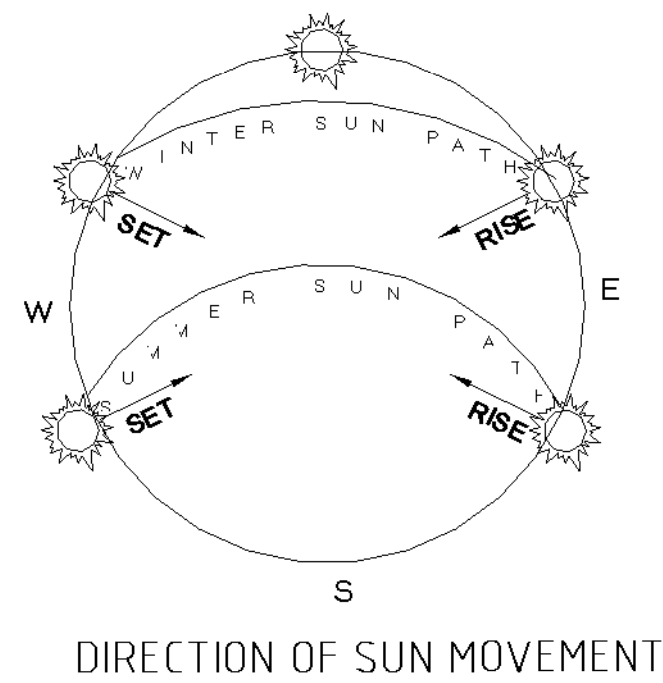
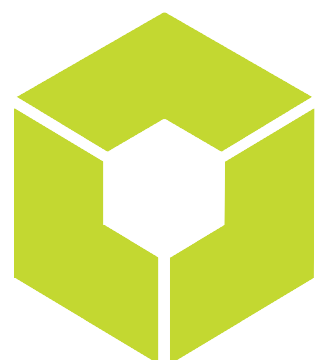
- LEGENDS**
- SUBJECT NEIGHBOURS' SPOS
 - EXISTING SHADOWED SPOS
 - ADDITIONAL SHADOWED SPOS

NOTES

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CITY OF MARIBYRNONG
ADVERTISED PLAN



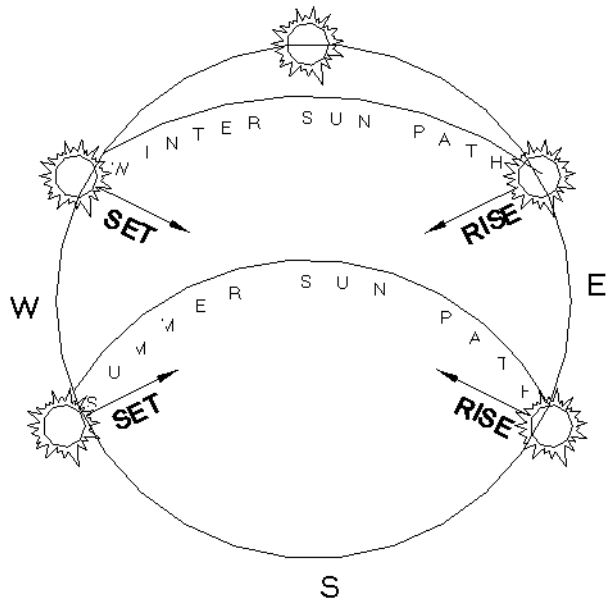
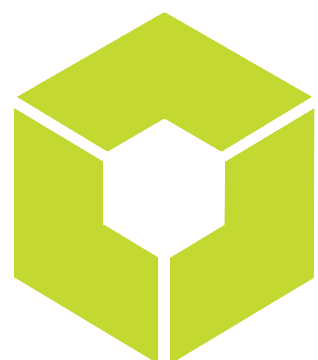
shadows generated from the 22nd September equinox

