

GENERAL NOTES (ABC Housing Provisions 2022)

- INTELLECTUAL PROPERTY AND USE OF THIS DOCUMENT**
- THIS DOCUMENT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF HARGREAVES DESIGN GROUP FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
  - THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS, DETAILS AND INFORMATION PROVIDED BY THE CONSULTANTS NAMED HEREIN, AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
  - A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THIS DOCUMENT IS CONDITIONAL ON THE CLIENT OBTAINING THE REQUIRED BUILDING PERMIT.
- MATERIALS AND TRADE PRACTICES**
- ALL MATERIALS, CONSTRUCTION AND WORK PRACTICES SHALL COMPLY WITH BUT NOT BE LIMITED TO THE CURRENT ISSUE OF THE MOST UPTODATE BUILDING REGULATIONS FOR THE RELEVANT STAGE, NATIONAL CONSTRUCTION CODE 2022 ABCB HOUSING PROVISIONS 2022 (HEREAFTER REFERRED TO AS ABCB HP), AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS REFERRED TO THEREIN.
  - WORK AND SITE MANAGEMENT PRACTICES SHALL COMPLY WITH ALL RELEVANT LAWS AND BY-LAWS.
  - IF ANY PERFORMANCE SOLUTION IS PROPOSED, IT SHALL BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER AS MEETING ABCBHP PERFORMANCE REQUIREMENTS PRIOR TO IMPLEMENTATION OR INSTALLATION.
  - INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY'S REQUIREMENTS.
- VARIATIONS**
- SHOULD ANY CONFLICT ARISE BETWEEN THESE PLANS AND ABCBHP, AUSTRALIAN STANDARDS OR A MANUFACTURER'S INSTRUCTIONS, THIS DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER, BEFORE ANY OTHER ACTION IS TAKEN.
  - THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE DESIGNER, EXCEPT WHERE THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION, AND WHERE SUCH CHANGES ARE REPORTED BACK TO THE DESIGNER WITHIN 48 HOURS OF THEIR MAKING.
  - THE APPROVAL BY THE DESIGNER OF A SUBSTITUTE MATERIAL, WORK PRACTICE OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS AND/OR SUBSTITUTIONS TO MATERIALS OR WORK PRACTICES SHALL BE ACCEPTED BY ALL PARTIES TO THE BUILDING CONTRACT AND, WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER, PRIOR TO IMPLEMENTATION.

- MEASUREMENTS**
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
  - SITE PLAN MEASUREMENTS ARE IN MILLIMETRES. ALL OTHER MEASUREMENTS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.
  - UNLESS NOTED OTHERWISE, DIMENSIONS ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT TIMBER FRAME AND STRUCTURAL MEMBERS, NOT FINISHED LININGS/CLADDING.
  - WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER AND ON SITE FRAMING MEASUREMENTS.
  - THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS, SPECIFICATIONS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION.
- SITE PROTECTION DURING THE CONSTRUCTION PERIOD**
- PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE SHALL BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR AND/OR COUNCIL.
  - WHERE REQUIRED BY COUNCIL, THE BUILDER SHALL CONSTRUCT A TEMPORARY CROSSING PLACED OVER THE FOOTPATH.
  - A SITE MANAGEMENT PLAN SHALL BE IMPLEMENTED FROM THE COMMENCEMENT OF WORKS, TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH RELEVANT STATE/COUNCIL GUIDELINES OR REGULATION. SILT FENCES SHALL BE PROVIDED TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND 'SILT STOP' FILTER BAGS OR EQUIVALENT SHALL BE PLACED OVER ALL STORM WATER ENTRY PITS. EROSION CONTROL FABRIC SHALL BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION.
  - EARTHWORKS (UNRETAINED) SHALL NOT EXCEED 2M.
  - CUT AND FILL BATTERS SHALL COMPLY WITH ABCBHP FIGURE 3.3.2.
- PROTECTION OF THE BUILDING FABRIC**
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
  - WINDOWS, DOORS AND SERVICE PENETRATIONS SHALL BE FLASHED ALL AROUND.
  - ALL PLIABLE MEMBRANES SHALL BE INSTALLED TO COMPLY AND BE IN ACCORDANCE WITH ABCBHP 10.8.1 & AS 4200 - 2017
  - GUTTERS AND DRAINAGE SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3500.3.
  - TEMPORARY DOWNPIPES TO BE USED DURING THE CONSTRUCTION PERIOD
  - ANTI-PONDING DEVICES/BOARDS SHALL BE INSTALLED ACCORDING TO ABCBHP 7.3.5.
  - DAMP COURSES WITH WEEP HOLES AND CAVITY FLASHINGS SHALL BE INSTALLED AS PER AS4773.2.
  - SURFACES AROUND THE PERIMETER OF A RESIDENTIAL SLAB SHALL FALL AWAY FROM THAT SLAB BY NOT LESS THAN 50MM OVER THE FIRST 1M. WHERE NOT STIPULATED IN THE GEOTECHNICAL REPORT, FREEBOARD SHALL BE NOT LESS THAN 50MM FROM AN IMPERMEABLE SURFACE OR 150MM FROM A PERMEABLE SURFACE.
  - SUBFLOOR VENTS SHALL BE LOCATED >600MM FROM CORNERS AND BE INSTALLED BELOW BEARERS. SUCH VENTS SHALL PROVIDE A RATE PER 1000MM RUN OF EXTERNAL OR INTERNAL CROSS WALLS OF:
    - 7,500MM² CLEAR VENTILATION WHERE PARTICLE BOARD FLOORING IS USED; OR
    - 6,000MM² FOR OTHER SUBFLOOR TYPES.
  - WHERE A BUILDING OTHER THAN DETACHED CLASS 10 IS LOCATED IN A TERMITE-PRONE AREA, THE BUILDING SHALL BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM COMPLIANT WITH AS3660.1 OR AS3660.2.
  - BUILDING TIE-DOWNS SHALL BE APPROPRIATE FOR THE SITE WIND CLASSIFICATION AND PROVIDED IN ACCORDANCE WITH ABCBHP 5.6.6.
  - CORROSION PROTECTION SHALL BE SUITED TO THE SITE CONTEXT AND PROVIDED FOR BUILT-IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS, ACCESSORIES (OTHER THAN WALL TIES) IN ACCORDANCE WITH TABLE 4.1 OF AS4773.1 MASONRY IN SMALL BUILDINGS, PART 1: DESIGN.
  - SHEET ROOFING SHALL BE PROTECTED FROM CORROSION IN A MANNER APPROPRIATE TO THE SITE CONTEXT, IN ACCORDANCE WITH ABCBHP TABLE 7.2.2A.
  - SINGLE LEAF MASONRY WALLS SHALL BE WEATHERPROOFED PER ABCBHP 5.7.6.
  - IN CLIMATE ZONES 6, 7 AND UNLESS EXCLUDED BY BCA 10.8.3(2) ROOFS SHALL BE PROVIDED WITH VENTILATION OPENINGS PER ABCBHP 10.8.3.
  - EXTERNAL WATERPROOFING FOR ON FLAT ROOFS, ROOF TERRACES, BALCONIES AND TERRACES AND OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH ABCBHP H2D8.
  - WATERPROOFING OF WET AREAS - BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS SHALL BE PROVIDED IN ACCORDANCE WITH ABCBHP 10.2. & AS3740-2021
  - BALCONY WATERPROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS4654.1 & AS4654.2.+

- GLAZING**
- GLAZED UNITS SHALL BE INSTALLED IN ACCORDANCE WITH ABCBHP 8.3.2. & AS 1288-2021
  - FULLY FRAMED GLAZING INSTALLED IN THE PERIMETER OF BUILDINGS SHALL COMPLY WITH ABCBHP 8.3.3. & AS 2047 - 2014
  - GLASS – INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, SCREENS, PANELS, SPLASHBACKS AND BARRIERS – SHALL COMPLY WITH ABCBHP 3.3.3.
  - GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH ABCBHP 8.4.
- FOOTINGS**
- FOOTINGS SHALL NOT, UNDER ANY CIRCUMSTANCE, ENCROACH OVER TITLE BOUNDARIES OR EASEMENT LINES.
  - ALL CONCRETE FOOTINGS SHALL BE FOUNDED AT A DEPTH TO A MINIMUM REQUIRED BEARING CAPACITY AND/OR IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN SOIL REPORT (OR OTHERWISE AT ENGINEER'S DISCRETION).
- STORMWATER AND SEWERS**
- COVERS TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:
    - 100MM UNDER SOIL
    - 50MM UNDER PAVED OR CONCRETE AREAS
    - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
    - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS
  - THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS, FOOTING/ SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

- SERVICES**
- SOLAR COLLECTOR PANEL LOCATIONS ARE INDICATIVE ONLY. LOCATION AND SIZE ARE DEPENDENT ON MANUFACTURER'S/INSTALLER'S RECOMMENDATION.
  - DUCTWORK FOR HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN ABCBHP TABLE 3.
- SAFETY OF BUILDING USERS**
- WHERE STAIRS, RAMPS AND BALUSTRADES ARE TO BE CONSTRUCTED, THESE SHALL COMPLY WITH ALL PROVISIONS OF ABCBHP 11.2.
  - OTHER THAN SPIRAL STAIRS:
    - RISERS SHALL BE 190MM MAX AND 115MM MIN
    - GOINGS SHALL BE 355MM MAX AND 240MM MIN
    - 2R+G SHALL BE 700MM MAX AND 550MM MIN
    - THERE SHALL BE LESS THAN 125MM GAP BETWEEN OPEN TREADS.
  - ALL TREADS, LANDINGS AND THE LIKE SHALL HAVE A SLIP RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
  - BARRIERS SHALL BE PROVIDED WHERE IT IS POSSIBLE TO FALL 1M OR MORE FROM THE LEVEL OF THE TRAFFICABLE SURFACE TO THE SURFACE BENEATH. SUCH BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) SHALL BE:
    - 1000MM MIN ABOVE FINISHED STAIR LEVEL (FSL) OF BALCONIES, LANDINGS ETC; AND
    - 865MM MIN ABOVE FSL OF STAIR NOSING OR RAMP; AND
    - VERTICAL, WITH GAPS OF NO MORE THAN 125MM.
  - CLASS 1 BUILDINGS WITH AIR PERMEABILITY OF NOT MORE THAN 5 m³/Hr.m² AT 50 PA SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM COMPLYING WITH H6V3.INWARD-OPENING SWING DOORS TO FULLY ENCLOSED SANITARY COMPARTMENTS SHALL COMPLY WITH ABCBHP CLAUSE 10.4.2.
  - ALL SHOWER WALLS AND WALLS ADJACENT TO TOILET SHALL BE BRACED WITH 12MM PLY FOR FUTURE GRAB RAILS OR SUPPLY NOGGINGS WITH A THICKNESS OF AT LEAST 25MM IN ACCORDANCE WITH RECOMMENDATIONS OF LIVEABLE HOUSING DESIGN GUIDELINES.
  - FLOORING IN WET AREAS, LAUNDRY AND KITCHEN SHALL BE SLIP RESISTANT.
  - DOOR HARDWARE SHALL BE INSTALLED 900MM – 1100MM ABOVE THE FINISHED FLOOR.
  - THERE SHALL BE A LEVEL TRANSITION BETWEEN ABUTTING INTERNAL SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 5MM BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED).

- TIMBER FRAMING**
- STANDARD TIMBER ROOFING AND WALL FRAMING SHALL BE PROVIDED IN ACCORDANCE WITH AS1684 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) AND ALL RELEVANT SUPPLEMENTS.
- ELECTRICAL**
- SMOKE DETECTORS SHALL BE FITTED WHERE NONE ARE PRESENT, OR WHERE EXISTING ARE NON-COMPLIANT WITH AS3786.
  - NEW SMOKE DETECTORS SHALL BE INTERCONNECTED; MAINS-POWERED; AND LOCATED AND INSTALLED PER ABCBHP 9.5.2 AND 9.5.4.
  - LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION 900MM – 1100MM ABOVE THE FINISHED FLOOR LEVEL; HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.
  - POWER POINTS SHALL NOT BE INSTALLED LOWER THAN 300MM ABOVE FINISHED FLOOR LEVEL.
  - ALL ELECTRICAL PENETRATIONS SHALL BE SEALED USING MATERIAL APPROPRIATE TO THE RATING OF THE CABLE AND/OR DEVICE.
  - ONLY STAMPED IC4-RATED DOWNLIGHTS SHALL BE INSTALLED AND INSULATION SHALL NOT BE PENETRATED FOR DOWNLIGHTS.
  - DUCTWORK FOR EXHAUST FANS AND HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN ABCBHP 13.7.4.
  - EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT OR LAUNDRY SHALL BE DISCHARGED DIRECTLY VIA AN INSULATED SHAFT OR R1 INSULATED DUCTING TO OUTDOOR AIR. MINIMUM FLOW RATES SHALL BE:
    - 40 L/S FOR KITCHEN & LAUNDRY
    - 25 L/S FOR BATHROOM OR SANITARY COMPARTMENT.
  - AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH ABCBHP 10.6.2(A) SHALL BE INTERLOCKED WITH THE ROOM'S LIGHT SWITCH; AND INCLUDE A 10 MINUTE RUN-ON TIMER.
  - EXHAUST FANS, RANGEHOODS AND THE LIKE SHALL BE INSTALLED WITH SELF-CLOSING DAMPERS.
- BUILDING THERMAL PERFORMANCE**
- WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY XXX, ACCREDITED THERMAL PERFORMANCE ASSESSOR DMNXXX, WITHOUT ALTERATION.
  - INSULATION SHALL BE INSTALLED TIGHT AND CONTINUOUS, WITHOUT GAPS AND CRACKS, HARD UP AGAINST INTERNAL LININGS (INCLUDING SUBFLOOR). THERE SHALL BE NO AIR GAP BETWEEN AN INTERNAL LINING AND INSULATION. JUNCTIONS BETWEEN INTERNAL AND EXTERNAL WALLS SHALL BE INSULATED.
  - INSULATION SHALL NOT BE CRUSHED OR COMPRESSED.
  - BOX GUTTERS AND MANHOLE COVERS SHALL BE INSULATED TO THE SAME R-VALUE AS THE ROOF, USING INSULATION BATTS OR BLANKET OR CLOSED-CELL FOAM.
  - DOWNLIGHTS SHALL BE STAMPED AS IC4 RATED, AIRTIGHT AND COVERED BY INSULATION.
  - INTERNAL DOOR TO GARAGE TO BE FITTED WITH SEAL AS PER PART 3.4.4 OF NCC 2022

- IN CLIMATE ZONES 6, 7 AND 8, A VAPOUR PERMEABLE LAYER SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS IN ALL NEW EXTERNAL WALLS. THE MATERIAL SHALL BE OVERLAPPED AND FULLY TAPED ON THE EXTERNAL SIDE TO ENSURE A TIGHT SEAL. ALL PENETRATIONS IN THE MEMBRANE SHALL BE SEALED, ENSURING THAT THE MATERIAL COVERS GAPS BETWEEN STUDS AND DOORS AND WINDOW FRAMES. ANY FLASHING AROUND WINDOWS SHALL BE TAPED OVER THE BUILDING WRAP.
- WHERE A FOIL-BACKED MEMBRANE IS USED, TIMBER BATTENS SHALL BE USED TO MINIMISE THERMAL CONDUCTION.
- ALL TRADES SHALL BE INSTRUCTED TO REPLACE ANY INSULATION THEY HAVE REMOVED IN THE COURSE OF THEIR WORK AND TO TAPE ANY CUTS/PENETRATIONS IN BUILDING WRAP. ALL PENETRATIONS SHALL BE CAULKED USING A FIT-FOR-PURPOSE FLEXIBLE SEALANT.
- ALL REDUNDANT OPENINGS SUCH AS DECOMMISSIONED CHIMNEYS AND WALL VENTS SHALL BE SEALED OFF AT TOP AND BOTTOM, UNLESS AN UNFLUED GAS HEATER IS PRESENT.
- CAULKING PRODUCTS SHALL BE APPROPRIATE FOR THE INTENDED APPLICATION. BEFORE INSTALLING MOULDINGS, A FIT-FOR-PURPOSE, LONG-LASTING PROPRIETARY TAPE OR FLEXIBLE CAULKING PRODUCT SHALL BE USED TO SEAL JUNCTIONS OF:
  - PLASTERBOARD AND FLOOR
  - PLASTERBOARD AND TOP PLATE (FOR SQUARE SET CORNICES)
  - VERTICAL AND HORIZONTAL PLASTERBOARD
  - TOPS, BOTTOMS AND SIDES OF ARCHITRAVES AND PLASTERBOARD.
  - ALL EXHAUST FANS AND DUCTS, INCLUDING RANGEHOODS, SHALL BE FITTED WITH SELF-CLOSING MECHANISMS.
- EXTERNAL DOORS AND WINDOWS SHALL BE DRAUGHTPROOFED PER BCA 13.4.4 USING A DURABLE, FIT-FOR-PURPOSE SEAL.
- CAVITY SLIDER POCKETS SHALL BE SEALED BEFORE INSTALLATION, EITHER BY WRAPPING WITH VAPOUR PERMEABLE MEMBRANE, OR BY SCREWING PLASTER SECURELY TO THE FRAME AND APPLYING A SILICON BEAD.
- CONDITIONED CLASS 1 AND UNCONDITIONED CLASS 10A SPACES SHALL BE SEPARATED BY INSULATION. ANY OPENINGS BETWEEN SUCH SPACES SHALL BE WEATHER-STRIPPED.
- WINDOW SIZES NOMINATED ARE NOMINAL. ACTUAL SIZE MAY VARY MINIMALLY ACCORDING TO MANUFACTURER; HOWEVER, OPENING STYLES, OVERALL SIZE, U-VALUE AND SHGC VALUES ARE INBUILT INTO THE ENERGY RATING AND MAY NOT BE ALTERED WITHOUT THE EXPRESS APPROVAL OF THE PROJECT'S ENERGY RATER. THE OWNER IS TO ENSURE COMPLIANT VENTILATION FOR VENTED DRYER SYSTEMS IF INSTALLED POST-HANDOVER, IN ACCORDANCE WITH **CLAUSE 10.8.2(3)** OF THE HPS

BUSHFIRE ATTACK LEVEL:- (BAL)

BAL-N/A

THERE IS INSUFFICIENT RISK TO WARRANT SPECIFIC CONSTRUCTION REQUIREMENTS

ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS:

N1 - 28m/s

IMPORTANT NOTE:

THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)

STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

ISSUE	AMENDMENT DETAILS
A	INITIAL WORKING DRAWINGS ISSUE RF-16/04/25
B	AMENDMENTS AS PER MARCHELLE EMAIL 20/06/25 04/08/25
C	ADD RESTAB- SURVEY DETAIL/ WINDOW AMEND/ FFL CHANGE RF-18/08/25
D	MINOR AMNEDS RF-20/08/25
E	ADD COLOUR SWATCHES MSK - 26/08/25
F	AMENDS AS PER VIET-TRAN & CHARALENE EMAILS 4/09/25 JS - 5/09/25
G	AMENDMENTS AS PER MARCHELLE EMAIL 12/09/25 JS - 15/09/25
H	AMENDS AS PER EMAIL 10/10 & RFI
I	AMENDS AS PER EMAIL DTD 20/10 RF-22/10/25
J	ADD WALL ON BOUNDARY HEIGHTS MSK - 24/10/25
K	ADD WALL ON BOUNDARY HEIGHTS TO SITE PLAN, REMOVE FROM ELEVATIONS MSK - 31/10/25
L	
M	
N	
O	
P	
Q	
R	
S	
T	
U	
V	

SITE CLASSIFICATION	
SITE CLASSIFICATION:	240190
SOIL REPORT NO:	P
BY:	INTRAX

STORMWATER

REFER TO SITE SPECIFIC ENGINEERING

AUTHORITIES/CONSULTANTS

MUNICIPALITY NAME:	MARIBYRNONG
SEWAGE AUTHORITY:	GREATER WESTERN WATER
STRUCTURAL ENGINEER:	INTRAX
GEOTECHNICAL ENGINEER:	INTRAX
THERMAL PERFORMANCE ASSESSOR:	NRG

(UPDATED 21/06/24)

THESE ARE THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT: OWNER #1 SIGNATURE..... DATE: / / OWNER #2 SIGNATURE ..... DATE: / / BUILDER SIGNATURE..... DATE: / /

200-202 Ingles St, Port Melbourne 3207 | P. 1800 955 827 | hello@arli.com.au | www.arlihomes.com.au

proposed: HOUSE & GARAGE

for: J.W-C.LUK & M.L.SMITH

address: LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT YARRAVILLE, 3013

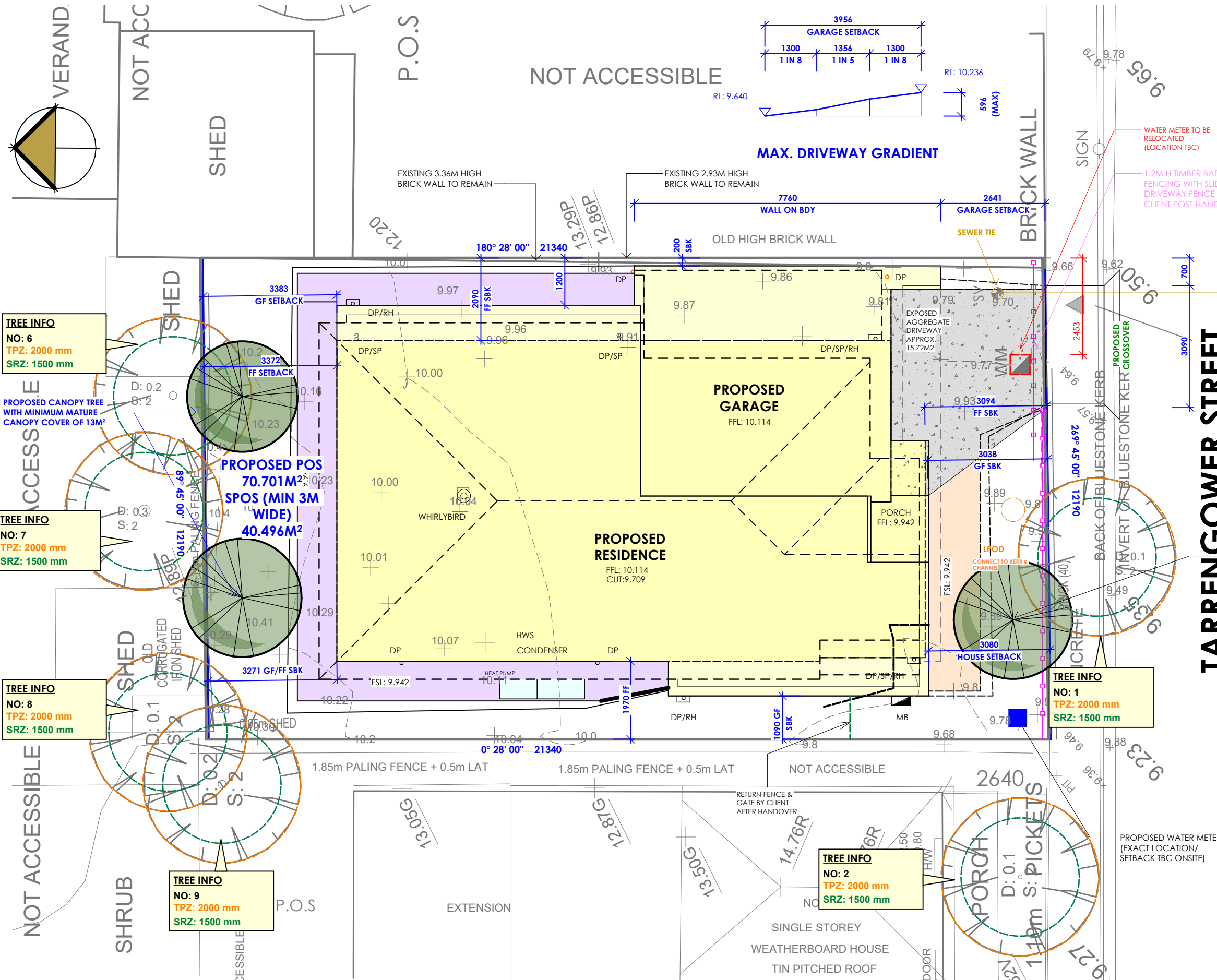
drawing: GENERAL NOTES

drawn: RF date: 16/04/25 scale:

sheet: 1 of 23 issue: K date: 31/10/25

job no.: 100462

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#### SITE CUT/FILL LEGEND & NOTES

- DENOTES AREA OF SITE CUT
- DENOTES AREA OF SITE FILL

NOTE:  
PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPED AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.

