



FRANKLIN 42

ASPIRE

DRAWING LIST

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01	COVER SHEET	07	ELEVATIONS
02	GENERAL NOTES	08	SECTION
03	SITE PLAN	09	GROUND FLOOR FLOOR COVERINGS
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3B	OVERSHADOWING 9AM_SEPTEMBER 22ND	11	INTERNAL ELEVATIONS
3C	OVERSHADOWING 10AM_SEPTEMBER 22ND	12	INTERNAL ELEVATIONS
3D	OVERSHADOWING 11AM_SEPTEMBER 22ND	13	INTERNAL ELEVATIONS
3E	OVERSHADOWING 12PM_SEPTEMBER 22ND	14	INTERNAL ELEVATIONS
3F	OVERSHADOWING 1PM_SEPTEMBER 22ND	15	INTERNAL ELEVATIONS
3G	OVERSHADOWING 2PM_SEPTEMBER 22ND		
3H	OVERSHADOWING 3PM_SEPTEMBER 22ND		
04	GROUND FLOOR PLAN		
05	FIRST FLOOR PLAN		
5A	ROOF PLAN		
06	ELEVATIONS		

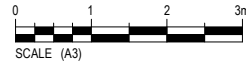
REVISIONS

REV.	DESCRIPTION	DATE	DRAWN	CHECKED
1	PC	12/09/2025	PG1	

REVISIONS

REV	DESCRIPTION	DATE	DRAWN	CHECKED

DRAWING TITLE:
COVER SHEET



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DESIGNER

SPEC: BASE

DESIGN:
FRANKLIN 42

FACADE:
ASPIRE

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752
Tel: 1300 786 773
www.metricronhomes.com.au

PRODUCT CODE:
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CEILING:
27G, 27F R

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OWNER:
THE CHEAH RESIDENCE

NO.50 THE ESPLANADE MARIBYRNONG
VIC 3032

JOB N°: 754591	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
DRAWN: PG1	CHECKED: XX
PRELIMINARY CONTRACT DATE: 12/09/2025	
SHEET: 01/15	

STANDARD NOTES:

AS PER NCC 2022

GENERAL

- REFER TO ALL ASSOCIATED ENGINEERING DRAWINGS FOR DESIGN AND CONSTRUCTION REQUIREMENTS OF STRUCTURAL, SLAB & HYDRAULIC ELEMENTS (where applicable).
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- INTERNAL ELEVATION DIMENSIONS ARE TO PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.

FRAMING

- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS1684.2-2021 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS & LAYOUTS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQ. TO BE AS PER ENGINEERS DETAIL
- SPECIFIED EAVE WIDTH, MEASURED FROM FACE OF BRICK (UNO).
- PROVIDE 2No. JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL *S-TYP-DOOR-01N*.
- ENSURE RETURN AIR GRILLE & AC VOIDS ARE CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.

CEILING/WALL - GENERAL

- PROVIDE PLASTER LINED CEILINGS TO ALL AREAS (UNO).
- SOFFITS 4.5mm FC SHEET (UNO).
- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN' LAP TO ALL JOINS WITH CONTINUOUS SILICON SEAL BETWEEN & 50mm MIN' VERTICAL OVERHANG.)
- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5
- WATERPROOFING FOR EXTERNAL ABOVE GROUND USE TO COMPLY WITH AS4654.1-2012 & AS4654.2-2012.

STEPS/STAIRS & BALUSTRADES

- ALL STEPS MUST COMPLY WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.2
- BARRIERS & HANDRAILS MUST COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3
- BALUSTRADE IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.3 TO BE INSTALLED WHERE VOIDS, OR INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND/FLOOR LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.4 & AS4586-2013.
- STAIRS ARE INDICATIVE ONLY. REFER TO DETAILS, SPECIFICATIONS & SELECTION DOCUMENTS.