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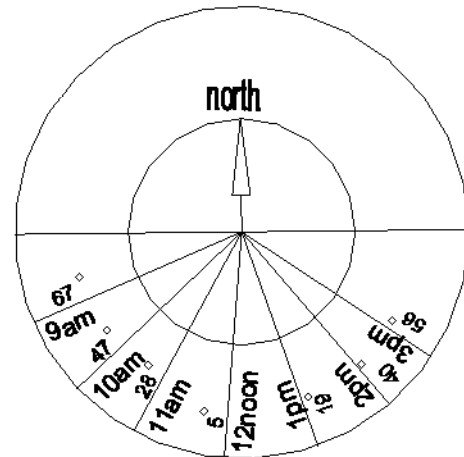
LEGENDS

- SUBJECT NEIGHBOURS' SPDS
- EXISTING SHADOWED SPDS
- ADDITIONAL SHADOWED SPDS

NOTES
THE SHADOW LEGEND ONLY APPLIES TO THE ADJACENT PROPERTIES AND THEIR SECLUDED PRIVATE OPEN SPACES (SPDS) TO DEMONSTRATE OVERSHADOW COMPLIANCE WITH THE CURRENT PLANNING SCHEME.
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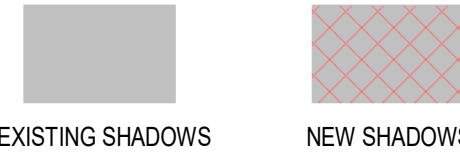


DIRECTION OF SUN MOVEMENT

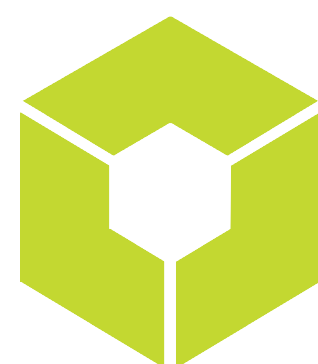


shadows generated from the 22nd September equinox

Time	sun altitude	shadow length per meter
9am	32°	1.60m
10am	41°	1.15m
11am	49°	0.87m
12 Noon	52°	0.78m
1pm	50°	0.84m
2pm	45°	1.00m
3pm	36°	1.30m



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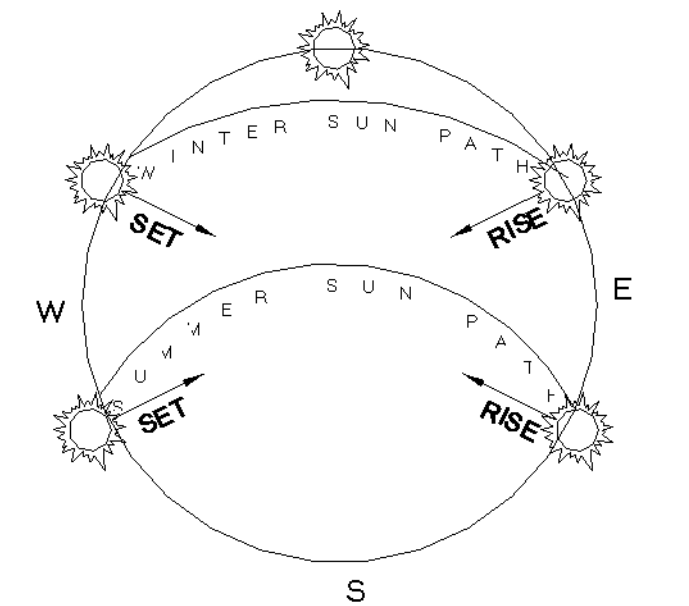
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PROJECT: 54 DARNLEY STREET, BRAYBROOK