#### TERMITE TREATMENT REQUIRED

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1

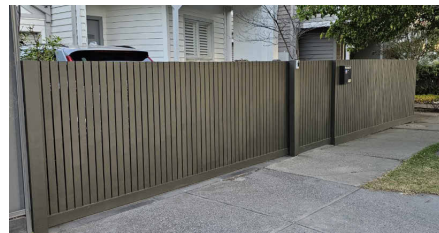
#### BUILD OVER EASEMENT

SITING IS SUBJECT TO OBTAINING APPROVAL FROM RELEVANT AUTHORITIES TO BUILD OVER AN EASEMENT

#### NOTE:

THREE PHASE POWER SUPPLY TO DWELLING  
NO GAS SUPPLY TO THE PROPERTY

SEWER TIE WITHIN THE DRIVEWAY



FRONT FENCE BY CLIENT POST HANDOVER  
IMAGE FOR REFERENCE

#### SEWER PIPE

SIZE: 225 mmØ  
DEPTH: 3060 mm  
OFFSET: 5790 mm

**CITY OF MARIBYRNONG  
ADVERTISED PLAN**

#### SITE ANALYSIS

GARDEN AREA REQ. FOR GRZ & NRZ ZONES ONLY: 400-500m2 = 25%   501-650m2 = 30%   650m2+ = 35%		
GARDEN AREA	93.89 m²	36.09%
NON-COMPLIANT GARDEN AREA	3.88 m²	1.49%
TOTAL PERMEABLE SPACE	97.77 m²	37.59%
SITE COVER	145.11 m²	55.79%
PAVED AREA	0.00 m²	0.00%
DRIVEWAY AREA	17.24 m²	6.63%
TOTAL HARD COVER	162.35 m²	62.41%
SITE AREA	260.11 m²	100.00%

THESE ARE THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT: OWNER #1 SIGNATURE..... DATE: / / OWNER #2 SIGNATURE..... DATE: / / BUILDER SIGNATURE..... DATE: / /

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proposed: **HOUSE & GARAGE**

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address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT  
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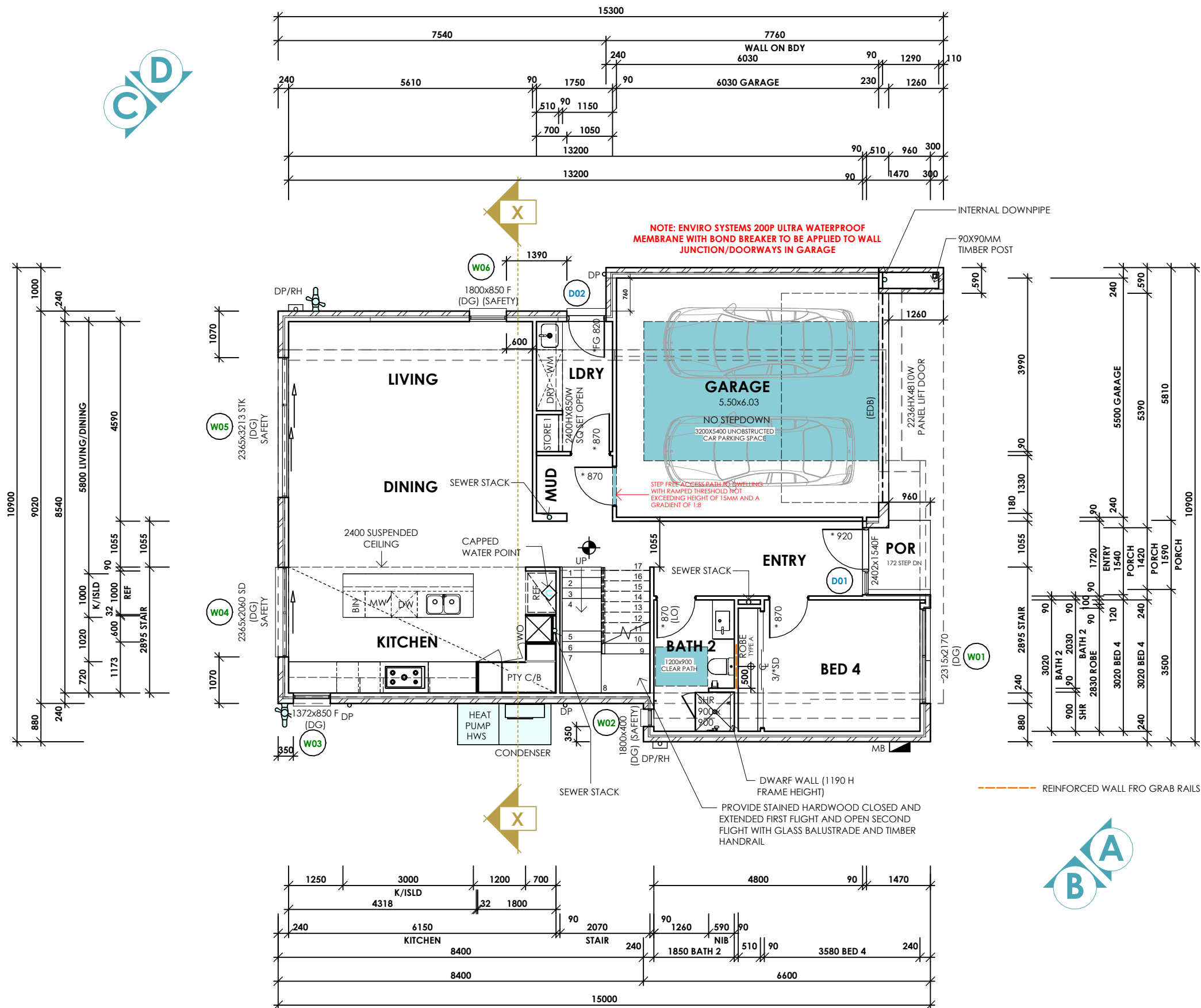
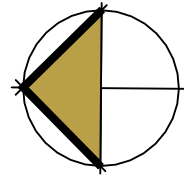
drawing: **SITE PLAN**

drawn: **RF** date: **16/04/25** scale: **1 : 100**

sheet: **2** of **23** issue: **K** date: **31/10/25** job no.: **100462**

© UNLESS OTHERWISE AGREED IN WRITING THESE DRAWINGS  
SHALL REMAIN THE PROPERTY OF BASS HAUS PTY LTD





- PLAN GENERAL NOTES:**
- WRITTEN DIMENSIONS ALWAYS TAKE PREFERENCE OVER SCALE
  - UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
    - \* EXTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD
    - \* INTERNAL 90mm STUD
  - PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS WHERE INDICATED (LO)
  - PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR
  - 550x550 CEILING ACCESS MANHOLE LOCATION (MH)
  - SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
  - ENGINEER DESIGNED BEAM - (EDB)
  - DOUBLE GLAZING - (DG)
  - BRICKWORK ARTICULATION JOINT
  - EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
  - SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
  - BIB TAP
  - GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
  - HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS

**DOOR HEIGHTS**  
ALL GROUND FLOOR DOORS TO BE 2340 H AS INDICATED BY \*

**NOTE:**  
NOGTINGS FOR INSTALLATION OF FUTURE GRAB RAILS TO BE PROVIDED AS PER LIVEABLE HOUSING DESIGN STANDARD

**NOTE:**  
EXHAUST FANS & RANGEHOOD TO GROUND FLOOR EXTERNALLY VENTED VIA WALL VENTS WITH DUCTS RUNNING THROUGH FLOOR JOISTS

**NOTE:**  
THREE PHASE POWER SUPPLY TO DWELLING  
NO GAS SUPPLY TO THE PROPERTY

**NOTE:**  
SQ.SET CEILING TO ENTIRE HOUSE

**CITY OF MARIBYRNONG  
ADVERTISED PLAN**

AREAS TABLE		
AREAS	(m²)	(SQ)
GROUND FLOOR	104.53 m²	11.25
FIRST FLOOR	119.82 m²	12.90
SUB TOTAL:	224.35 m²	24.15
GARAGE	37.99 m²	4.09
PORCH	2.56 m²	0.28
TOTAL OTHER	40.55 m²	4.36
GRAND TOTAL	264.90 m²	28.51

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proposed: **HOUSE & GARAGE**

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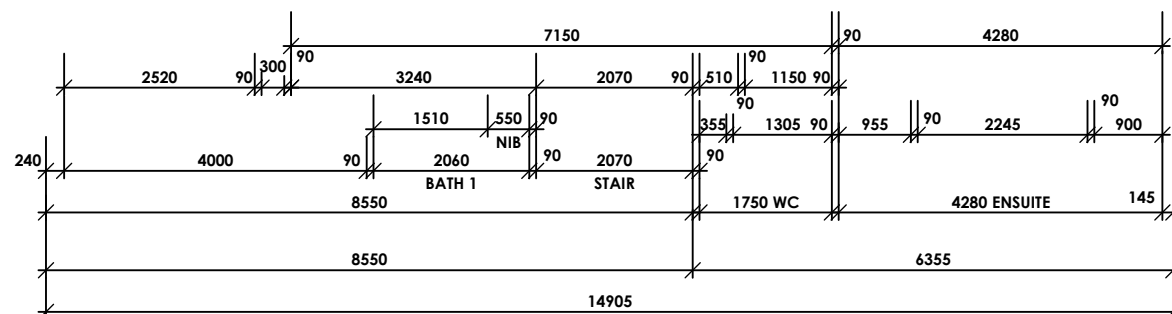
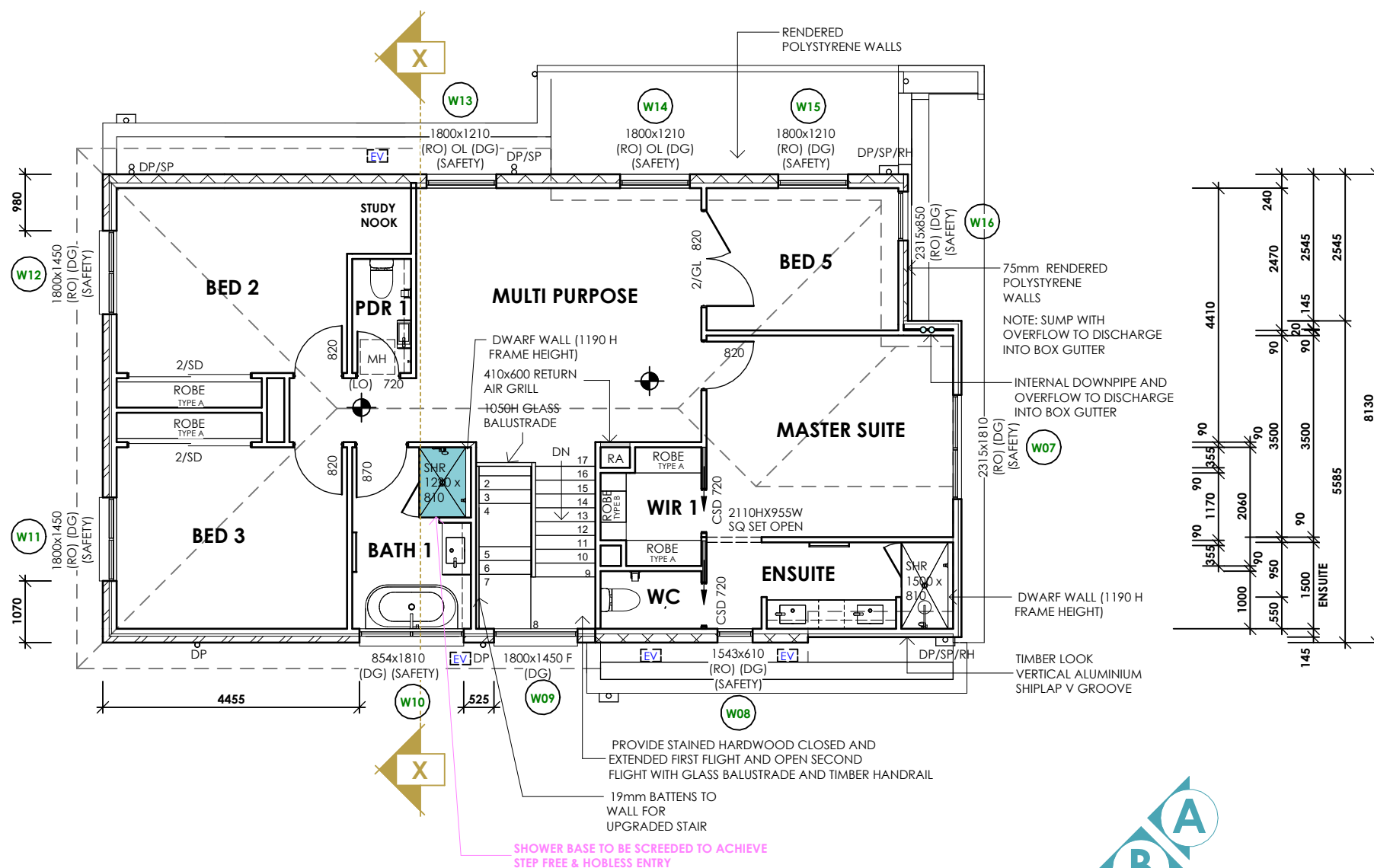
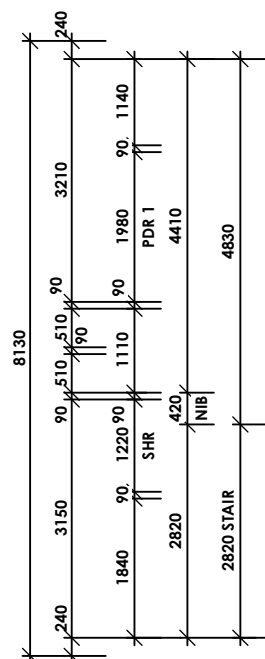
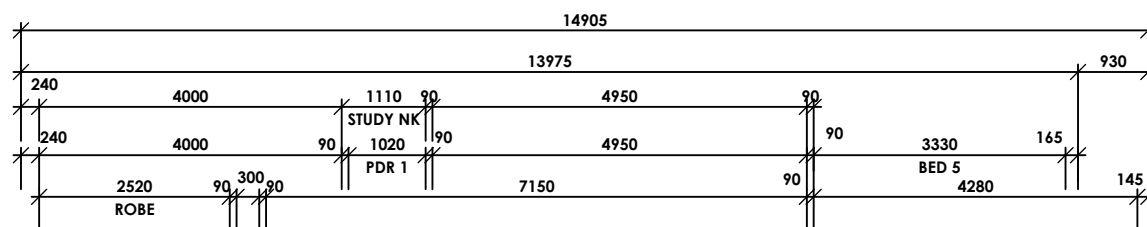
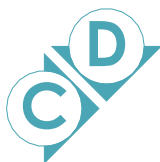
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






drawing: **GROUND FLOOR PLAN**

drawn: **RF** date: **16/04/25** scale: **1 : 100**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT YARRAVILLE, 3013**

sheet: **3** of **23** issue: **K** date: **31/10/25** job no.: **100462**



- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
  - \* INTERNAL 2400mm = 110 BRICK, 40 CAVITY, 90 STUD
  - \* EXTERNAL 240mm
- PROVIDE REMOVABLE FLANGES TO HINGE WC & POWDER ROOM DOORS WHERE INDICATED (LO)
- PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR
- 550x550 CEILING ACCESS MANHOLE LOCATION 
- SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
- ENGINEER DESIGNED BME - (EDB)
- DOUBLE GLAZING - (DG)
- BRICKWORK: ARTICULATION JOINT 
- EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION 
- SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
- BIB TAP  RECYCLED TAP 
- GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES 
- HWS WATER SERVICE TO RF 500mm CLEAR OF BLIND OPENINGS 

SQ.SET CEILING TO ENTIRE HOUSE

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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT  
YARRAVILLE, 3013**

drawing: **FIRST FLOOR PLAN**

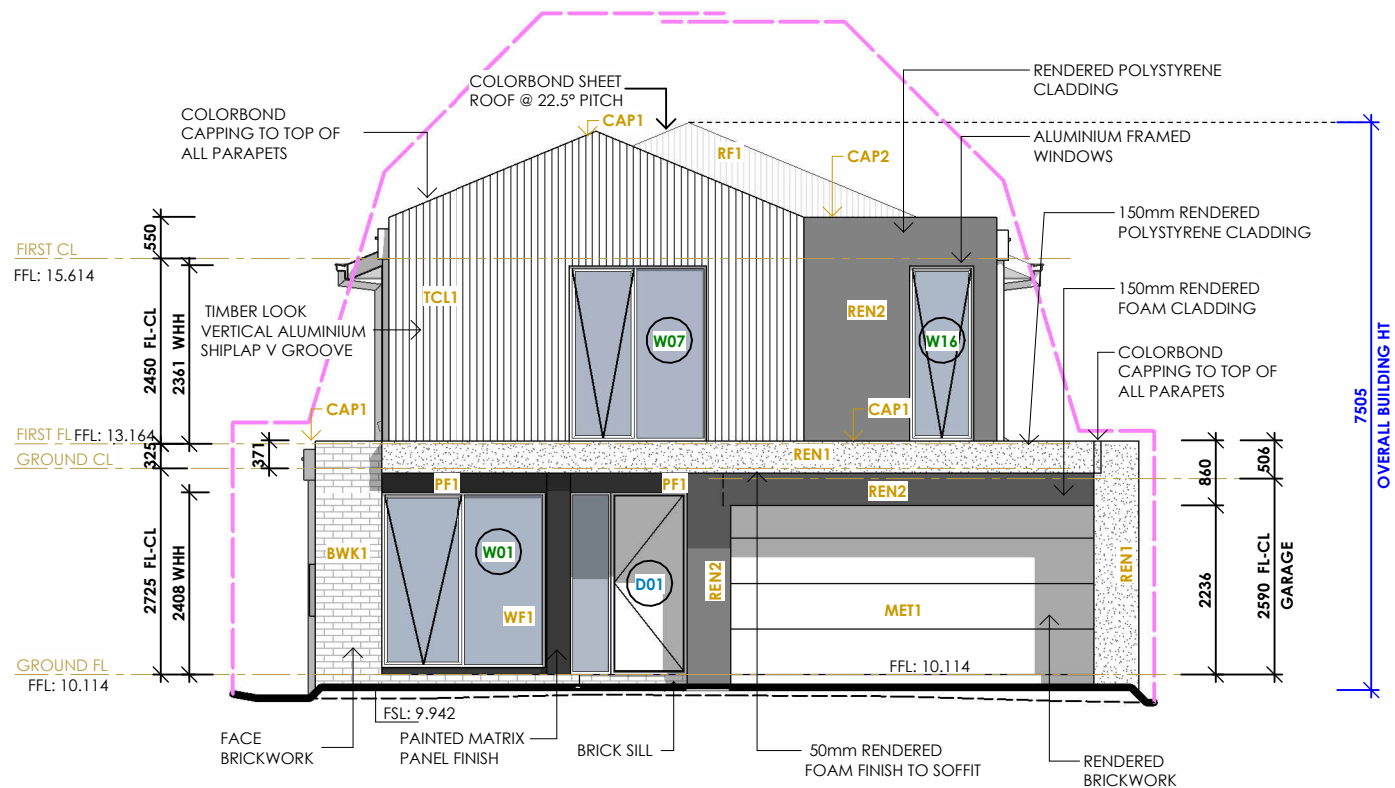
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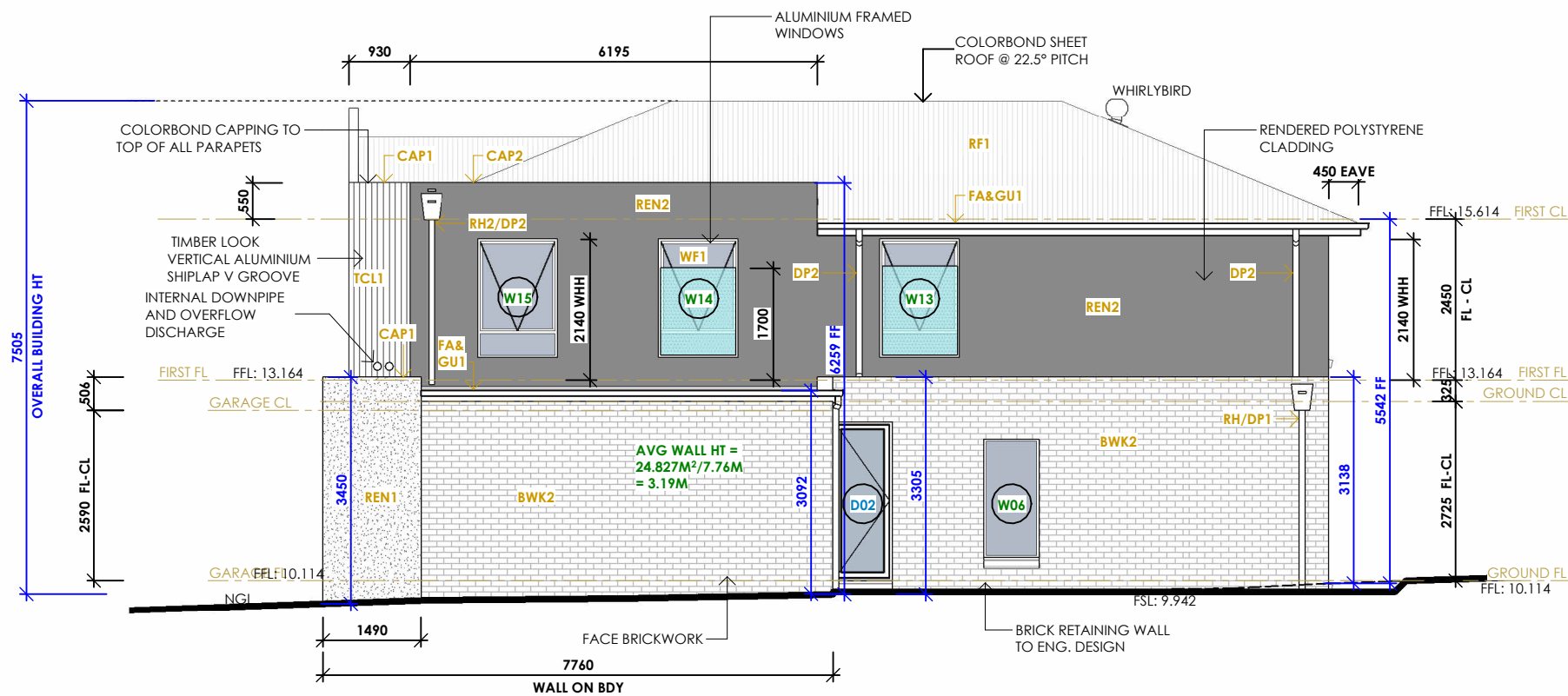
sheet: **4** of **23**      issue: **K**      date: **31/10/25**

job no. : **100462**

The logo for Arli Homes, featuring the word "arli." in a bold, lowercase sans-serif font, with a grey dot above the "i", and the word "HOMES" in a smaller, uppercase sans-serif font below it.