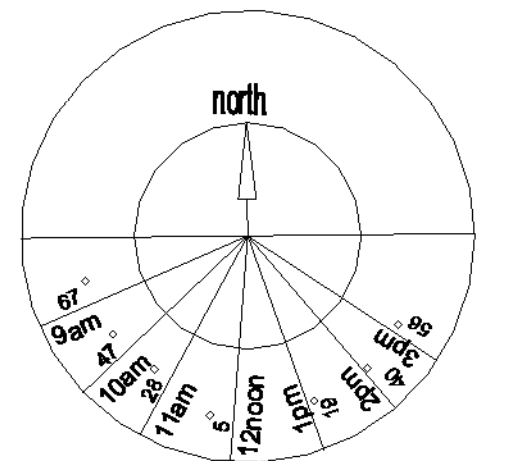
1 pm Shadow Diagram

CITY OF MARIBYRNONG
ADVERTISED PLAN

A 3.5

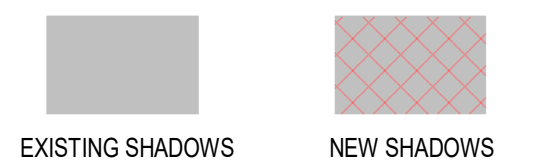


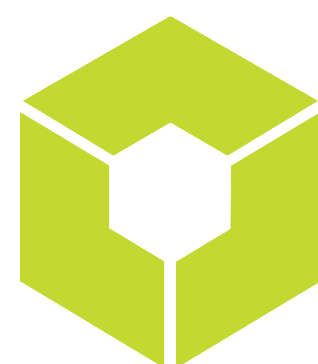
DIRECTION OF SUN MOVEMENT



shadows generated from the 22nd September equinox

Time	sun altitude	shadow length per meter
9am	32°	1.60m
10am	41°	1.15m
11am	49°	0.87m
12 Noon	52°	0.78m
1pm	50°	0.84m
2pm	45°	1.00m
3pm	36°	1.30m





ARC ZERO PTY LTD

PROJECT: 54 DARNLEY STREET, BRAYBROOK

2 pm Shadow Diagram

A 3.6

A: 179-185 Peel Street, North Melbourne VIC 3051

M: 0490 931 074

E: info@arczero.com.au

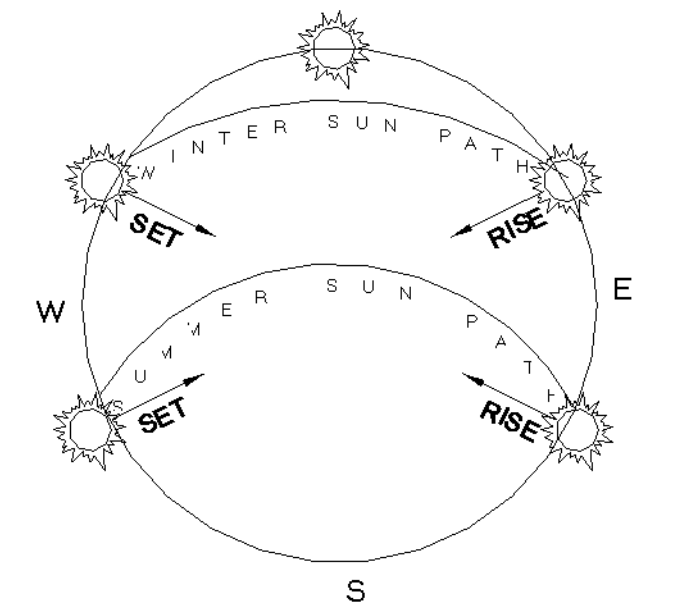
W: www.arczero.com.au

ACN: 139 748 128

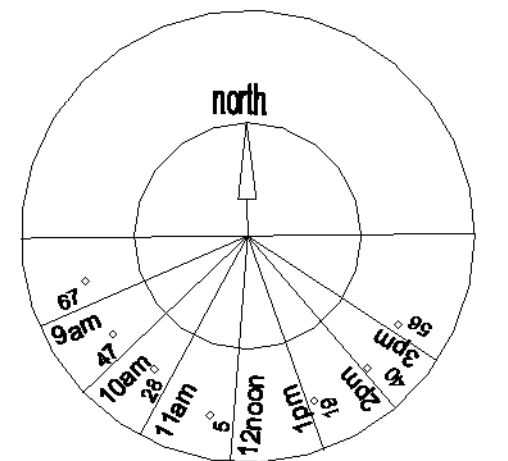
ISSUE: TP AMENDMENT

DATE: 23 MAR 2026

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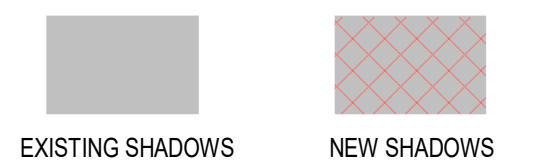