ELEVATION A - (SOUTH)



ELEVATION D - (EAST)

WINDOW SCHEDULE

Mark	Height	Width	Style	Double Glazing	Obscure Glazing	Safety Glass	Comments
W01	2315	2170	AWN	(DG)			
W02	1800	400	AWN	(DG)		(SAFETY)	
W03	1372	850	FX	(DG)			
W04	2365	2060	SLDOOR	(DG)			SAFETY
W05	2365	3213	SLDOOR	(DG)			SAFETY
W06	1800	850	FX	(DG)		(SAFETY)	
W07	2315	1810	AWN	(DG)		(SAFETY)	(RO)
W08	1543	610	AWN	(DG)		(SAFETY)	(RO)
W09	1800	1450	FX	(DG)			
W10	854	1810	AWN	(DG)		(SAFETY)	
W11	1800	1450	AWN	(DG)	OBS	(SAFETY)	(RO)
W12	1800	1450	AWN	(DG)	OBS	(SAFETY)	(RO)
W13	1800	1210	AWN	(DG)	OBS	(SAFETY)	(RO) OL
W14	1800	1210	AWN	(DG)	OBS	(SAFETY)	(RO) OL
W15	1800	1210	AWN	(DG)		(SAFETY)	(RO)
W16	2315	850	AWN	(DG)		(SAFETY)	(RO)
Total Quantity : 16							

DOOR SCHEDULE

Mark	Door Height	Door Width	Door Type	Comments
D01	2340	920	PFlush	*
D02	2340	820	Glazed	*FG
Grand total: 2				

**NOTE:**  
FINISHED CEILING HEIGHTS WILL BE WITHIN 50MM OF NOMINAL HEIGHTS ILLUSTRATED / NOMINATED

**BOXGUTTER:**  
BOXGUTTER AND OVERFLOW PROVISIONS EXPOSED ABOVE RAINHEADS TO COMPLY WITH PLUMBING STANDARDS

**CITY OF MARIBYRNONG  
ADVERTISED PLAN**

**SOLAR PANELS**  
SOLAR HOT WATER PANELS SHALL BE LOCATED ON THE ROOF AT THE DISCRETION OF THE BUILDER/ INSTALLER

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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT YARRAVILLE, 3013**

drawing: **ELEVATIONS**

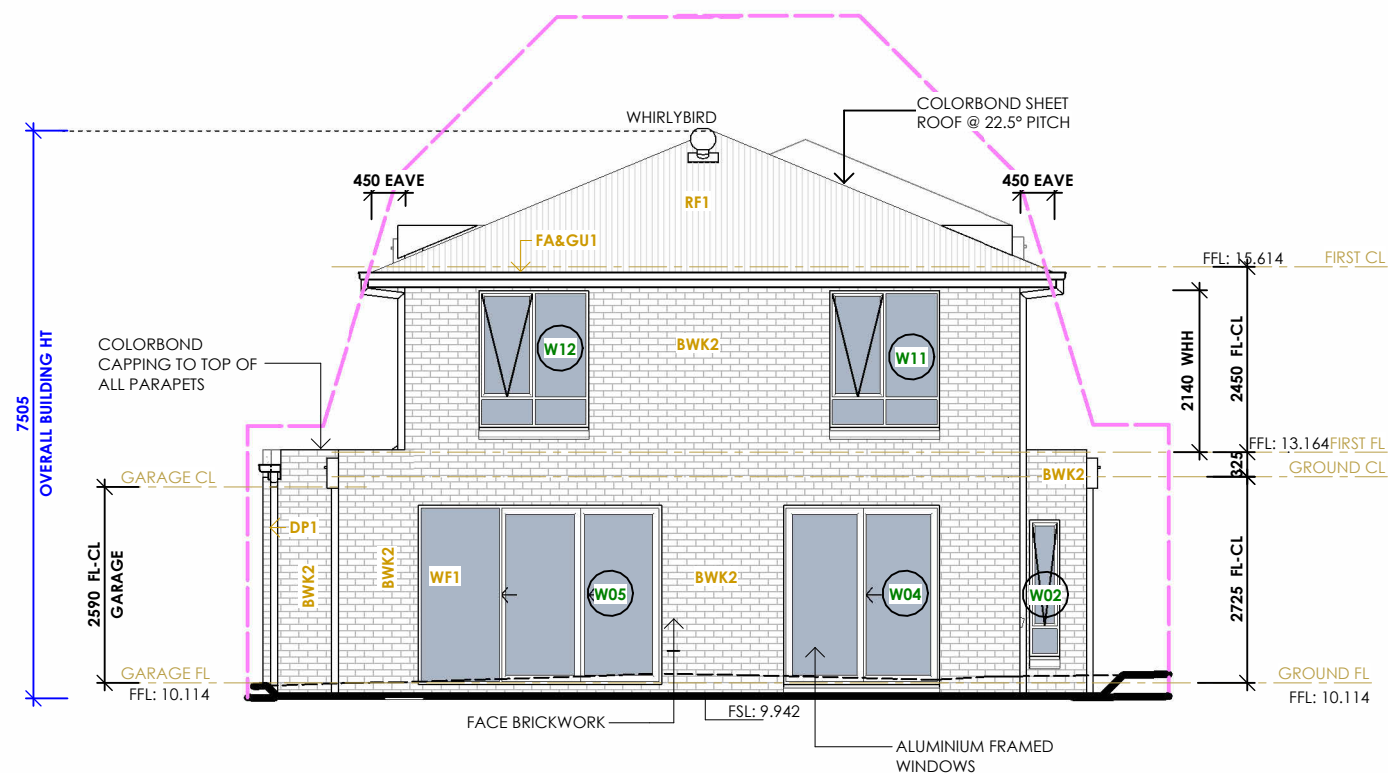
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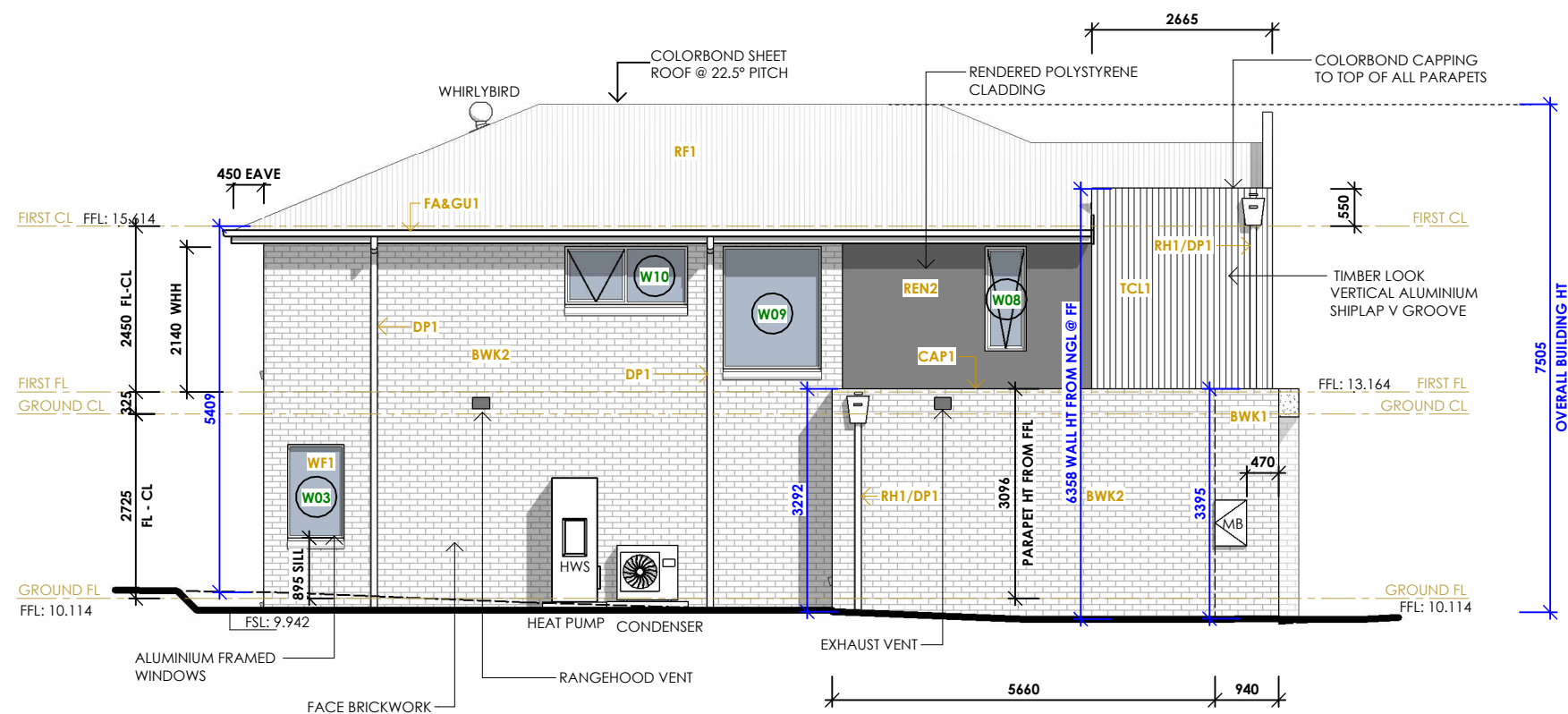
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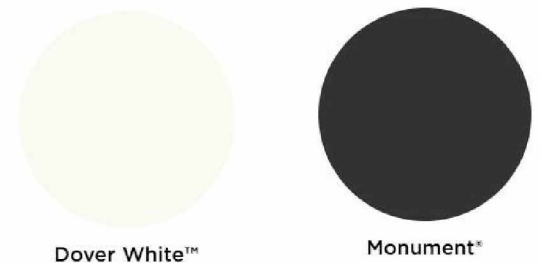


ELEVATION C - (NORTH)



ELEVATION B - (WEST)

EXTERNAL FINISHES	
RF1	SOUTHERLY
MET1	SOUTHERLY
BWK1	CLOUDY SILVER
TCL1	DECO WOOD SMOKED ASH NATURAL FINISH
BWK2	INDUSTRIAL ALLOY
REN1	SOUTHERLY
REN2	DOVER WHITE
PF1	MONUMENT
D01	SOUTHERLY
D02	TAHIRA WHITE
D03	TAHIRA WHITE
WF1	BLACK
CAP 1	SOUTHERLY
CAP 2	DOVER WHITE
RH/DP1	SOUTHERLY
RH/DP2	DOVER WHITE
FA/GU1	SOUTHERLY



**NOTE:**  
FINISHED CEILING HEIGHTS WILL BE WITHIN 50MM OF NOMINAL HEIGHTS ILLUSTRATED / NOMINATED

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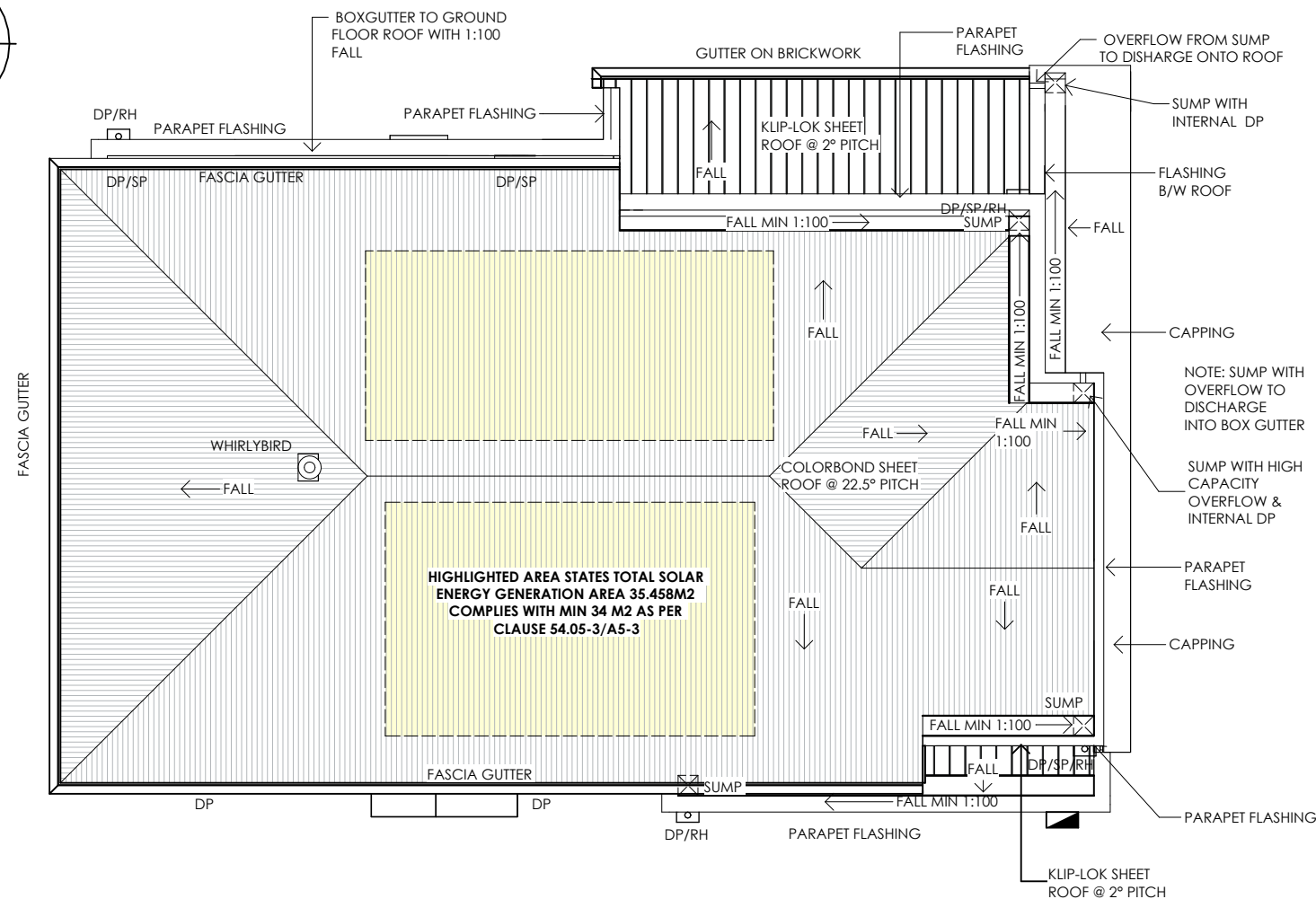
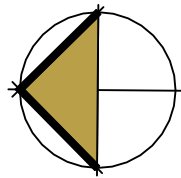
drawing: **ELEVATIONS**

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job no.: **100462**



NOTE: PROVIDE ROOFSpace OPENING OF  
- 1200x950Hx1800L FOR DHU  
- 1200x950Hx4500L FOR DHU WITH ADD ON COOLING

EMRE 27	VENTILATION CALCULATIONS TABLE						
	UPPER ROOF LENGTH	UPPER ROOF PERIMETER	UPPER ROOF RIDGE LENGTH	HIPS WITHIN 900mm OF RIDGE	LOWER ROOF LENGTH	UPPER ROOF LOW LEVEL VENTILLATION AREA REQUIRED	LOW LEVEL VENTILATION PROVIDED BY CORRUGATED ROOF SHEET
	14.49m	42.72m	5.69m	3.60m	6.60m	101,430	320,400
	UPPER ROOF HIGH LEVEL VENTILATION AREA REQUIRED		HIGH LEVEL VENTILATION PROVIDED BY CORRUGATED ROOF SHEET		HIGH LEVEL VENTILATION PROVIDED BY BRADFORD WINDMASTER WHIRLYBIRD		TOTAL HIGH LEVEL VENTILATION
	72,450		69,675		62,500		132,175
	LOWER ROOF VENTILATION AREA REQUIRED OPPOSING ENDS CALCULATED AS GUTTER END & APRON FLASHING END		LOW LEVEL VENTILATION PROVIDED BY TRAPEZIODAL ROOF SHEET GUTTER END		HIGH LEVEL VENTILATION PROVIDED BY TRAPEZIODAL ROOF SHEET APRON FLASHING END		TOTAL ROOF SHEET VENTILATION
	165,500		42,900		138,600		181,500

**SOLAR PANELS**  
SOLAR HOT WATER PANELS SHALL BE LOCATED ON THE ROOF AT THE DISCRETION OF THE BUILDER/ INSTALLER

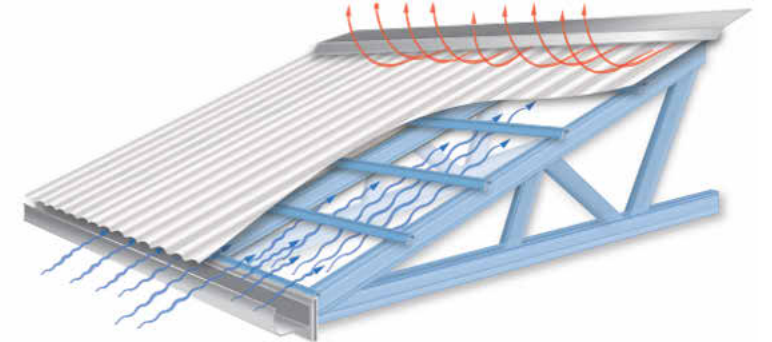
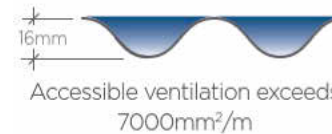
**BOXGUTTER:**  
BOXGUTTER AND OVERFLOW PROVISIONS EXPOSED ABOVE RAINHEADS TO COMPLY WITH PLUMBING STANDARDS

CITY OF MARIBYRNONG  
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## VENTILATION OPTIONS TO ACHIEVE COMPLIANCE

### ACCESSIBLE VENTILATION OPENINGS IN STEEL ROOFING PROFILES

The area between a corrugated steel profile and an adjacent flat surface (e.g. a flashing) provides a free ventilation area exceeding a continuous 7mm slot.



**Open profile** claddings are able to provide low and high level ventilation pathways. Examples include corrugated and trapezoidal profiles as shown below.

Corrugated	Trapezoidal	Close Pitched Trapezoidal
Low Level Ventilation - 7,500mm <sup>2</sup> /m High Level Ventilation - 7,500mm <sup>2</sup> /m	Low Level Ventilation - 6,500mm <sup>2</sup> /m High Level Ventilation - 21,000mm <sup>2</sup> /m	Low Level Ventilation - 11,000mm <sup>2</sup> /m High Level Ventilation - 12,000mm <sup>2</sup> /m

- 1 BRADFORD VENTILATION WINDMASTER IS EQUIVALENT TO 62,500MM<sup>2</sup> OF OPENNESS FACTOR
- 1 BRADFORD VENTILATION SUPAVENT IS EQUIVALENT TO 46,000MM<sup>2</sup>

Table 10.8.3: Roof space ventilation requirements

Roof pitch	Ventilation openings
< 10°	25,000 mm <sup>2</sup> /m provided at each of two opposing ends
≥ 10° and < 15°	25,000 mm <sup>2</sup> /m provided at the eaves and 5,000 mm <sup>2</sup> /m at high level
≥ 15° and < 75°	7,000 mm <sup>2</sup> /m provided at the eaves and 5,000 mm <sup>2</sup> /m at high level, plus an additional 18,000 mm <sup>2</sup> /m at the eaves if the roof has a cathedral ceiling

#### Table Notes

- (1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof.
- (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.

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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

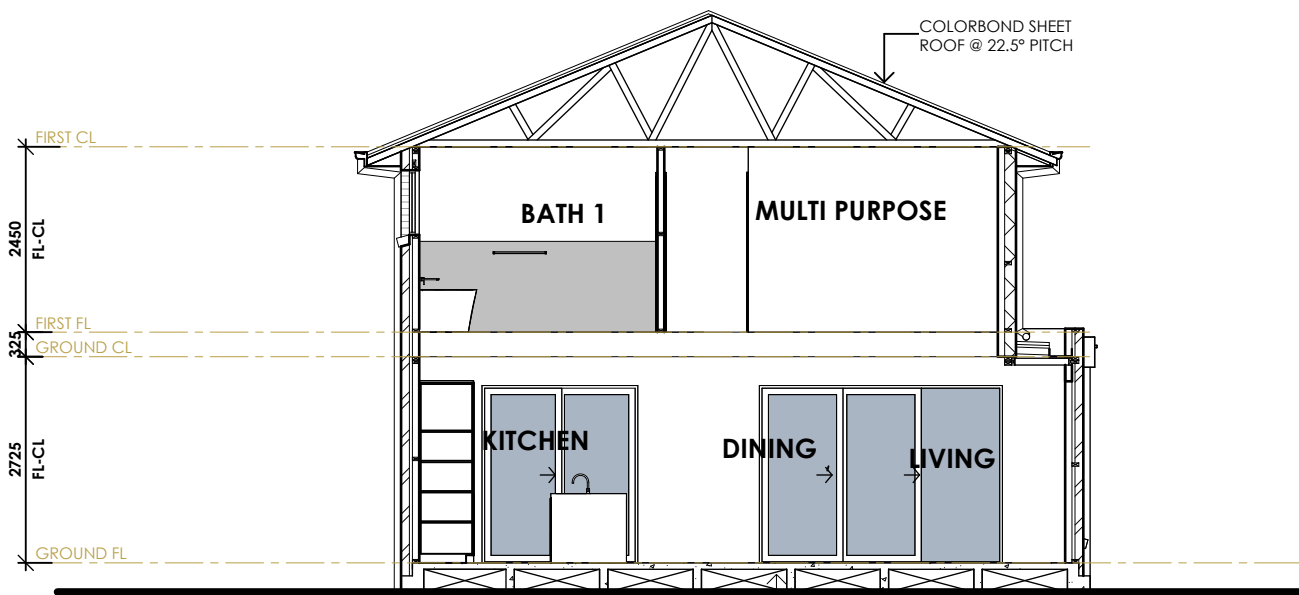
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drawing: **ROOF PLAN**

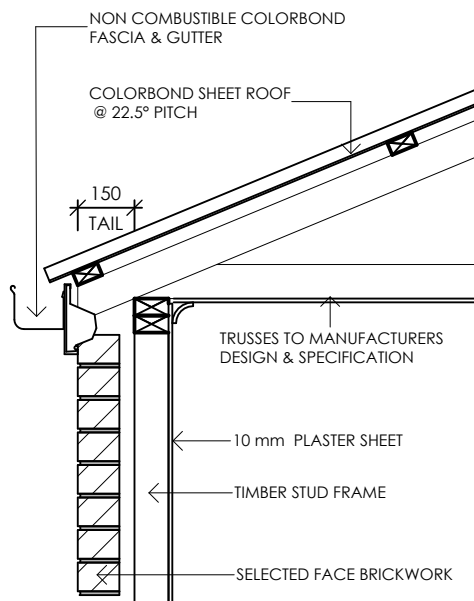
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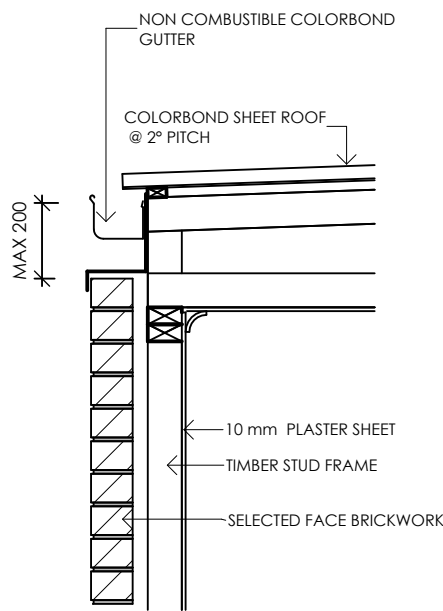


**SECTION X-X**  
1 : 100



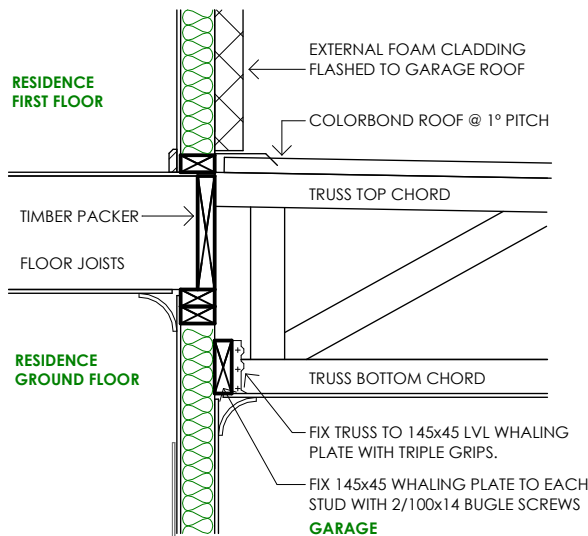
**FASCIA GUTTER**

SCALE 1:20



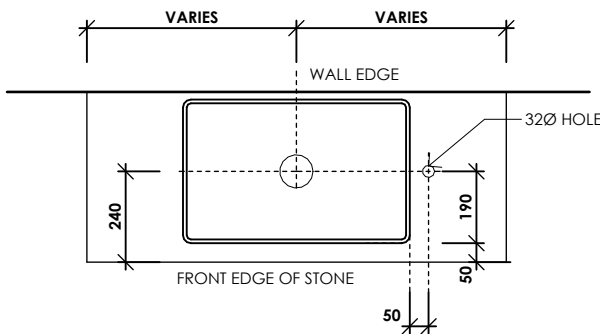
**GUTTER ON BRICK**

SCALE 1:20



**GARAGE TRUSS FIXING DETAIL**

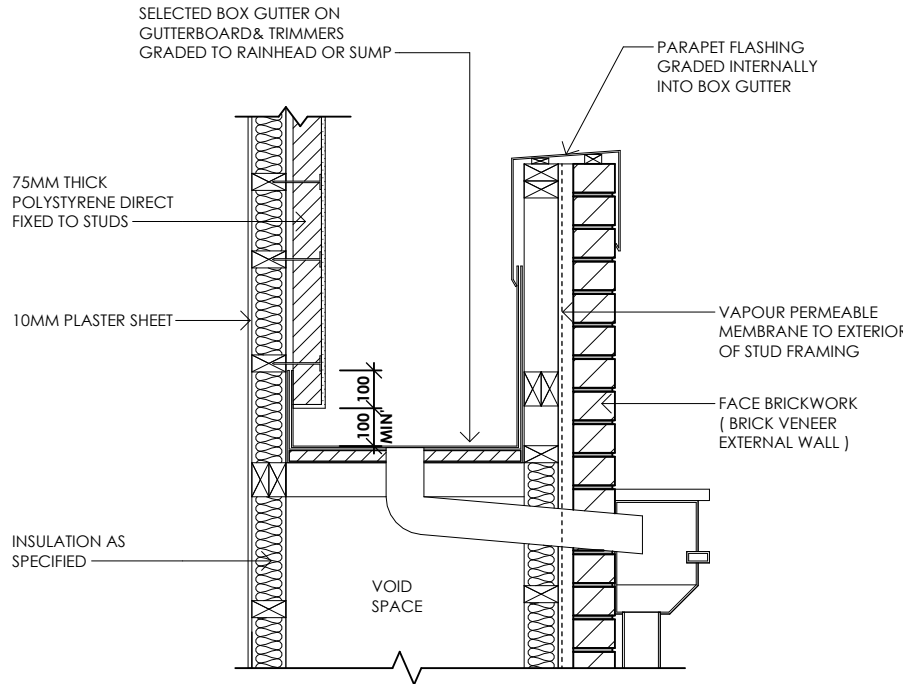
SCALE 1:20



**BASIN CUTOUT DETAIL**

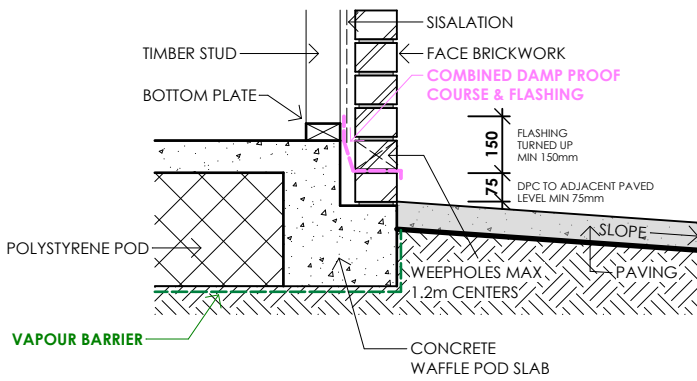
TYPICAL VANITY BASIN STONE CUTS  
ROCA THE GAP - COUNTER TOP BASIN

SCALE 1:20



**BOX GUTTER CLADDING  
TRANSITION DETAIL**

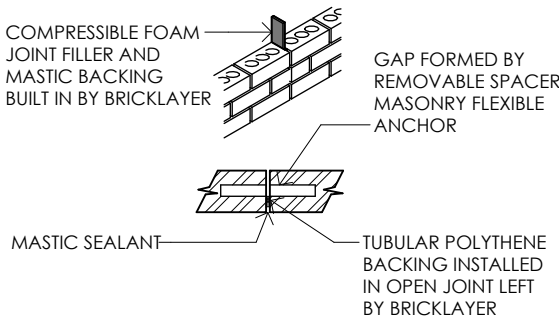
SCALE 1:20



**DAMP PROOF COURSE DETAIL**

NOTE: FINISHED PAVING MUST BE 75mm BELOW DAMP PROOF COURSE

SCALE 1:20



**TYP. ARTICULATION JOINT**

SCALE 1:20

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HOMES



Figure 6.2e: Minimum extent of sheeting for wall adjacent to a toilet pan

Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

NOTE: ONLY APPLICABLE IF DISTANCE BETWEEN CENTERLINE OF TOILET PAN AND FINISHED ADJOINING WALL IS EQUAL TO OR LESS THAN 460MM

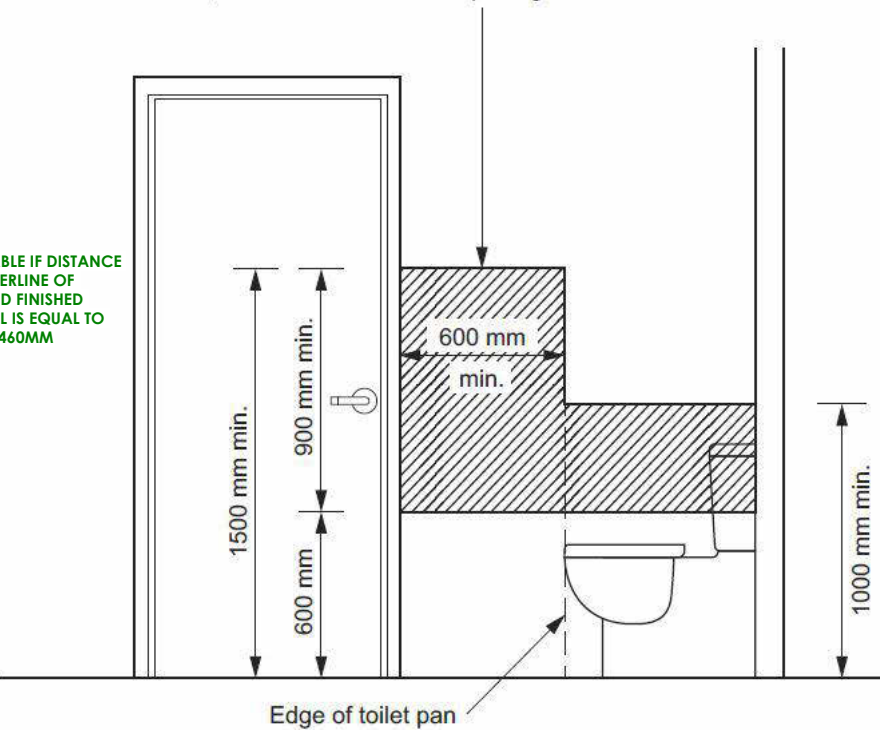


Figure 6.2a: Location of noggings for walls surrounding a bath

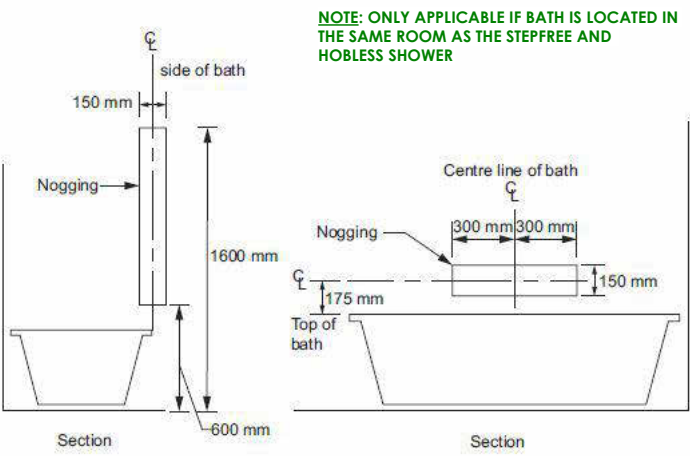


Figure 6.2f: Location of noggings for a wall behind a toilet pan

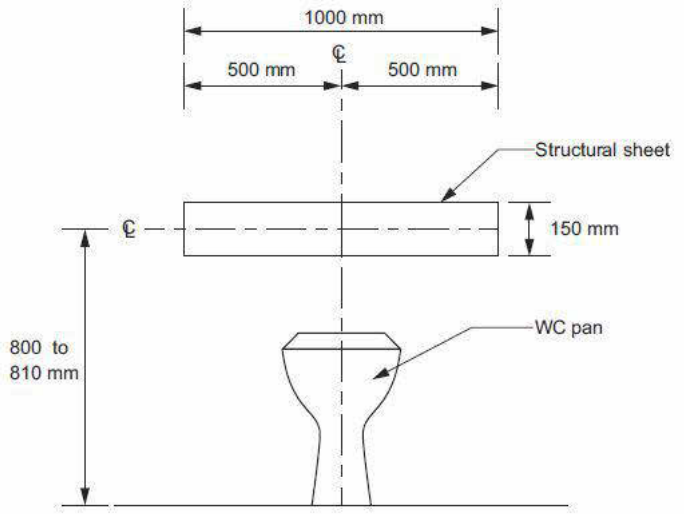


Figure 10.2.17 Typical hobless construction

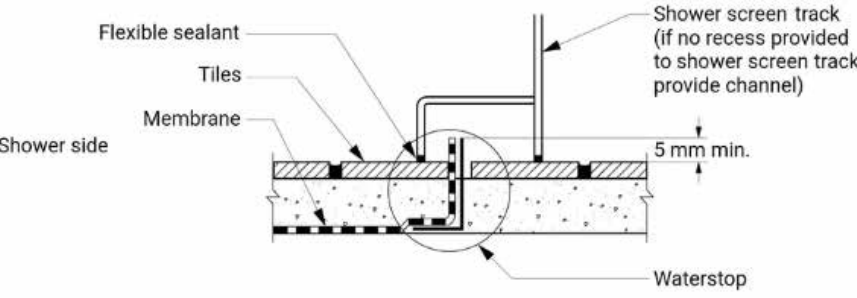
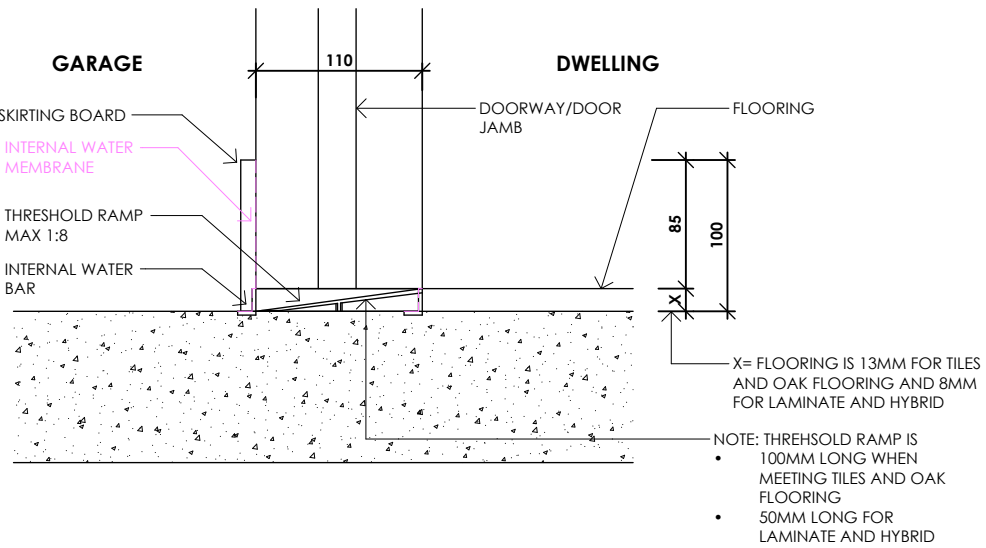
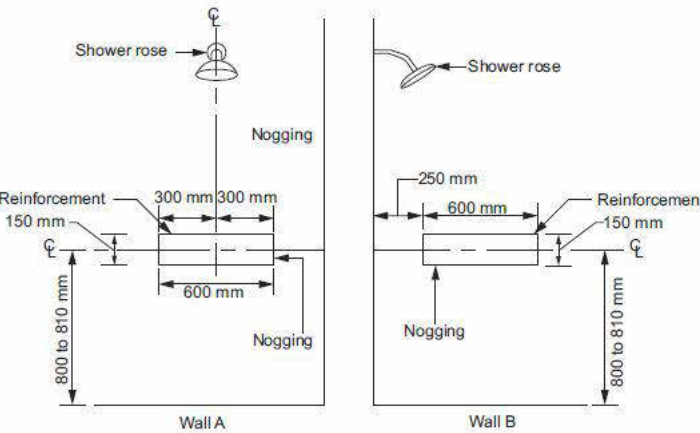
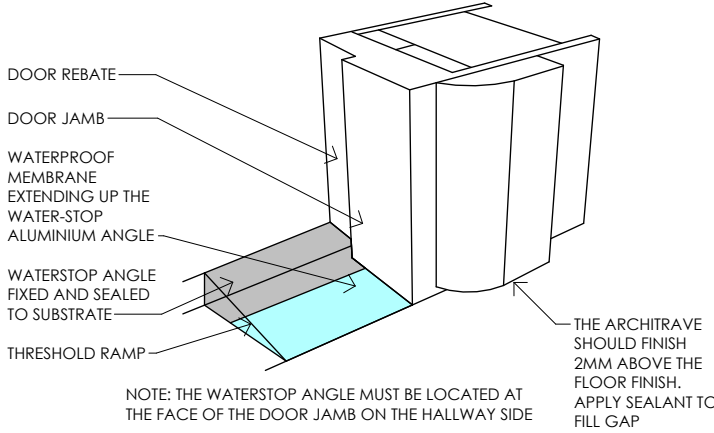


Figure 6.2c: Location of noggings for shower walls



THRESHOLD RAMP1



DOOR OPENING WATERPROOFING1

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**NOTE:FLOW RATE AND DISCHARGE**

- VENTAIR HF250 - 378M³H OR 100 L/S. (USED FOR BATHROOM AND ENSUITES)
- VENTAIR HF200 -175M³H OR 48 L/S.(USED FOR POWDER ROOMS )
- THE RANGEHOOD EXHAUST - SMEG PUM910X. - 700 M³H OR 194 L/S

**NOTE:**

EXHAUST FANS & RANGEHOOD TO GROUND FLOOR EXTERNALLY VENTED VIA WALL VENTS WITH DUCTS RUNNING THROUGH FLOOR JOISTS

**HEATING/COOLING VENTS:**

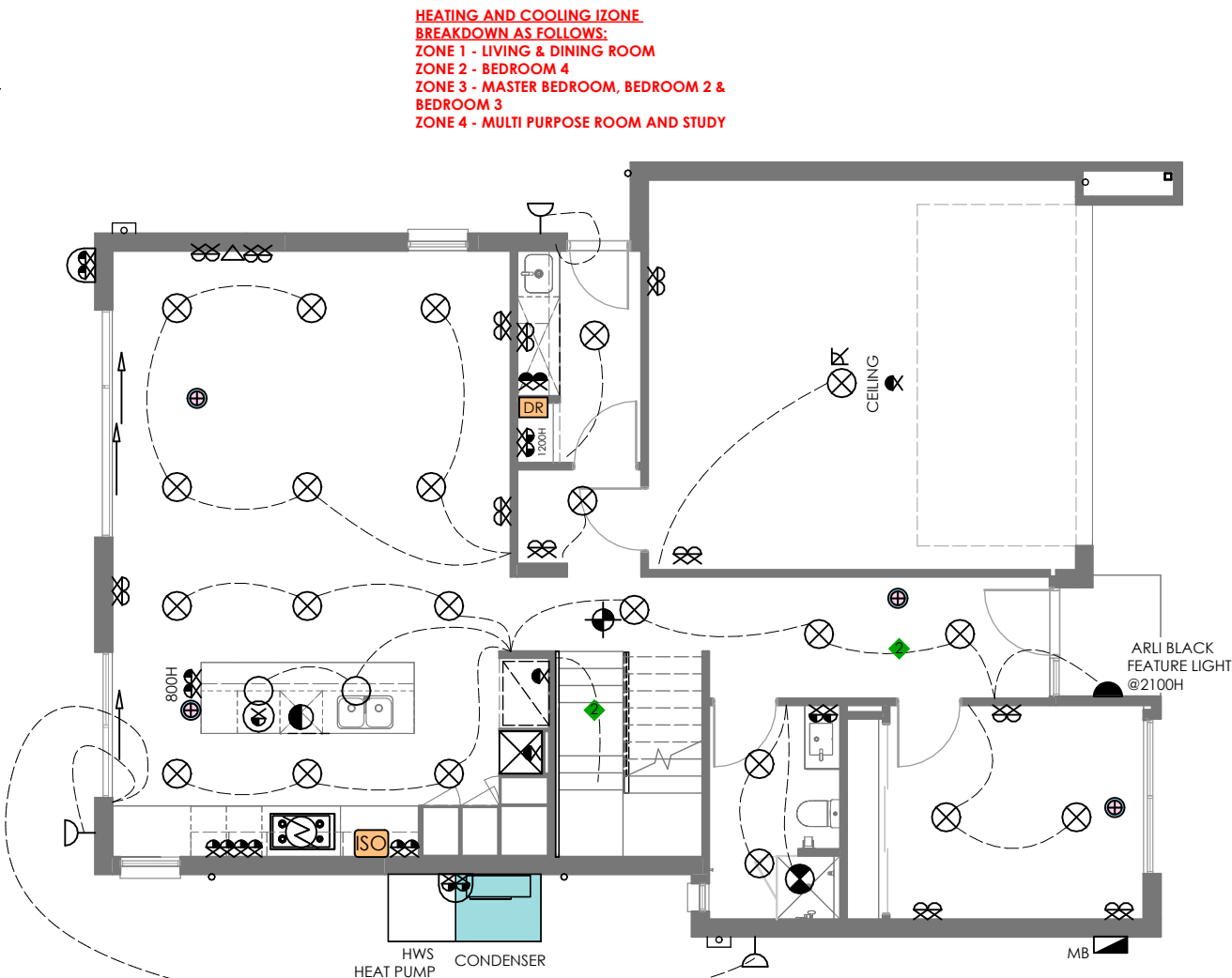
THE LOCATION OF THE HEATER / COOLER AND VENT LOCATION IS UP TO THE DISCRETION OF THE INSTALLER AND MAY VARY PENDING TRUSS LOCATION

**IMPORTANT NOTE:**

ALL ELECTRICAL ITEMS ARE IN APPROXIMATE LOCATIONS ONLY AND MAY BE VARIED TO SUIT TRUSS LAYOUT AND FRAME LOCATIONS

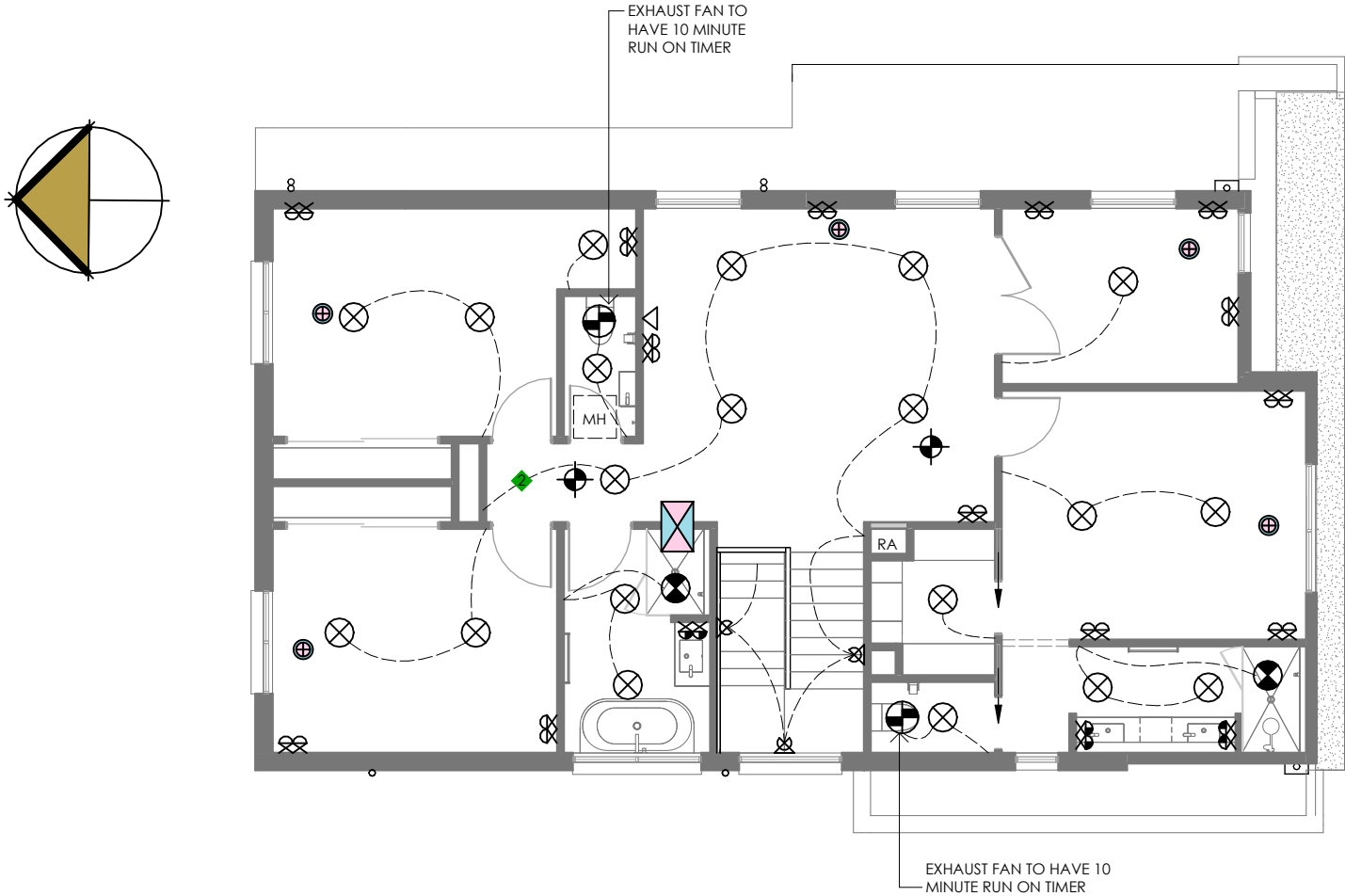
ARTIFICIAL LIGHTING TABLE			
FLOOR AREA	225.67 m²	WATTAGE ALLOWED	1128 w
POR./OUT AREA	2.56 m²	WATTAGE ALLOWED	10 w
GARAGE AREA	37.99 m²	WATTAGE ALLOWED	114 w
<b>TOTAL AREA</b>	<b>266.22 m²</b>	<b>ALLOWABLE WATTS</b>	<b>1252 w</b>
<b>HOUSE 5 W/m²</b>		<b>NO. OF GLOBES USED</b>	<b>TOTAL WATTS</b>
LED GLOBES	15 w	2	30 w
LED DOWNLIGHTS	9 w	41	369 w
LED TUBES	10 w	0	0 w
		<b>HOUSE TOTAL</b>	<b>399 w</b>
<b>POR./OUT 4 W/m²</b>			
LED GLOBES	9 w	1	9 w
LED DOWNLIGHTS	9 w	0	0 w
LED TUBES	10 w	0	0 w
		<b>PORCH TOTAL</b>	<b>9 w</b>
<b>GARAGE 3 W/m²</b>			
LED GLOBES	15 w	0	0 w
LED DOWNLIGHTS	9 w	1	9 w
LED TUBES	10 w	0	0 w
		<b>GARAGE TOTAL</b>	<b>9 w</b>

LIGHTING LEGEND	
	CEILING BATTEN HOLDER
	SUSPENDED PENDANT (INSTALL ONLY/OWNER SUPPLY)
	90mm DOWNLIGHT
	ROUND STAIR LIGHT WITH WARM WHITE GLOBE
	BLACK ARLI FEATURE LIGHT @ 2400H
	HEATER/LIGHT LAMP- 2 GLOBE VENTAIR MYKA
	HEATER/LIGHT LAMP- 4 GLOBE VENTAIR MYKA
	JUNCTION BOX FOR FUTURE LIGHTING
	CEILING FAN
	OUTDOOR SINGLE BLACK LED FLOODLIGHT 2400H
	OUTDOOR DBL BLACK LED FLOODLIGHT 2400H
	1200 SINGLE DIFFUSED FLUORESCENT BATTEN LIGHT
	WALL DOWNLIGHT
	MOTION SENSOR
	CEILING EXHAUST FAN
	CEILING EXHAUST FAN SWITCHED WITH LIGHT
	2 & 3 WAY SWITCHING
	DIMMER SWITCH
HEAT/COOL LEGEND	
	CEILING HEATING DUCT (APPROX)
	DUCTED HEATING UNIT IN CEILING
	CEILING HEAT/COOL DUCT
	REV CYCLE DUCTED HEAT/COOL UNIT
	THERMOSTAT
	RETURN AIR
	EVAPORATIVE COOLING DUCT
	EVAPORATIVE COOLING UNIT
POWER LEGEND	
	SINGLE GPO - 300mm
	SINGLE GPO - 1050mm
	SINGLE GPO - 1300mm
	SINGLE GPO - EXTERNAL
	SINGLE GPO - FOR DISHWASHER
	SINGLE GPO - FOR MICROWAVE
	DOUBLE GPO - 300mm
	DOUBLE GPO - 1050mm
	DOUBLE GPO - 1300mm
	DOUBLE GPO - EXTERNAL
	TELEVISION POINT
	METER BOX
	SMOKE DETECTORS (INTERCONNECTED)
	UBO/COOKTOP & RHOD CONNECTIONS
	DATA POINT @ 300H
	DATA RETURN WITH DGPO @ 1050H
	SOLAR PV INVERTER
	NBN BOX
	HDMI POINT A
	HDMI POINT B
HOME ALARM LEGEND	
	ALARM PANEL
	KEYPAD
	PIR DETECTOR
	CAMERA RETURN
	EXTERNAL CAMERA
	VIDEO SCREEN



CITY OF MARIBYRNONG  
ADVERTISED PLAN

HEATING AND COOLING IZONE  
BREAKDOWN AS FOLLOWS:  
ZONE 1 - LIVING & DINING ROOM  
ZONE 2 - BEDROOM 4  
ZONE 3 - MASTER BEDROOM, BEDROOM 2 &  
BEDROOM 3  
ZONE 4 - MULTI PURPOSE ROOM AND STUDY



**NOTE:FLOW RATE AND DISCHARGE**

- VENTAIR HF250 - 378M³H OR 100 L/S. (USED FOR BATHROOM AND ENSUITES)
- VENTAIR HF200 -175M³H OR 48 L/S.(USED FOR POWDER ROOMS )
- THE RANGEHOOD EXHAUST - SMEG PUM910X. - 700 M³H OR 194 L/S

**NOTE:**  
EXHAUST FANS & RANGEHOOD TO GROUND FLOOR EXTERNALLY VENTED VIA WALL VENTS WITH DUCTS RUNNING THROUGH FLOOR JOISTS

**HEATING/COOLING VENTS:**  
THE LOCATION OF THE HEATER / COOLER AND VENT LOCATION IS UP TO THE DISCRETION OF THE INSTALLER AND MAY VARY PENDING TRUSS LOCATION