DIRECTION OF SUN MOVEMENT

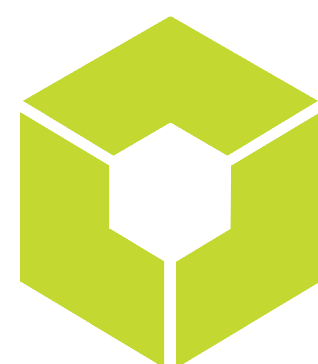


shadows generated from the 22nd September equinox

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9am	32°	1.60m
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1pm	50°	0.84m
2pm	45°	1.00m
3pm	36°	1.30m



CITY OF MARIBYRNONG
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ARC ZERO PTY LTD

PROJECT: 54 DARNLEY STREET, BRAYBROOK

3 pm Shadow Diagram

A 3.7

A: 179-185 Peel Street, North Melbourne VIC 3051

M: 0490 931 074

E: info@arczero.com.au

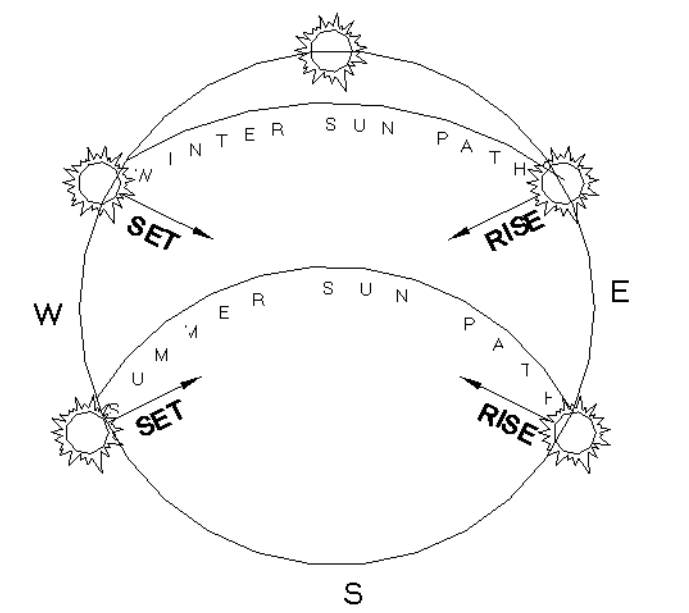
W: www.arczero.com.au

ACN: 139 748 128

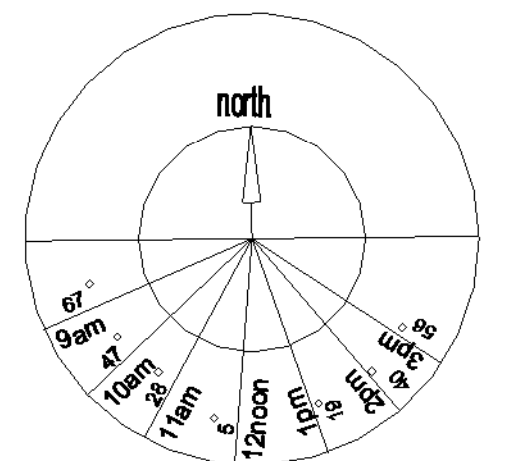
ISSUE: TP AMENDMENT

DATE: 23 MAR 2026

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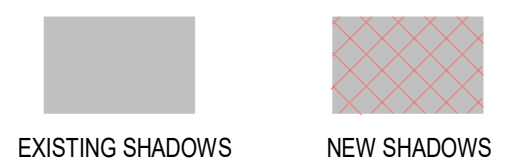


DIRECTION OF SUN MOVEMENT



shadows generated from the 22nd September equinox

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9am	32°	1.60m
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