**LIGHTING LEGEND**

- CEILING BATTEN HOLDER
- SUSPENDED PENDANT (INSTALL ONLY/OWNER SUPPLY )
- ⊗ 90mm DOWNLIGHT
- ⊗ ROUND STAIR LIGHT WITH WARM WHITE GLOBE
- ⊗ BLACK ARLI FEATURE LIGHT @ 2400H
- ⊗ HEATER/LIGHT LAMP- 2 GLOBE VENTAIR MYKA
- ⊗ HEATER/LIGHT LAMP- 4 GLOBE VENTAIR MYKA
- ⊗ JUNCTION BOX FOR FUTURE LIGHTING
- ⊗ CEILING FAN
- ⊗ OUTDOOR SINGLE BLACK LED FLOODLIGHT 2400H
- ⊗ OUTDOOR DBL BLACK LED FLOODLIGHT 2400H

- 1200 SINGLE DIFFUSED FLUORESCENT BATTEN LIGHT
- WALL DOWNLIGHT
- ⊗ MOTION SENSOR
- ⊗ CEILING EXHAUST FAN
- ⊗ CEILING EXHAUST FAN SWITCHED WITH LIGHT
- ◆ 2 & 3 WAY SWITCHING
- ◆ DIMMER SWITCH

**HEAT/COOL LEGEND**

- ⊕ CEILING HEATING DUCT (APPROX)
- ⊗ DUCTED HEATING UNIT IN CEILING
- ⊕ CEILING HEAT/COOL DUCT
- ⊗ REV CYCLE DUCTED HEAT/COOL UNIT
- ⊗ THERMOSTAT
- RA RETURN AIR
- E EVAPORATIVE COOLING DUCT
- ⊗ EVAPORATIVE COOLING UNIT

**POWER LEGEND**

- ⊗ SINGLE GPO - 300mm
- ⊗ SINGLE GPO - 1050mm
- ⊗ SINGLE GPO - 1300mm
- ⊗ SINGLE GPO - EXTERNAL
- ⊗ SINGLE GPO - FOR DISHWASHER
- ⊗ SINGLE GPO - FOR MICROWAVE
- ⊗ DOUBLE GPO - 300mm
- ⊗ DOUBLE GPO - 1050mm
- ⊗ DOUBLE GPO - 1300mm
- ⊗ DOUBLE GPO - EXTERNAL
- ▽ TELEVISION POINT
- ⊗ METER BOX
- ⊗ SMOKE DETECTORS (INTERCONNECTED)
- ⊗ UBO/COOKTOP & RHOD CONNECTIONS
- D DATA POINT @ 300H
- DR DATA RETURN WITH DGPO @ 1050H
- INV SOLAR PV INVERTER
- NBN NBN BOX
- HDMI HDMI POINT A
- HDMI HDMI POINT B

**HOME ALARM LEGEND**

- P ALARM PANEL
- K KEYPAD
- PIR PIR DETECTOR
- CR CAMERA RETURN
- CAM EXTERNAL CAMERA
- VS VIDEO SCREEN

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HOMES

proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT  
YARRAVILLE, 3013**

drawing: **FIRST ELECTRICAL PLAN**

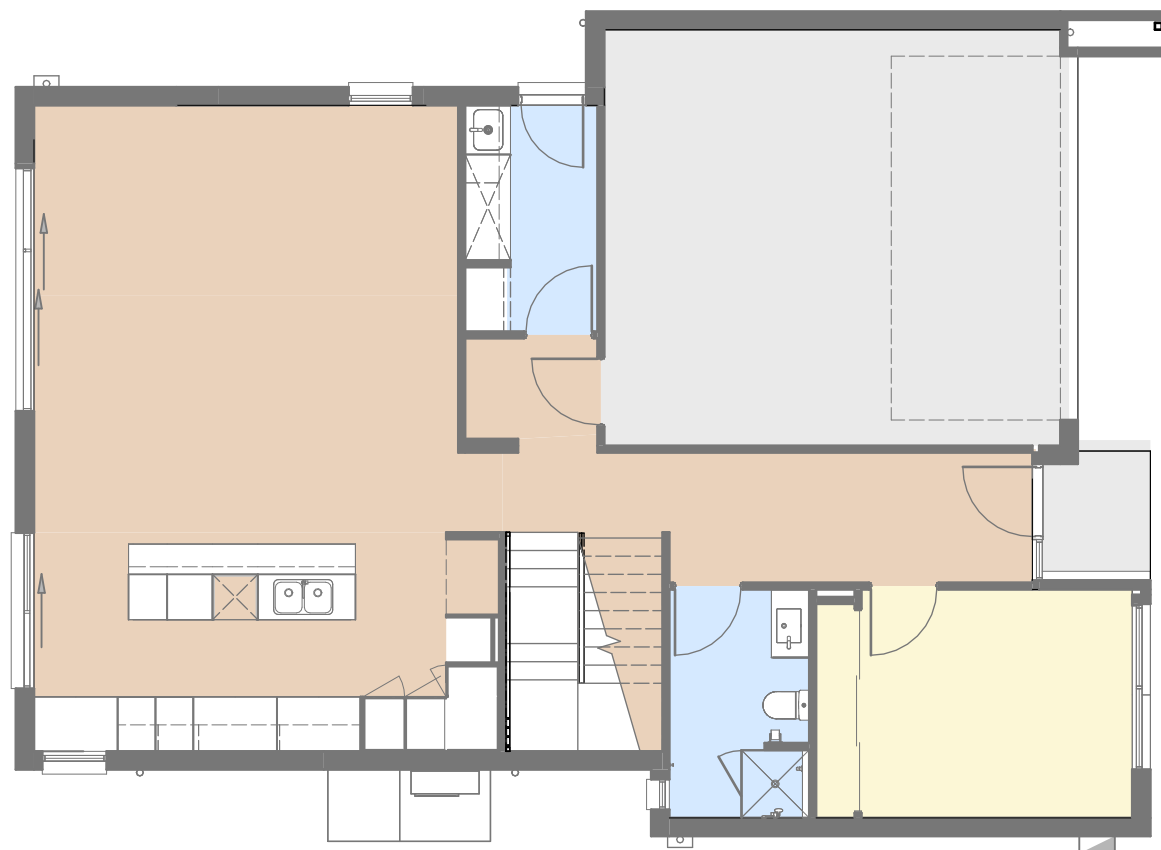
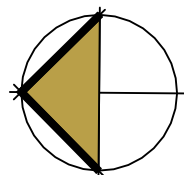
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drawn: **RF** date: **16/04/25** scale: **1 : 100**





sheet: **11** of **23** issue: **K** date: **31/10/25**

job no.: **100462**





CARPET	98.87 m <sup>2</sup>
TILES	26.41 m <sup>2</sup>
TIMBER	68.64 m <sup>2</sup>

-  **CARPET**
-  **NONE**
-  **TILES**
-  **TIMBER**  
(ENGINEERED OAK)

CITY OF MARIBYRNONG  
ADVERTISED PLAN

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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT**

drawing: **GROUND FLOOR COVERINGS** **YARRAVILLE, 3013**

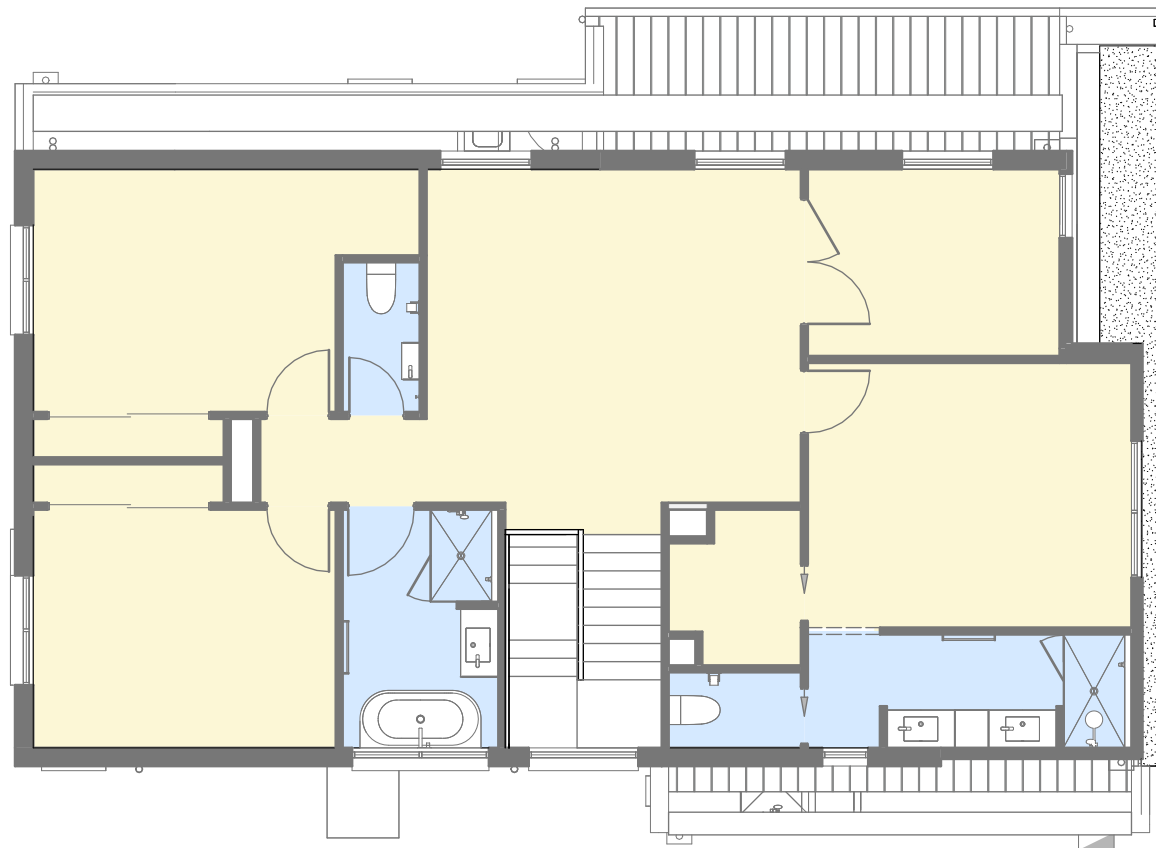
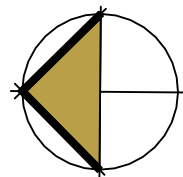
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drawn: **RF** date: **16/04/25** scale: **1 : 100**

sheet: **12** of **23** issue: **K** date: **31/10/25**

job no. : **100462**

**arli.**  
HOMES



CARPET	98.87 m <sup>2</sup>
TILES	26.41 m <sup>2</sup>
TIMBER	68.64 m <sup>2</sup>

CARPET
NONE
TILES
TIMBER

CITY OF MARIBYRNONG  
ADVERTISED PLAN

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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT  
YARRAVILLE, 3013**

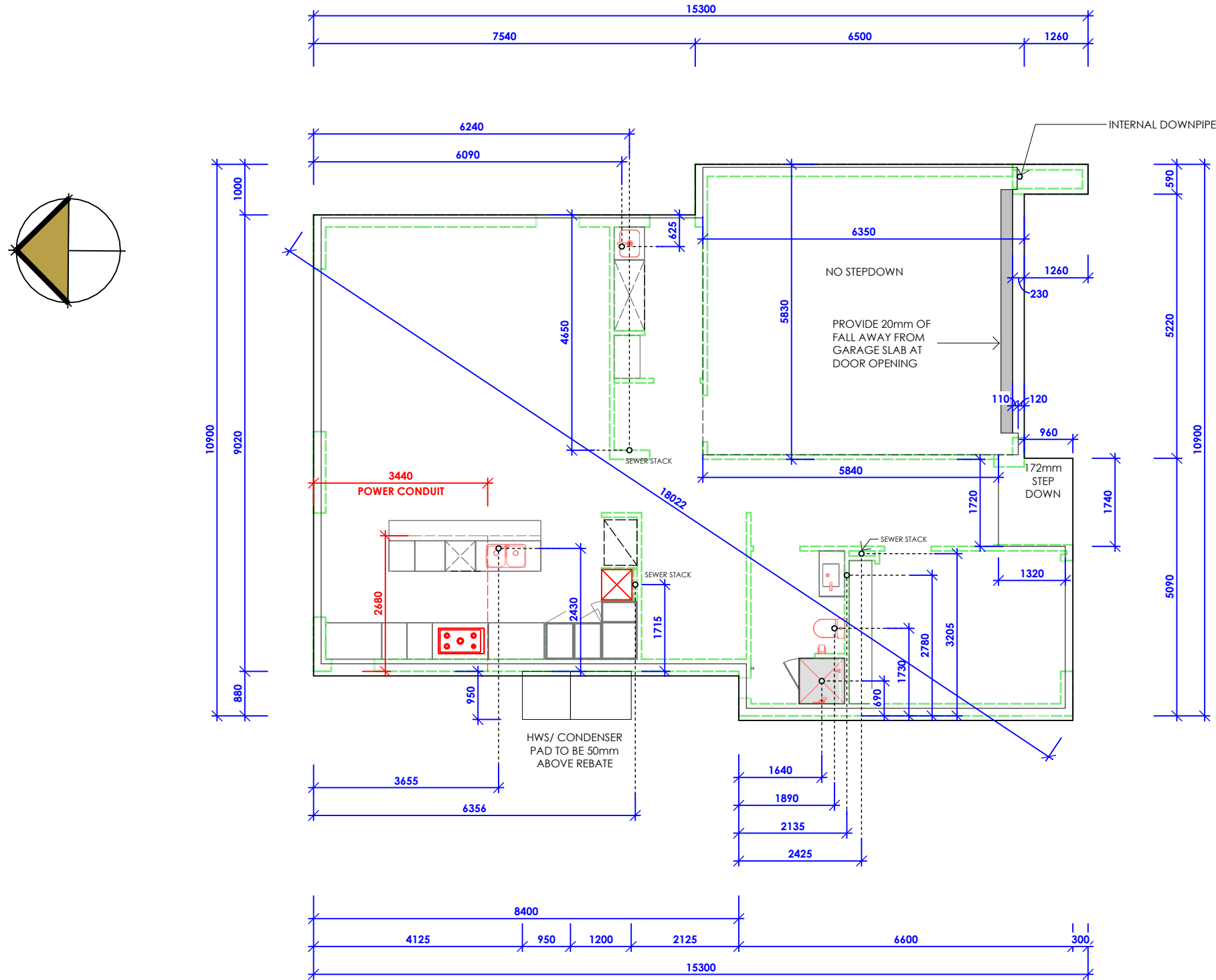
drawing: **FIRST FLOOR COVERINGS**

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drawn: **RF** date: **16/04/25** scale: **1 : 100**

sheet: **13** of **23** issue: **K** date: **31/10/25**

job no. : **100462**



	HATCH DENOTES STEP DOWN TO SLAB FOR INSITU TILED SHOWERBASES WHERE ADOPTED
TR	TROUGH
VB	VANITY BASIN
WC	WATER CLOSET
SHR	SHOWER
EC	ELECTRICAL CONDUIT
PC	PLUMBING CONDUIT
PW	PLUMBING WASTE

CITY OF MARIBYRNONG  
ADVERTISED PLAN

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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT  
YARRAVILLE, 3013**

drawing: **SETOUT PLAN**

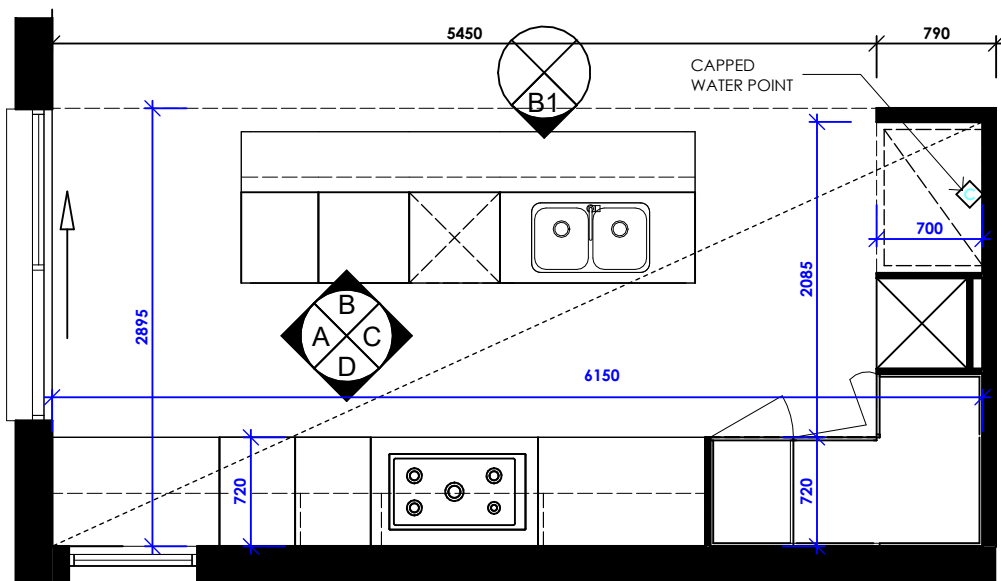
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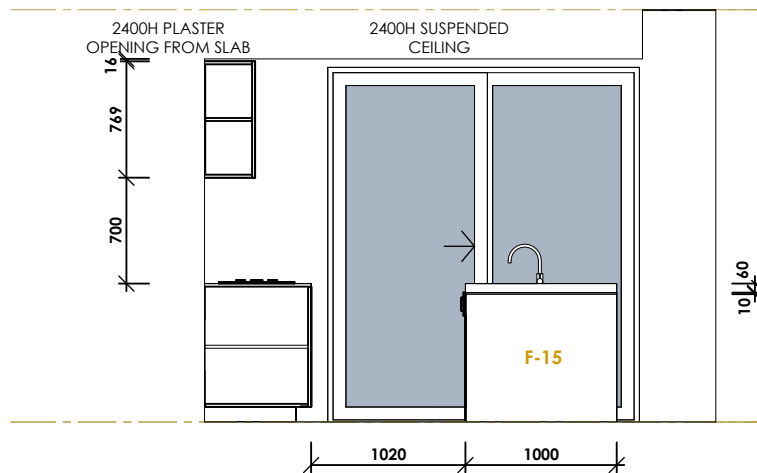
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job no.: **100462**

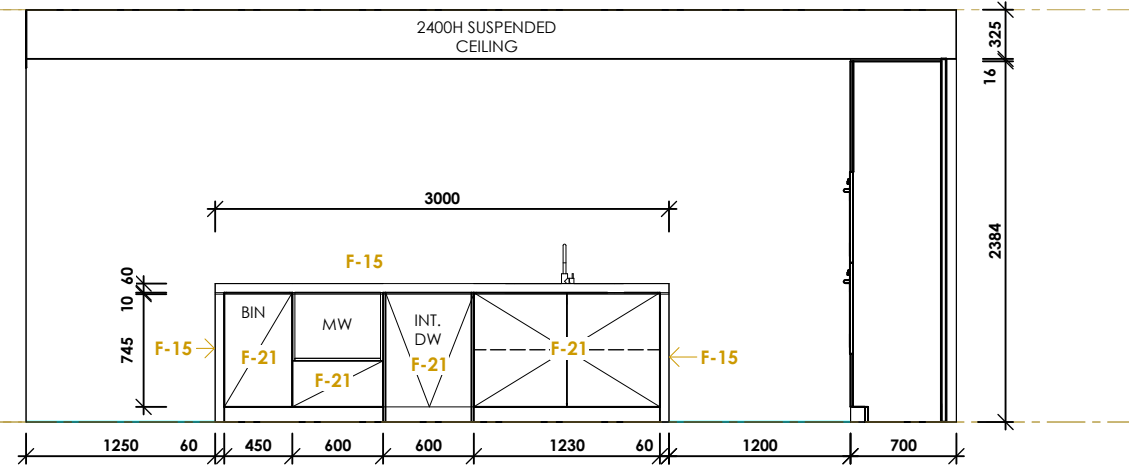




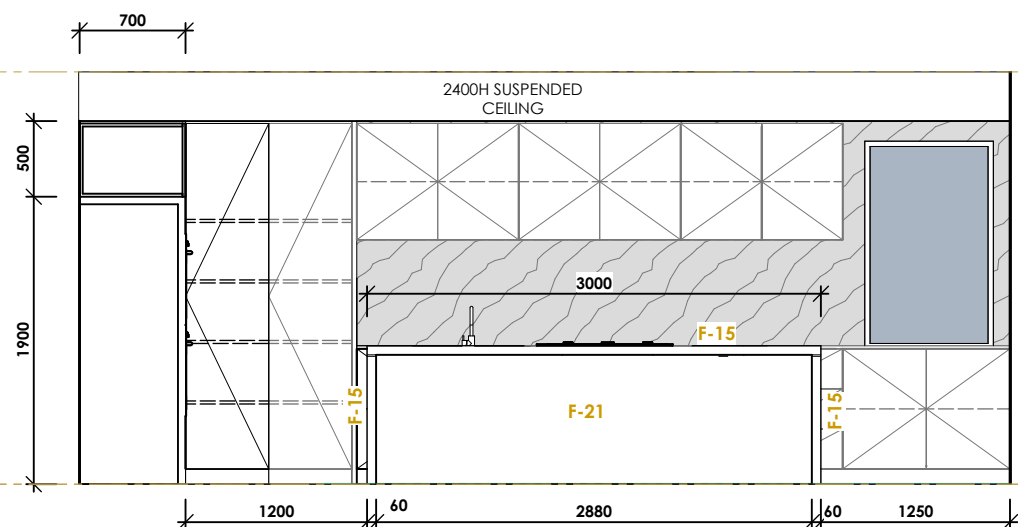
KITCHEN



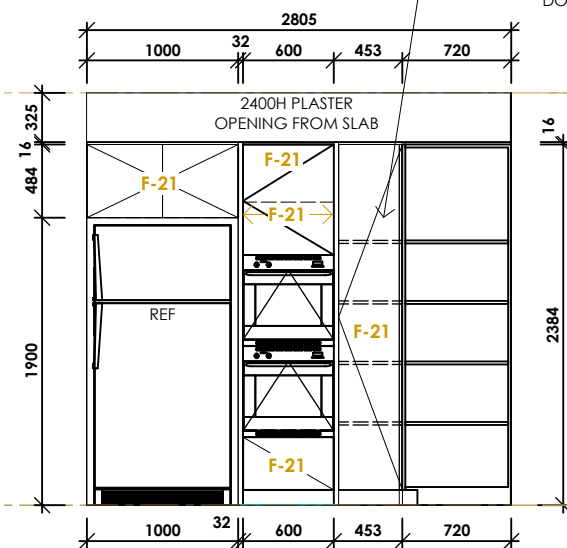
KITCHEN A



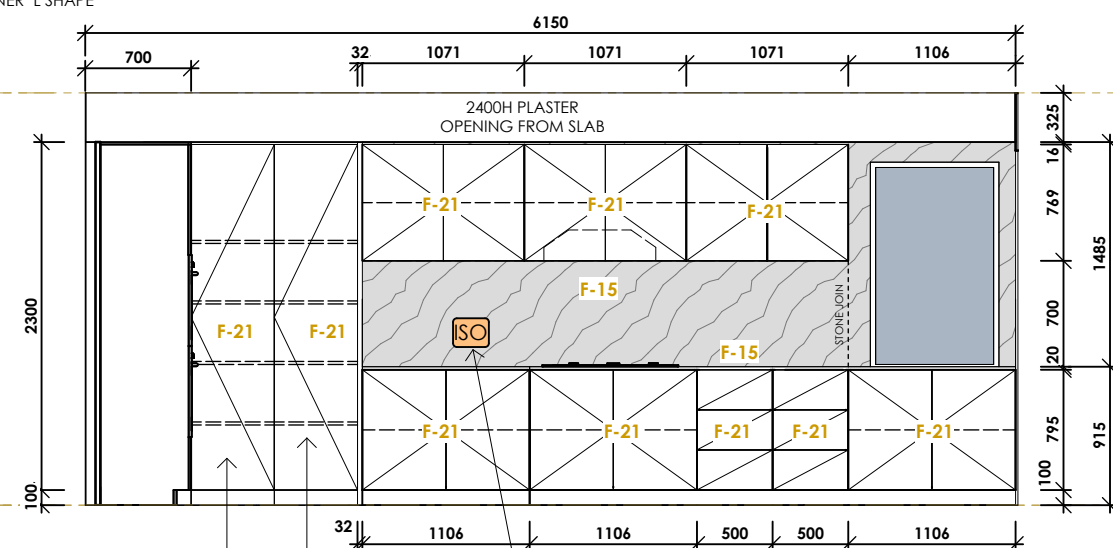
KITCHEN B



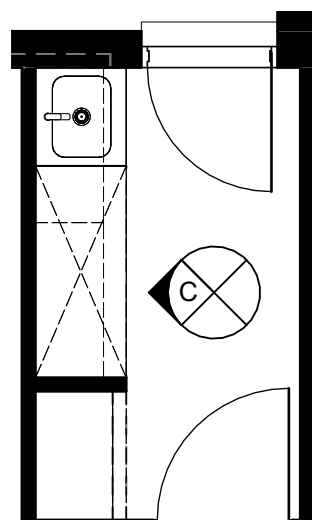
KITCHEN B1



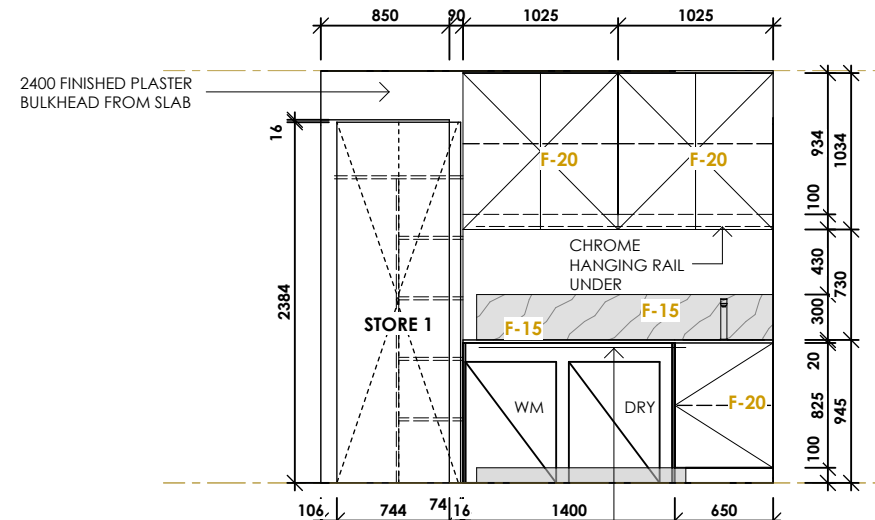
KITCHEN C



KITCHEN D

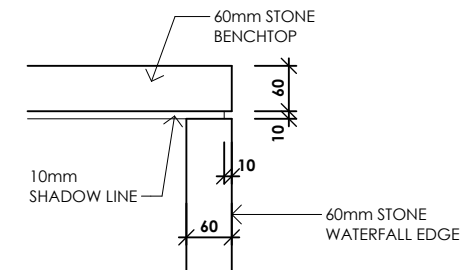
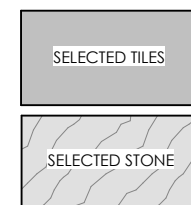


LAUNDRY



LAUNDRY C

## INTERNAL FINISHES



## SHADOW LINE DETAIL

KITCHEN ISLAND BENCH

SCALE 1:50

CITY OF MARIBYRNONG  
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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT YARRAVILLE, 3013**

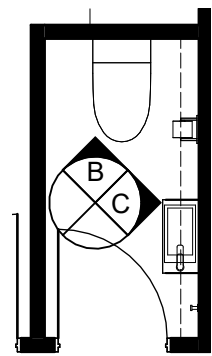
drawing: **INTERIALS 1**

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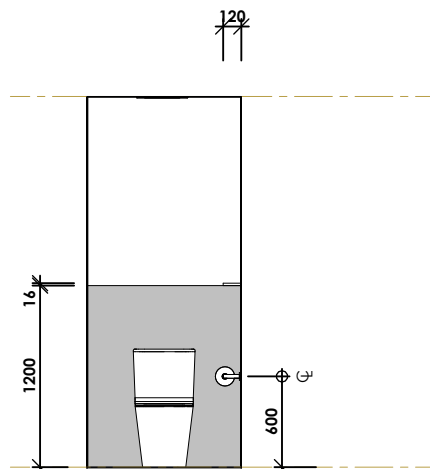
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sheet: **15** of **23** issue: **K** date: **31/10/25**

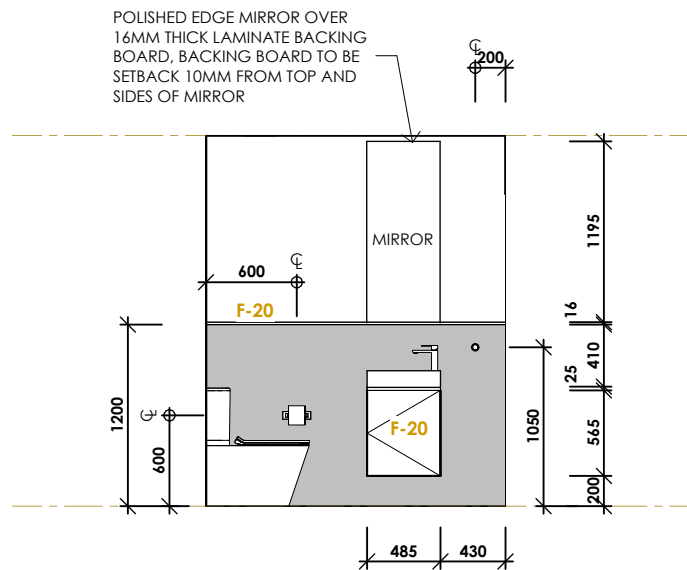
job no.: **100462**



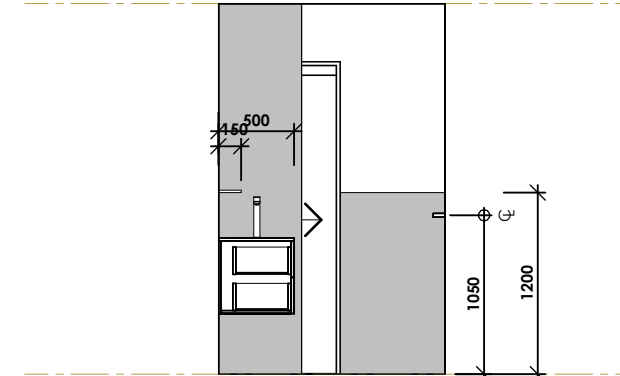
PDR 2



PDR 2 B

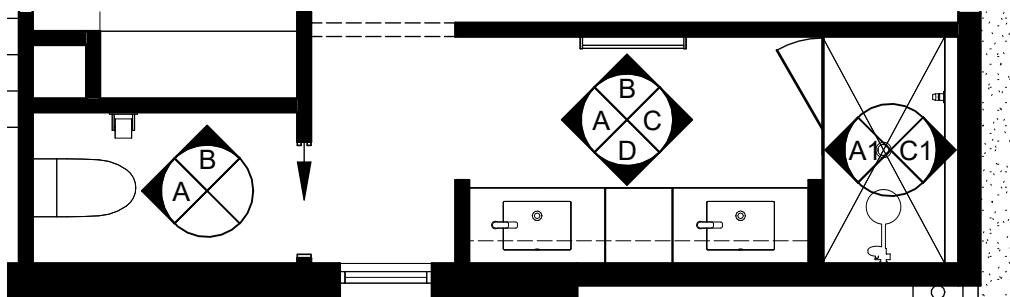
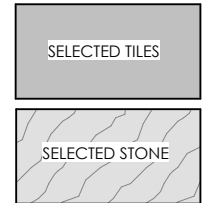


PDR 2 C

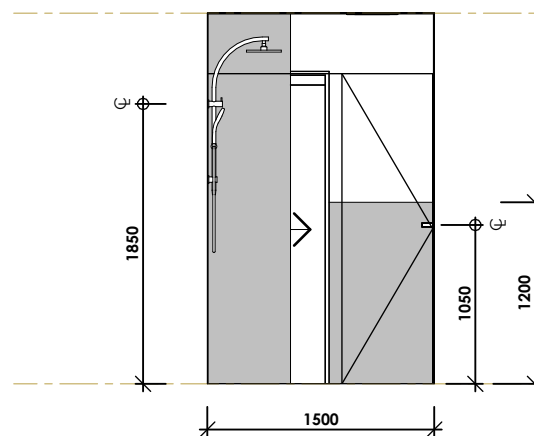


ENS 1 A

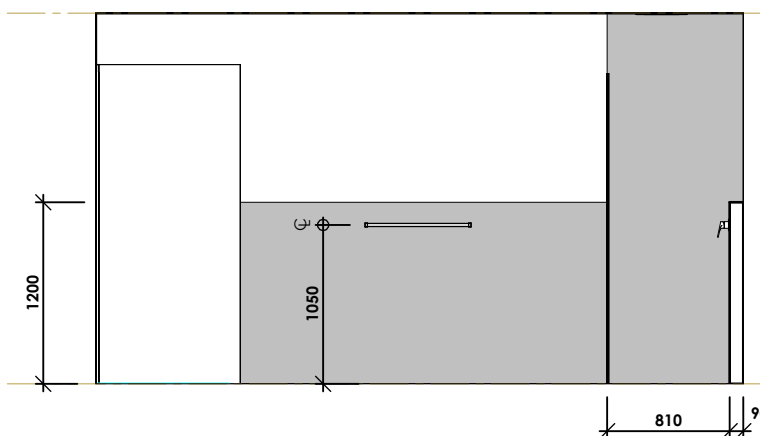
## INTERNAL FINISHES



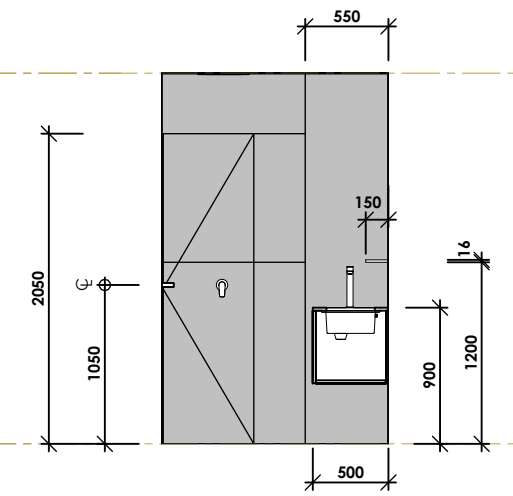
ENSUITE 1 & WC



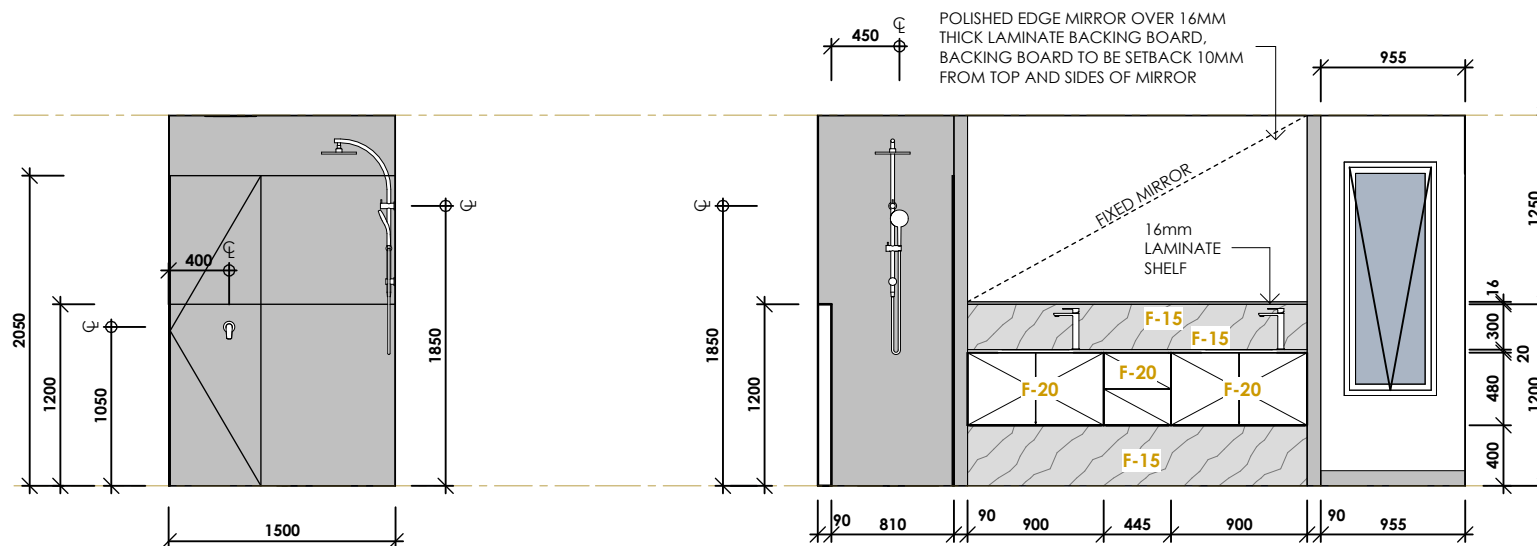
ENS 1 A1



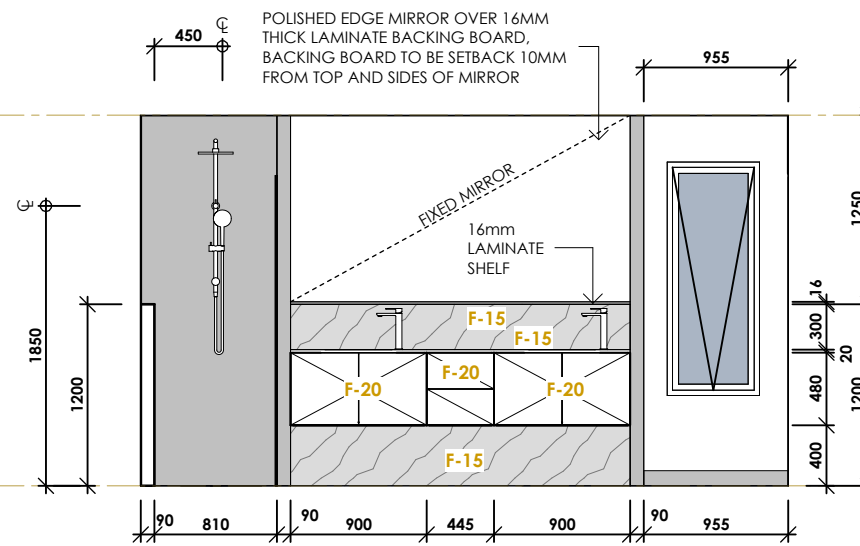
ENS 1 B



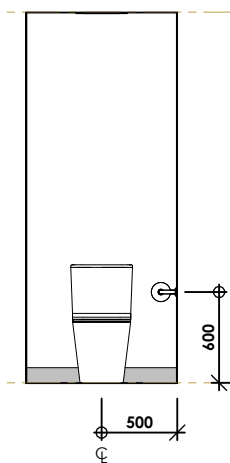
ENS 1 C



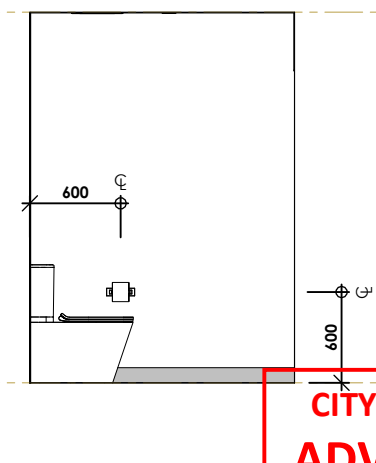
ENS 1 C1



ENS 1 D



WC A



WC B

CITY OF MARIBYRNONG  
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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARENGOWER STREET, EMRE 27 BASALT YARRAVILLE, 3013**

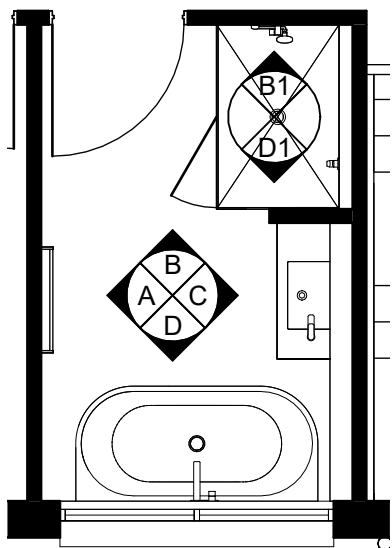
drawing: **INTERIALS 2**

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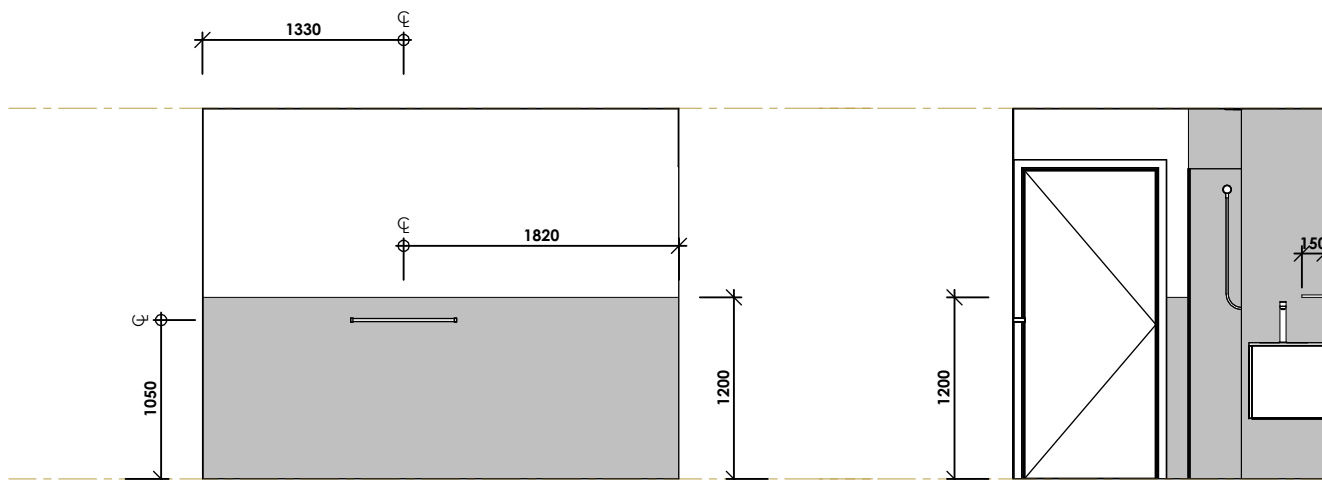
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sheet: **16** of **23** issue: **K** date: **31/10/25**

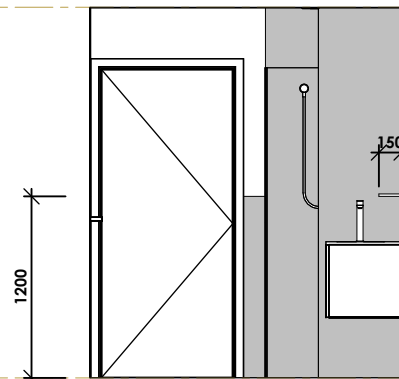
job no.: **100462**



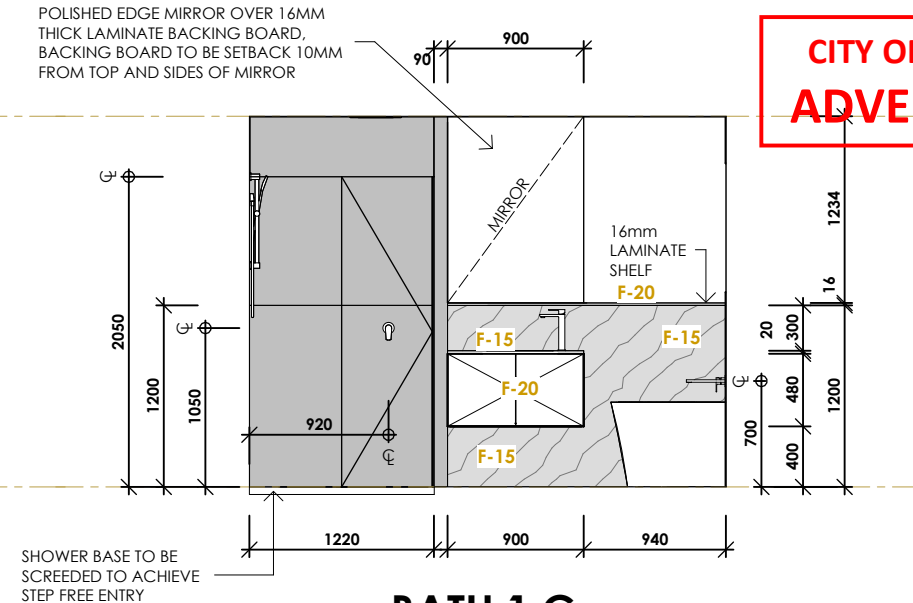
**BATH 1**



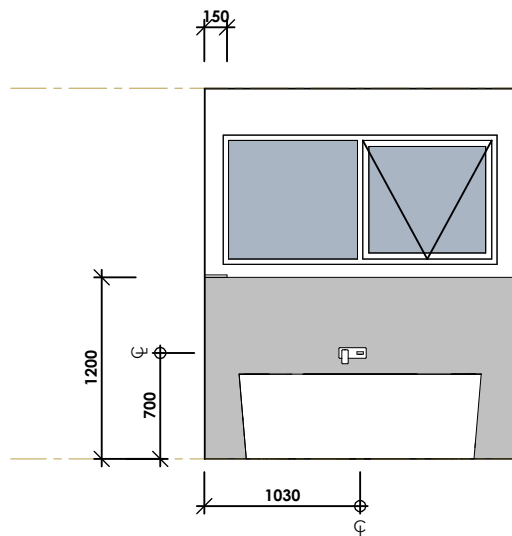
**BATH 1 A**



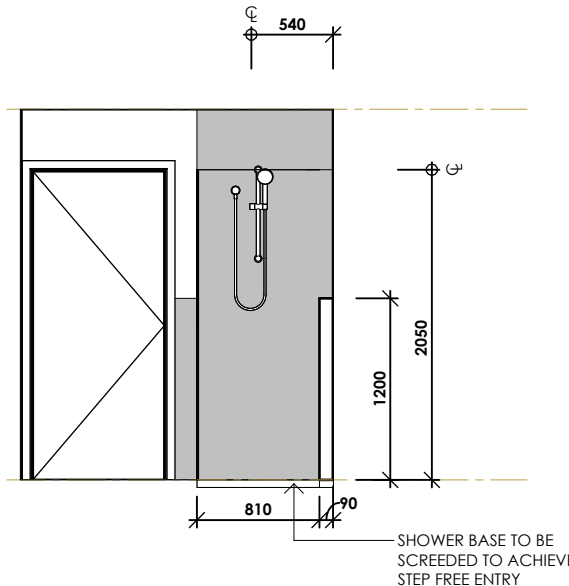
**BATH 1 B**



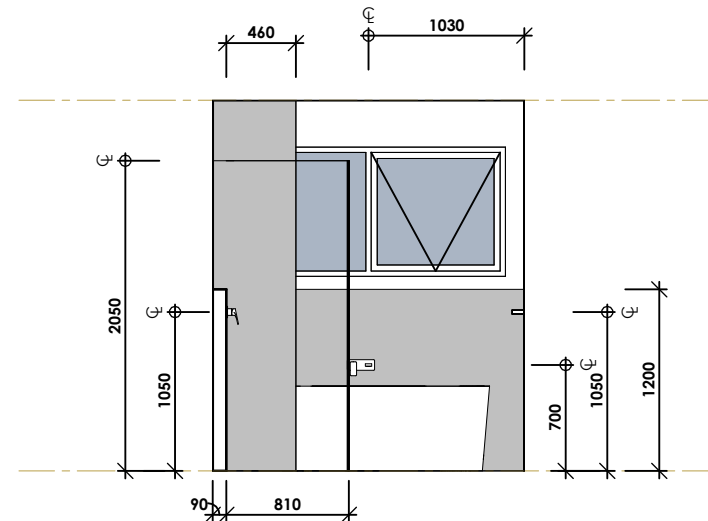
**BATH 1 C**



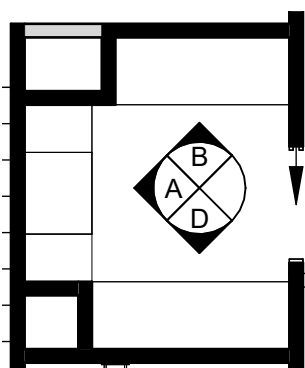
**BATH 1 D**



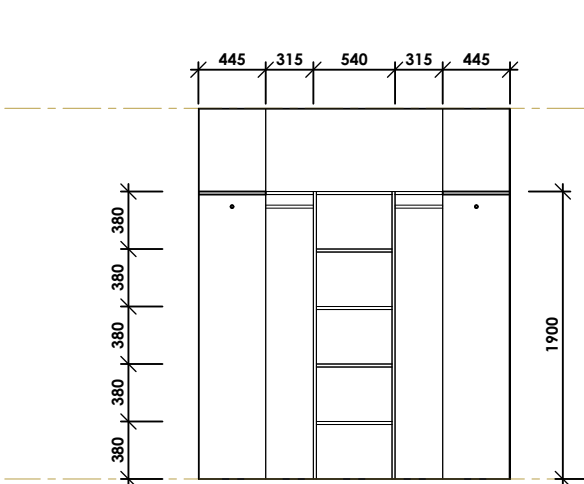
**BATH 1 B1**



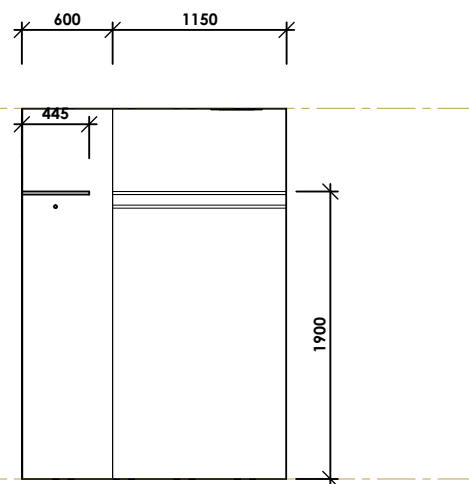
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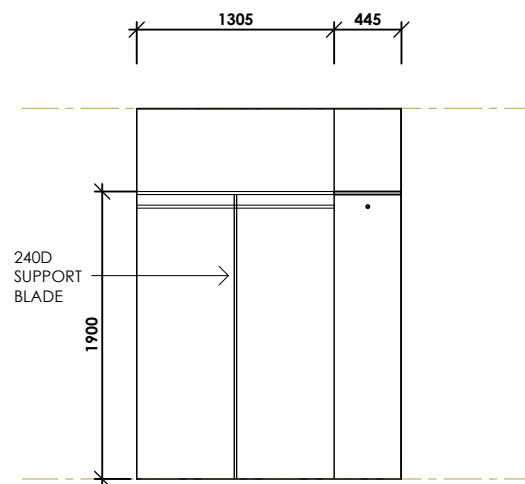
**WIR 1**



**WIR 1 A** TYPE B

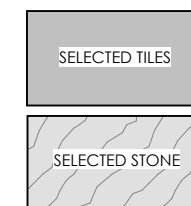


**WIR 1 B** TYPE A



**WIR 1 D** TYPE A

**INTERNAL FINISHES**



NOTE: VERTICAL SUPPORT TO ALL DOUBLE HANGING RAILS WHERE SPANS EXCEED 1300MM AND TO ALL SINGLE HANGING RAILS WHERE SPANS EXCEED 1200MM AND EVERY 1200MM AFTER

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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT YARRAVILLE, 3013**

drawing: **INTERALS 3**

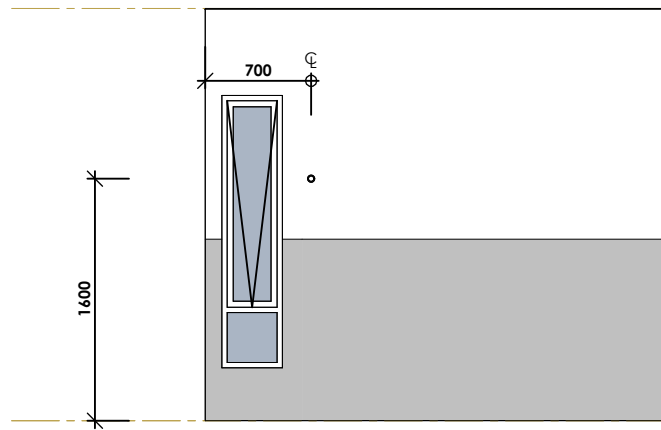
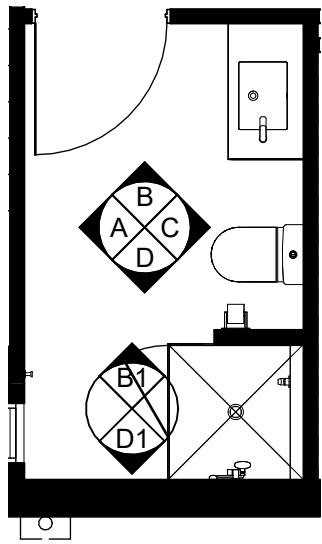
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drawn: **RF** date: **16/04/25** scale: **1 : 50**

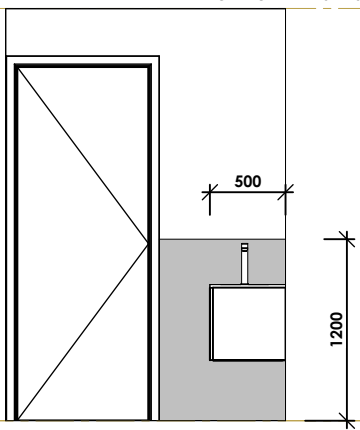
sheet: **17** of **23** issue: **K** date: **31/10/25**

job no.: **100462**

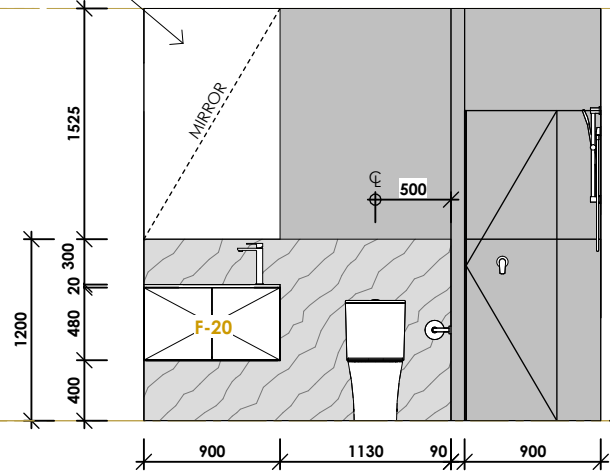




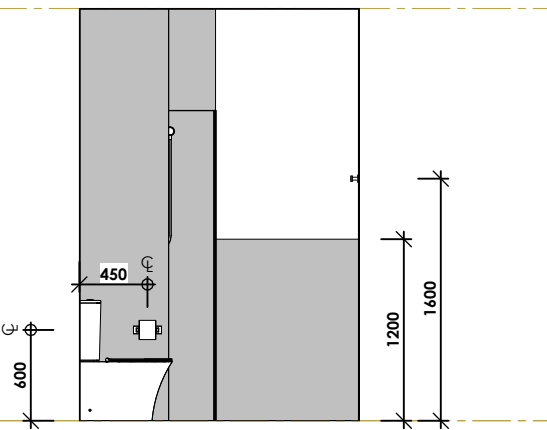
BATH 2 A



BATH 2 B

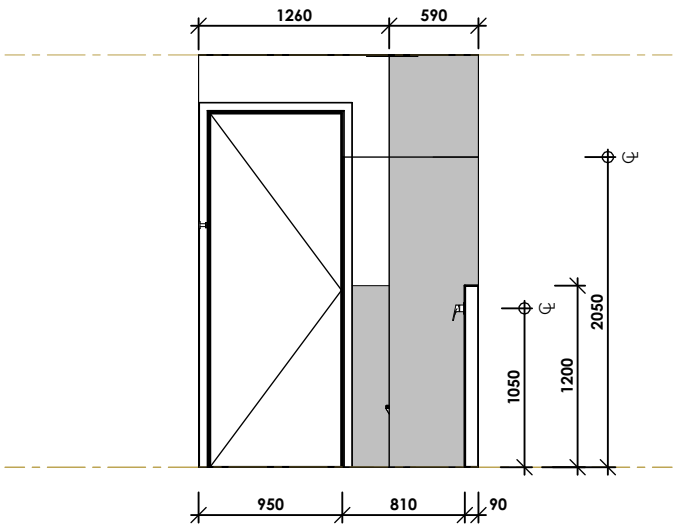


BATH 2 C

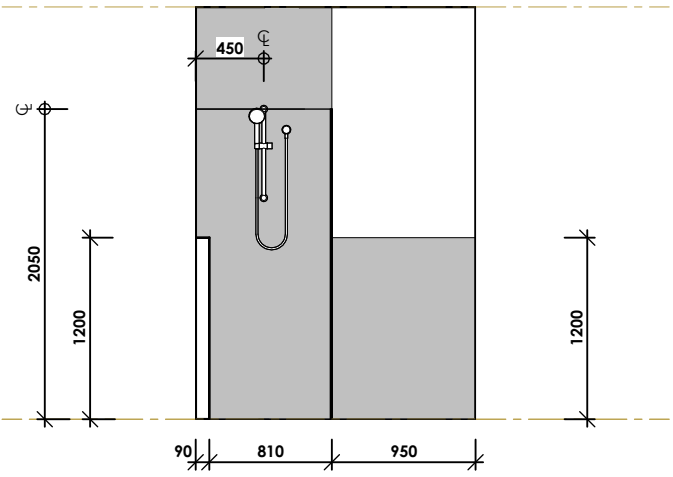


BATH 2 D

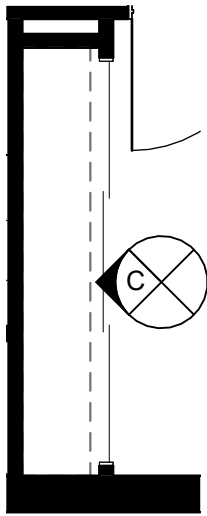
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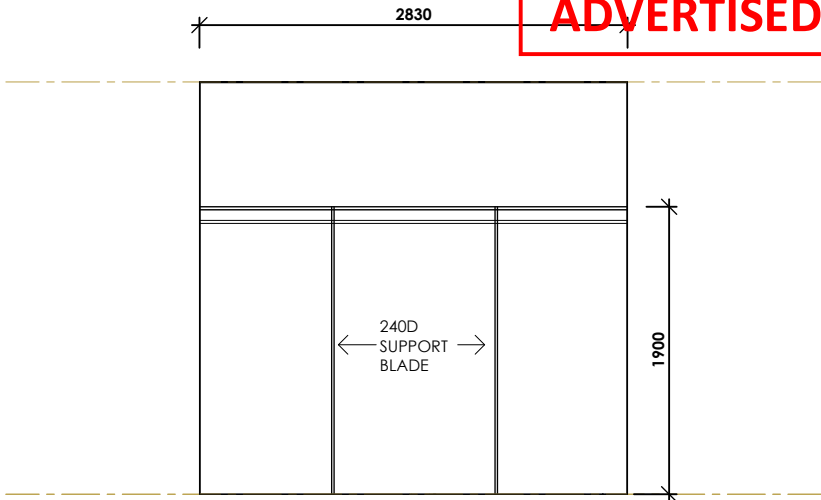
BATH 2 B1



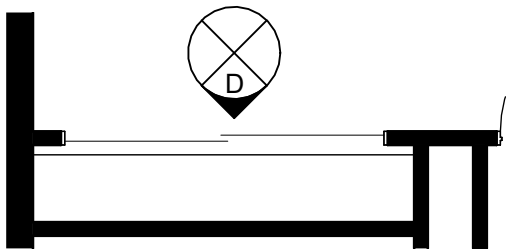
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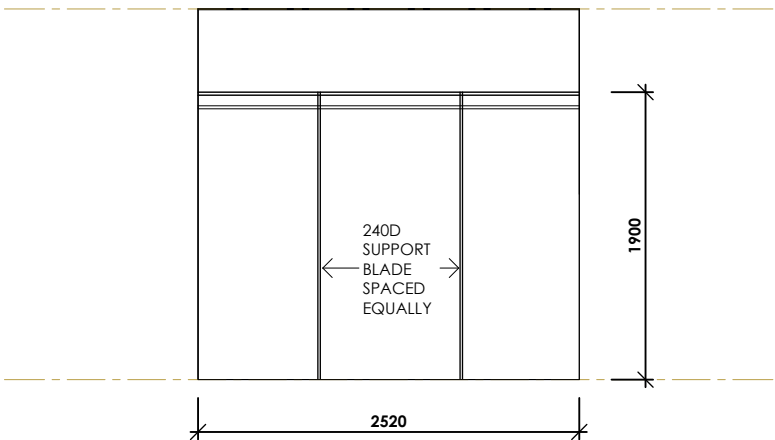
BED 4 ROBE



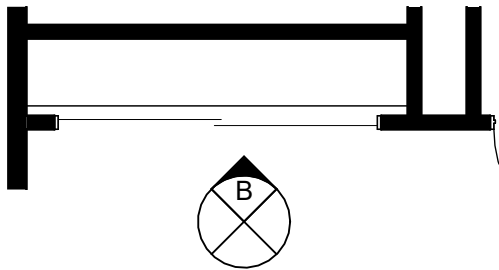
BED 4 ROBE C TYPE A



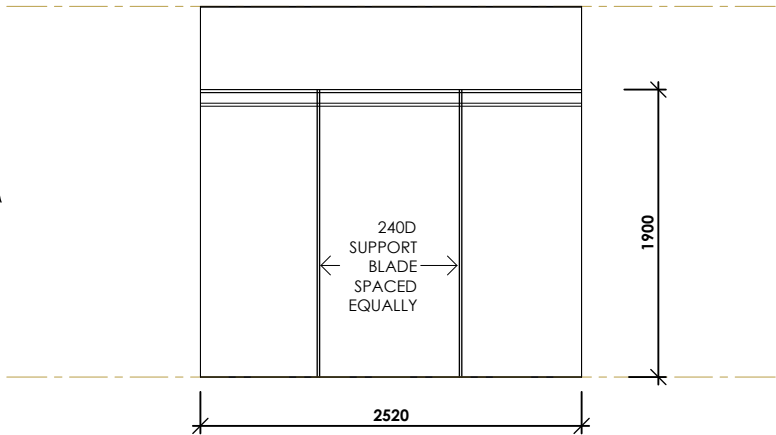
BED 2 ROBE



BED 2 ROBE D TYPE A

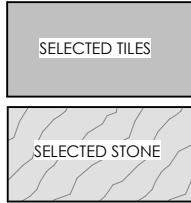


BED 3 ROBE



BED 3 ROBE B TYPE A

INTERNAL FINISHES



NOTE: VERTICAL SUPPORT TO ALL DOUBLE HANGING RAILS WHERE SPANS EXCEED 1300MM AND TO ALL SINGLE HANGING RAILS WHERE SPANS EXCEED 1200MM AND EVERY 1200MM AFTER

THESE ARE THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT: OWNER #1 SIGNATURE..... DATE: / / OWNER #2 SIGNATURE ..... DATE: / / BUILDER SIGNATURE..... DATE: / /

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proposed: HOUSE & GARAGE

for: J.W-C.LUK & M.L.SMITH

address: LOT1 NO.90 TARENGOWER STREET, EMRE 27 BASALT YARRAVILLE, 3013

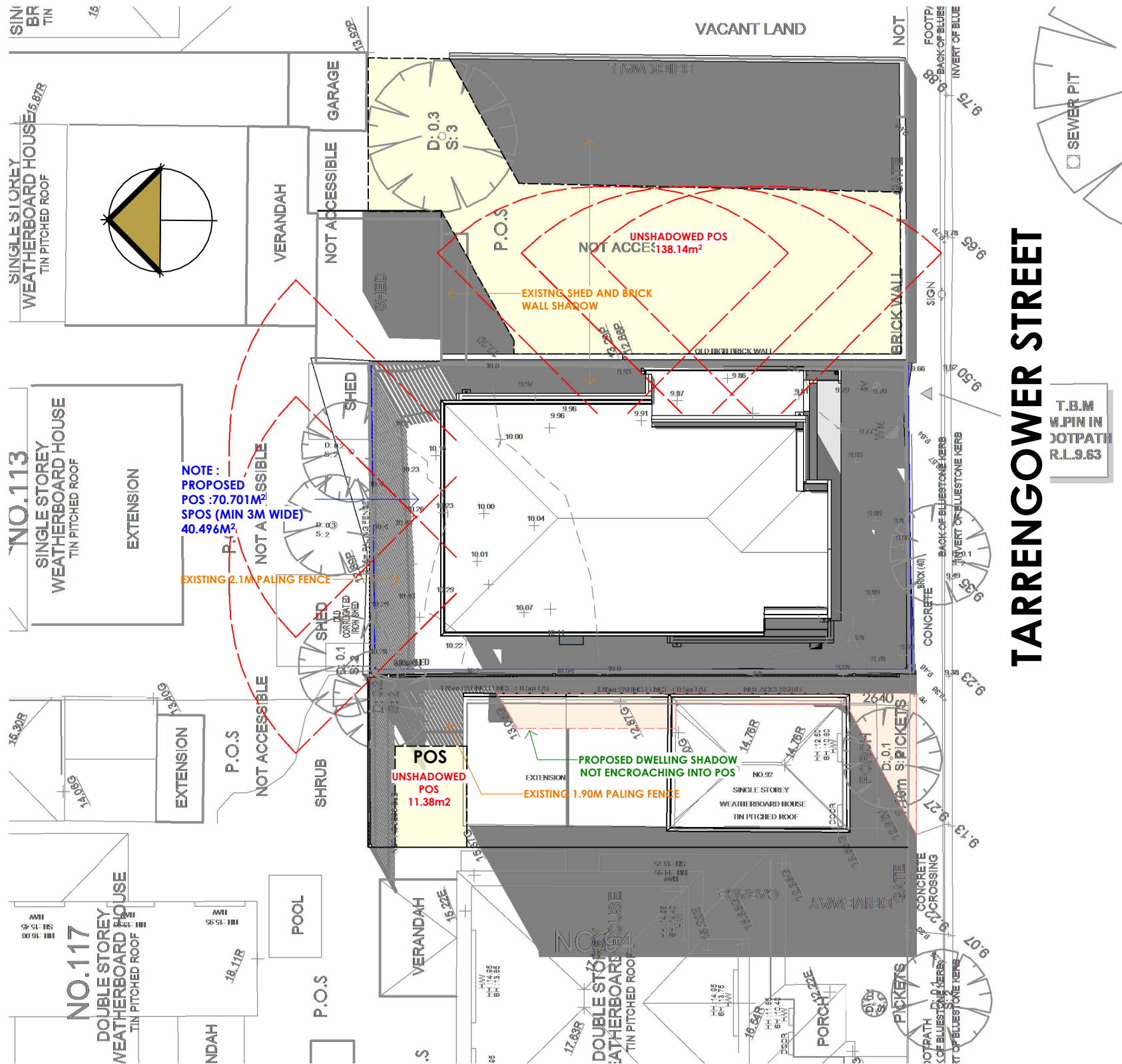
drawing: INTERNALS 4

drawn: RF date: 16/04/25 scale: 1 : 50

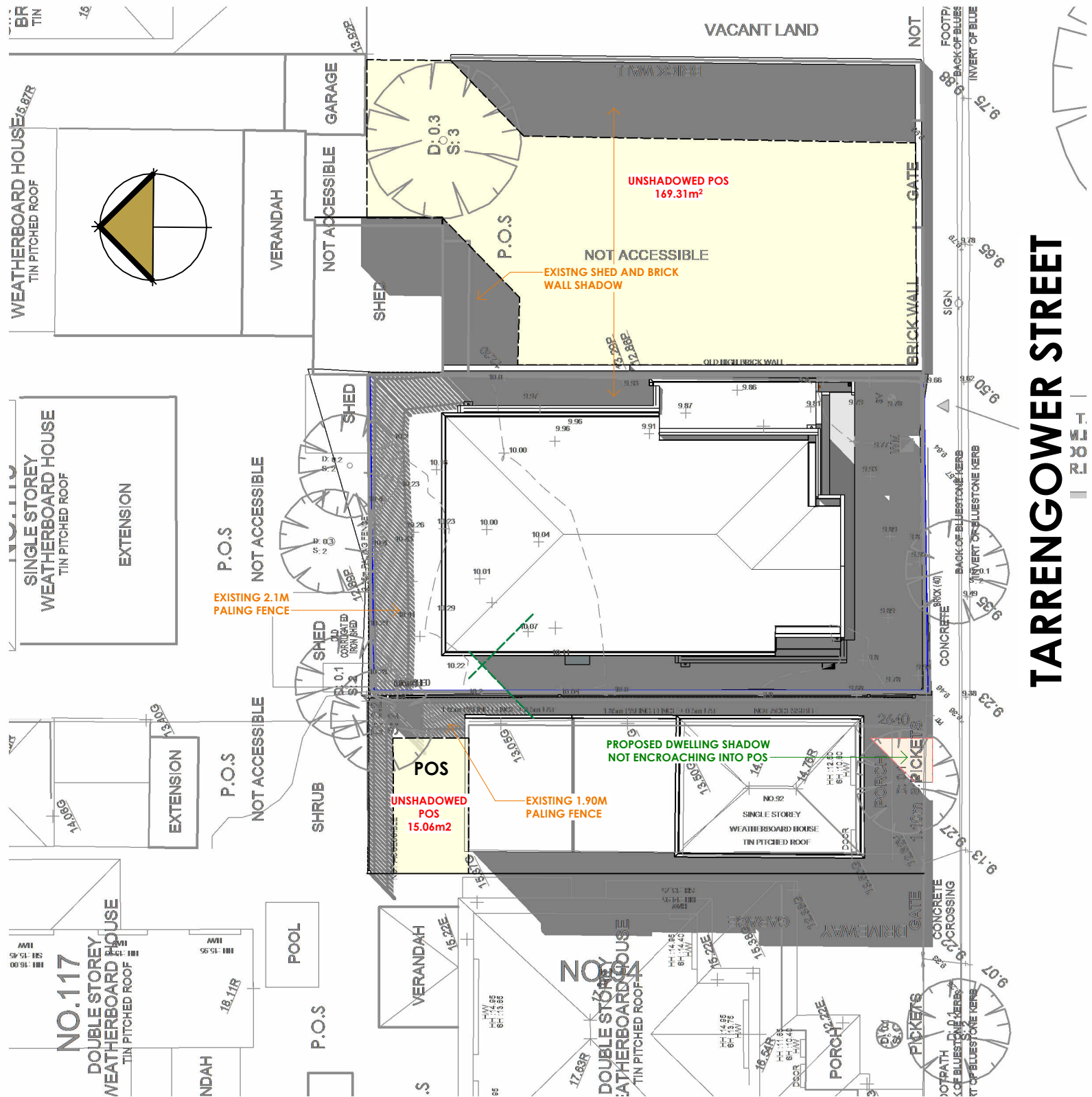
sheet: 18 of 23 issue: K date: 31/10/25

job no.: 100462

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SHADOWS SEPT 22 - 9AM



SHADOWS SEPT 22 - 10AM

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proposed: HOUSE & GARAGE

for: J.W-C.LUK & M.L.SMITH

address: LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT

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drawing: SHADOWS/ OVERLOOK

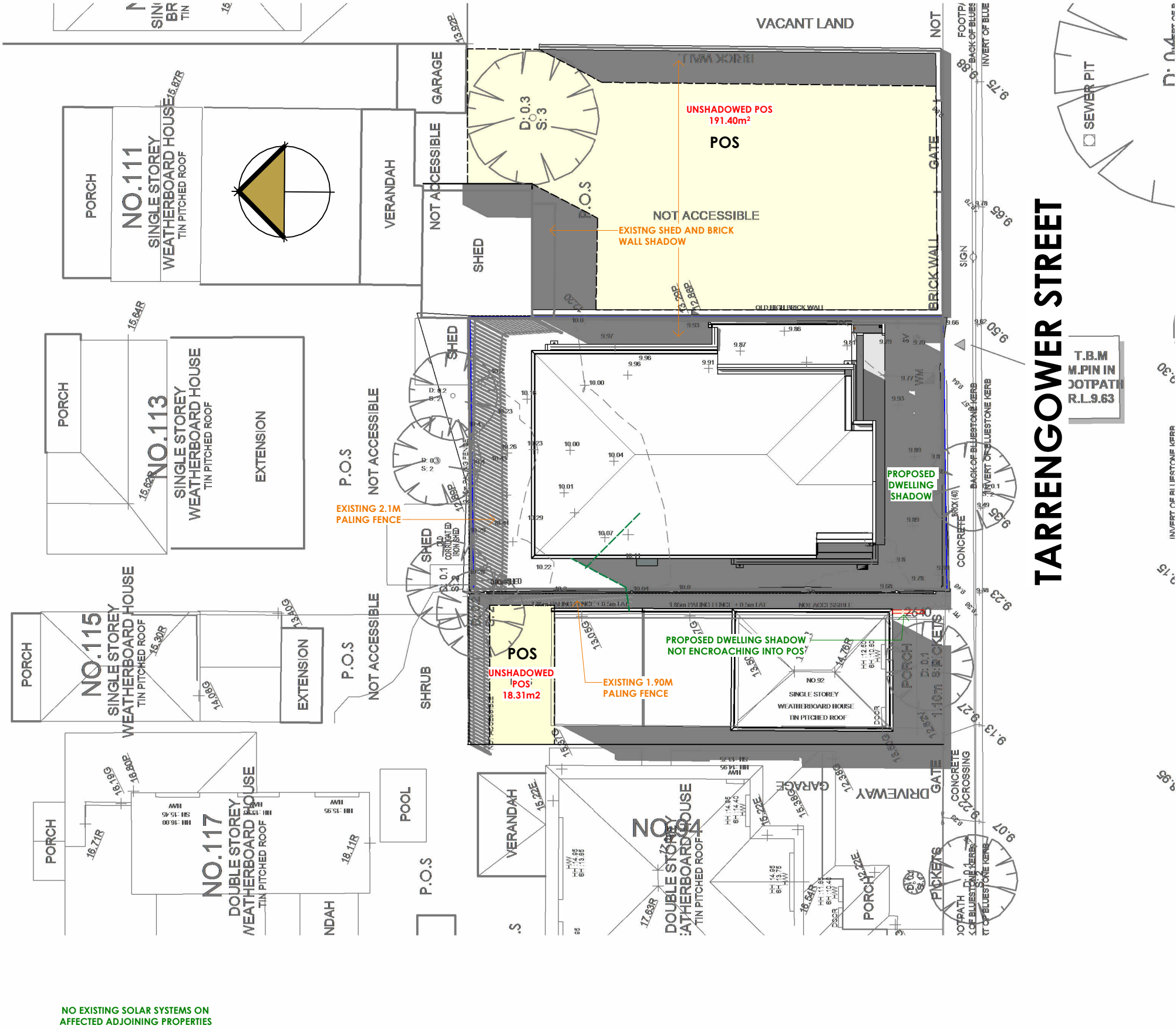
YARRAVILLE, 3013

drawn: RF date: 16/04/25 scale: 1 : 200

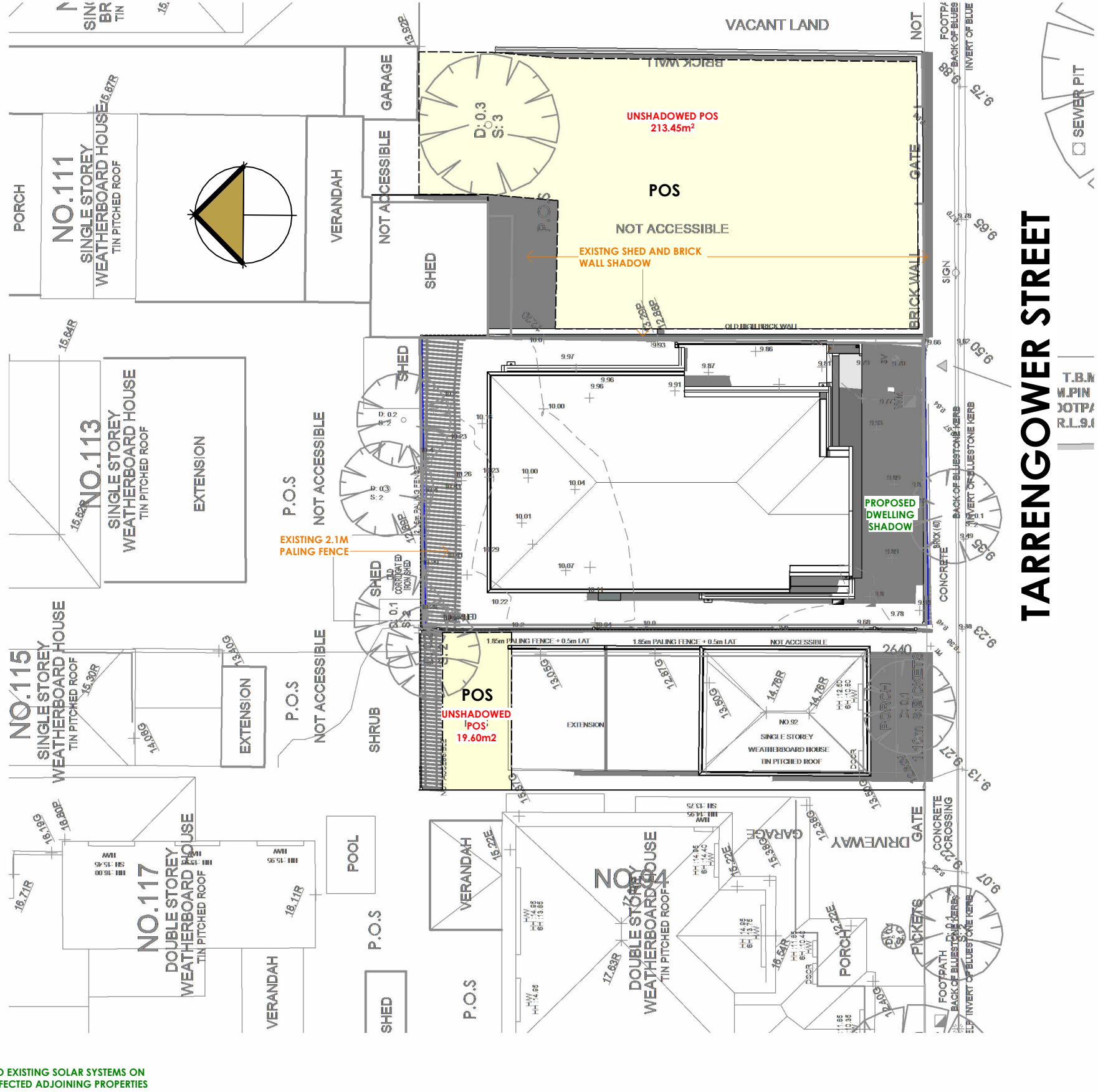
sheet: 19 of 23 issue: K date: 31/10/25

job no.: 100462





SHADOWS SEPT 22 - 11AM



SHADOWS SEPT 22 - 12PM

THESE ARE THE DRAWINGS REFERRED TO IN THE BUILDING CONTRACT: OWNER #1 SIGNATURE: DATE: / / OWNER #2 SIGNATURE: DATE: / / BUILDER SIGNATURE: DATE: / /

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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT**

drawing: **SHADOWS 11AM & 12 PM**

**YARRAVILLE, 3013**

drawn: **RF** date: **16/04/25** scale: **1 : 200**

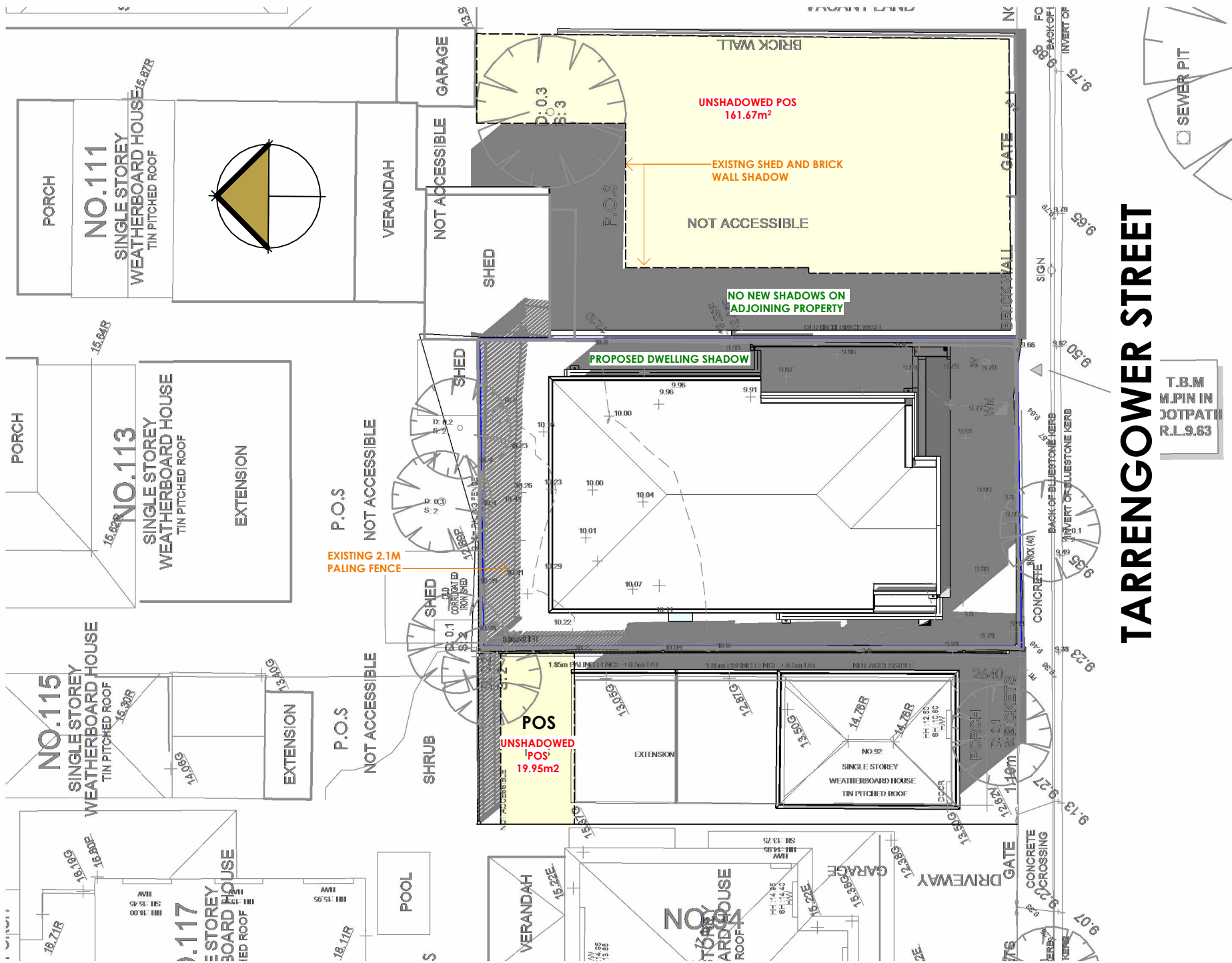
sheet: **20** of **23** issue: **K** date: **31/10/25**

job no.: **100462**

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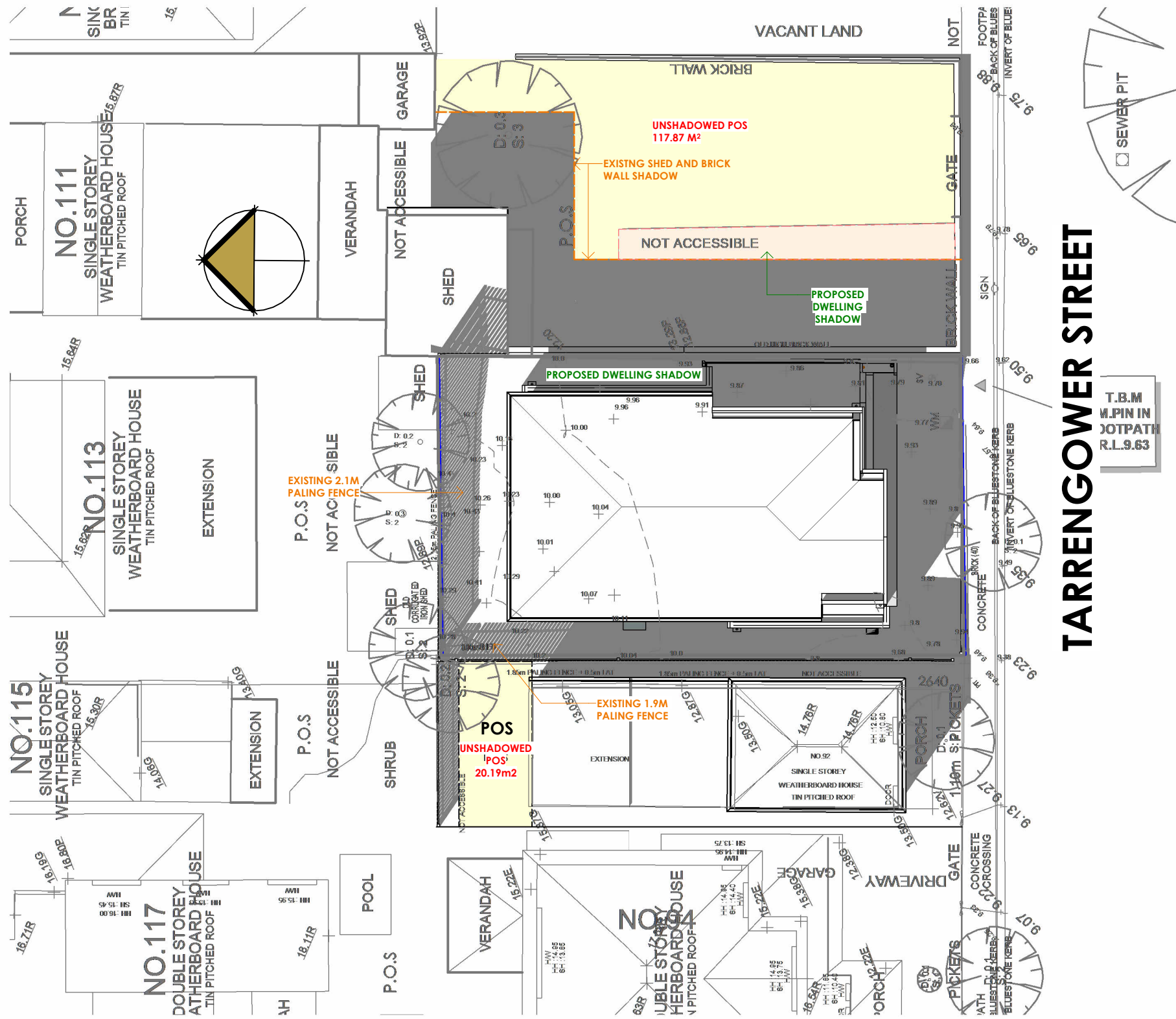
**CITY OF MARIBYRNONG  
ADVERTISED PLAN**





NO EXISTING SOLAR SYSTEMS ON  
AFFECTED ADJOINING PROPERTIES

SHADOWS SEPT 22 - 2 PM



NO EXISTING SOLAR SYSTEMS ON  
AFFECTED ADJOINING PROPERTIES

SHADOWS SEPT 22 - 3PM

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proposed: **HOUSE & GARAGE**

for: **J.W-C.LUK & M.L.SMITH**

address: **LOT1 NO.90 TARENGOWER STREET, EMRE 27 BASALT**

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SHALL REMAIN THE PROPERTY OF BASS HAUS PTY LTD

drawing: **SHADOWS 2 & 3 PM**

sheet: **21** of **23**

issue: **K** date: **31/10/25**

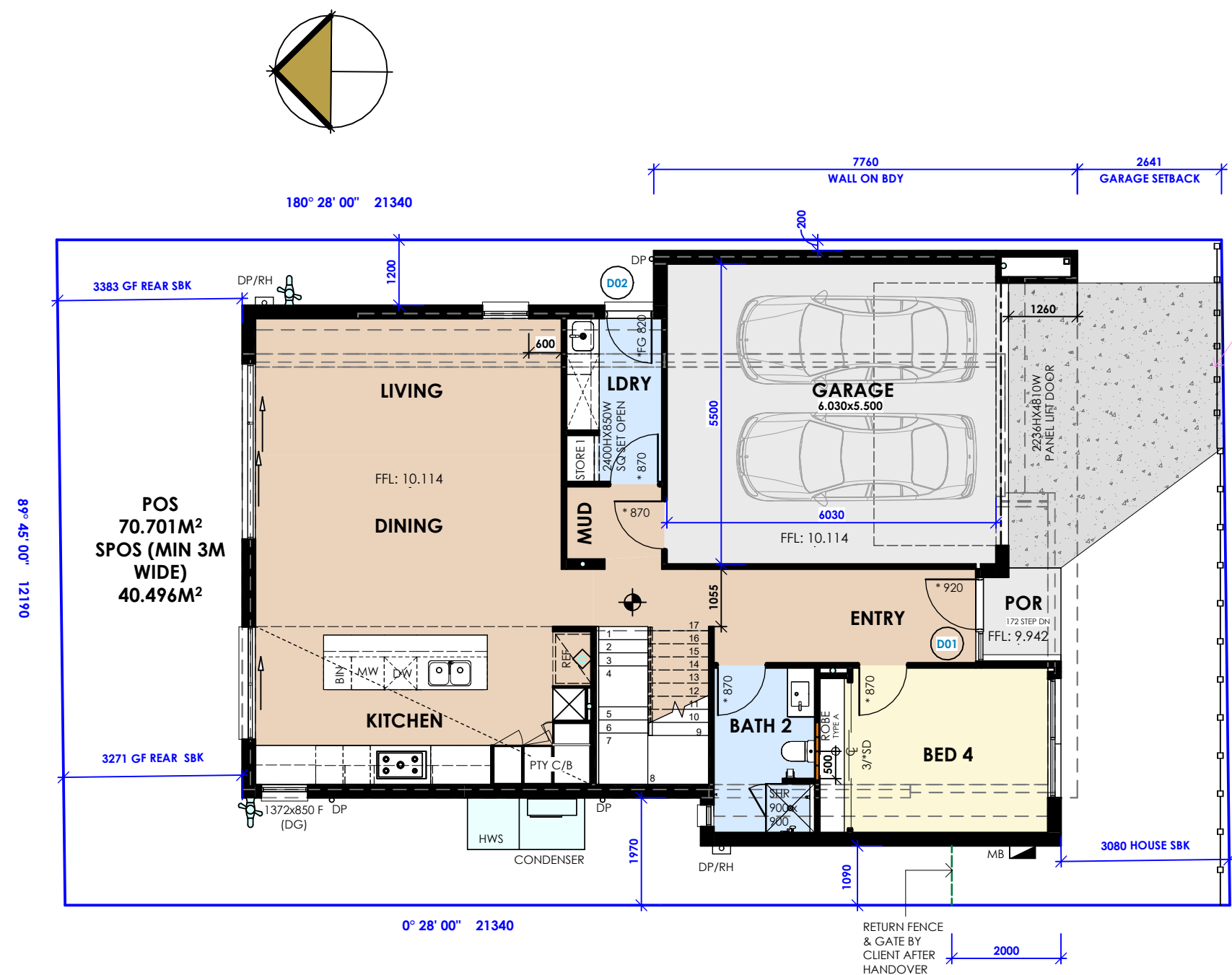
job no.: **100462**

drawn: **RF** date: **16/04/25** scale: **1 : 200**

**CITY OF MARIBYRNONG  
ADVERTISED PLAN**

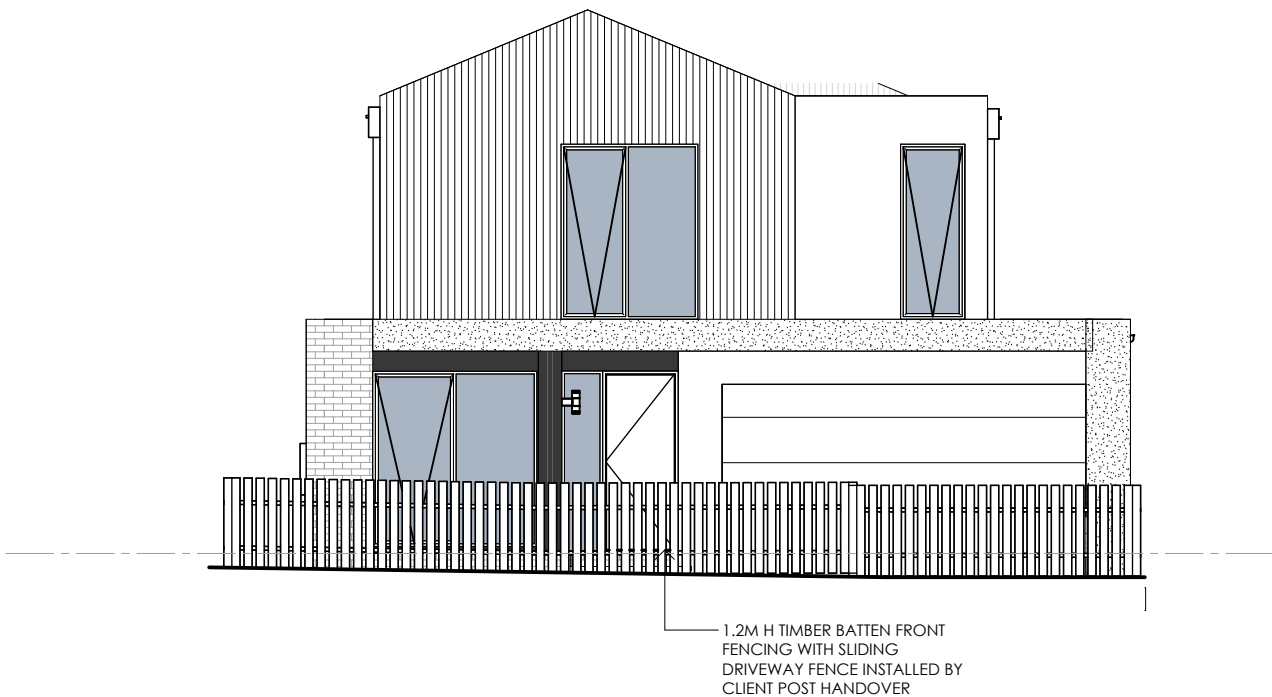




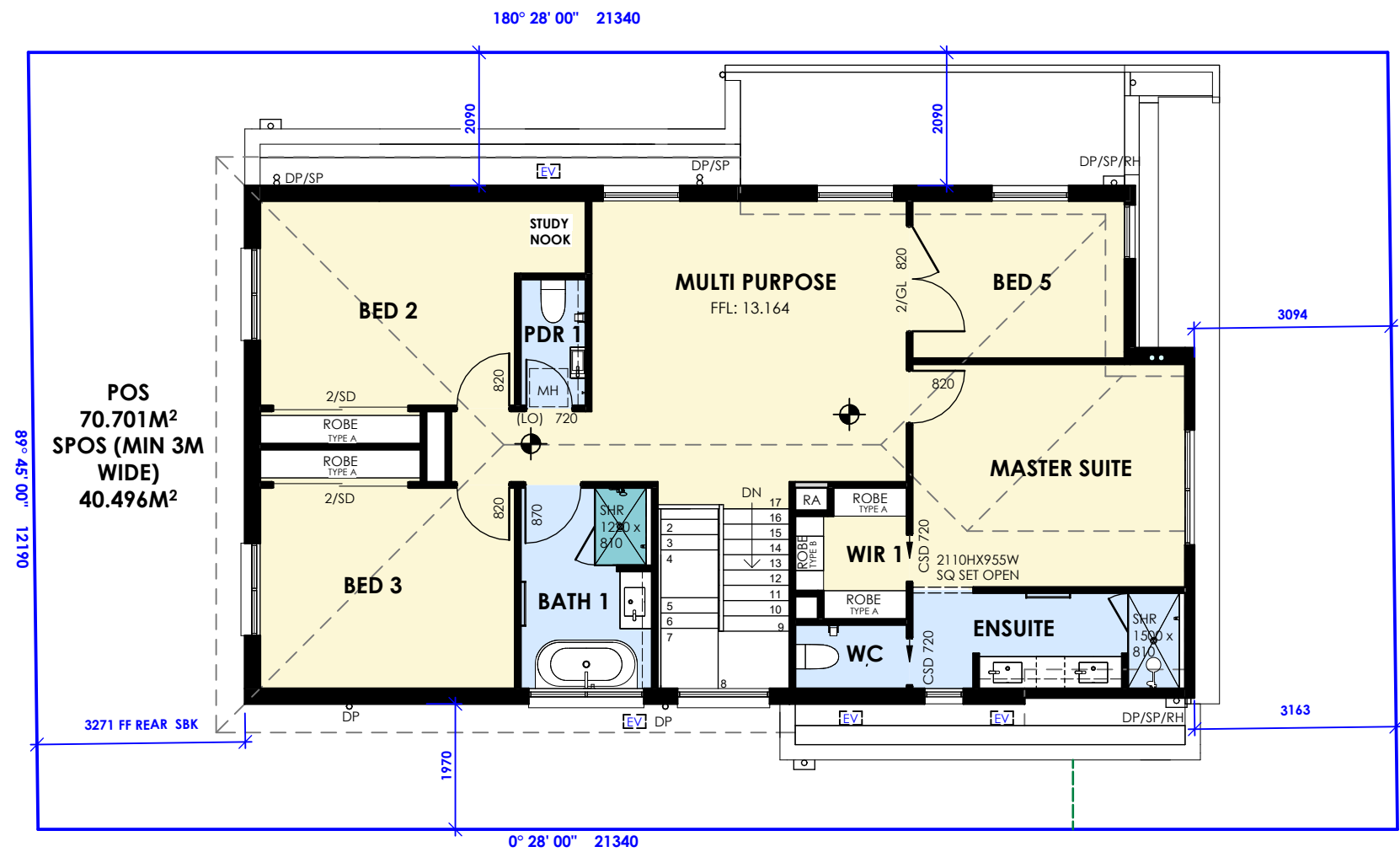


GF SITE ANALYSIS PLAN  
1 : 100

TARRENGOWER STREET

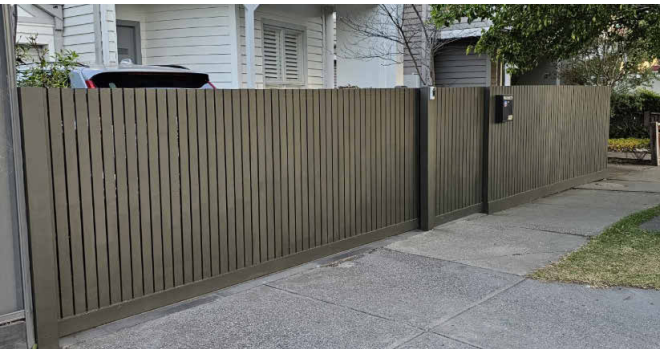


FRONT FENCE ELEVATION  
1 : 100



FF SITE ANALYSIS PLAN  
1 : 100

TARRENGOWER STREET



FRONT FENCE BY CLIENT POST  
HANDOVER  
IMAGE FOR REFERENCE

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proposed: HOUSE & GARAGE

for: J.W-C.LUK & M.L.SMITH

address: LOT1 NO.90 TARRENGOWER STREET, EMRE 27 BASALT  
YARRAVILLE, 3013

drawing: SITE ANALYSIS PLAN

drawn: RF date: 16/04/25 scale: 1 : 100

sheet: 23 of 23 issue: K date: 31/10/25

job no.: 100462

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