WET AREAS

- WATERPROOFING OF WET AREAS TO COMPLY WITH NCC 2022 H4D2 HOUSING PROVISIONS 10.2 INCLUDING STATE VARIATIONS AND ADDITIONS.
- WALL LINING TO WET AREAS TO BE APPROVED WET AREA BOARD (UNO).
- ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H4D5 HOUSING PROVISIONS 10.4.2

WINDOWS & DOORS

- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNO).
- SIZES NOMINATED AS A GENERIC CODE (UNO). FIRST 2 NUMBERS REFER TO HEIGHT & SECOND 2 RELATE TO WIDTH.
- EXTERNAL WINDOWS & DOORS TO COMPLY WITH NCC 2022 H6D1 HOUSING PROVISIONS 13.4.4.
- WINDOWS TO COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6.
- ALL GLAZING TO COMPLY WITH AS1288-2021 & AS2047-2014, & WITH AS4055-2021 FOR WIND LOADING (UNO).
- WINDOWS SHALL BE PROTECTED IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & 11.3.8
- WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS (UNO).
- PROVIDE LIGHTWEIGHT CLADDING ABOVE ALL CORNER WINDOWS & CORNER DOORS (UNO).
- SAFETY GLAZING IN HUMAN IMPACT AREAS INCLUDING ADJACENT TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6

ENERGY EFFICIENCY NOTES

- NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, BASED ON SPECIFIC SITING. REFER TO SPECIFICATION & CONTRACT DOCUMENTATION.
- PROVIDE BULK CEILING INSULATION & EXTERNAL WALL INSULATION AS PER STD SPECIFICATIONS (UNO).
 - PROVIDE WEATHER STRIPPING TO WINDOWS & ALL EXTERNAL HINGED DOORS.
 - PROVIDE DRAFT PREVENTION TO EXHAUST FANS, AS PER RELEVANT BUILDING CODES.
 - SEALED GAPS AROUND WINDOWS & EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 H1D7 HOUSING PROVISIONS 7.5.6 & AS/NZS 2904-1995.
 - INSULATION OF SERVICES AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.2
 - HEATING AND COOLING DUCTWORK AS PER NCC 2022 HOUSING PROVISIONS H6D2 13.7.4 & SEALING PER AS4254-2021.
 - ARTIFICIAL LIGHTING AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.6
 - WHERE APPLICABLE, PROVIDE SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022 H2D5 HOUSING PROVISIONS 6.2.1 TO SUSPENDED TIMBER FLOORS.

MISCELLANEOUS

- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5.
- PLIABLE BUILDING MEMBRANES TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.1 & AS4200.1-2017 & BE INSTALLED IN ACCORDANCE WITH AS4200.2-2017.
- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, NCC 2022 H2D2 HOUSING PROVISIONS 3.3 & AS/NZS 3500.3-2021.
- PROVIDE MINIMUM 115mm SLOTTED GUTTERS WITH APPROVED OVERFLOW PROVISIONS AS REQUIRED.
- ALL EXHAUST SYSTEMS TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.2, INCLUDING "MAKE UP AIR" VENTILATION METHOD AS PER 10.8.2 (5)(a)
- WHERE REQUIRED, BATHROOM AND SANITARY COMPARTMENT EXHAUST FANS TO ACHIEVE A MINIMUM FLOW RATE OF 25 L/s, & 40 L/s FOR A KITCHEN OR LAUNDRY.
- WHERE REQUIRED, PROVIDE TERMITE MGT. SYSTEM AS PER AS3660.1-2014.
- ALL SMOKE ALARMS TO COMPLY WITH AS3786-2014, CONNECTED TO MAINS POWER, AND INTERCONNECTED WHERE APPLICABLE. INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022 H3D6 HOUSING PROVISIONS 9.5.4
- LOCATIONS OF ELECTRICAL COMPONENTS & VENTS SHOWN ARE INDICATIVE ONLY, AND MUST BE INSTALLED TO REQUIRED DISTANCES FROM WALL & CEILING JUNCTIONS.
- BUILDINGS IN BUSHFIRE PRONE AREAS TO COMPLY WITH AS3959-2018.
- DWELLINGS WITHIN 1km OF A BAY/10km OF A SURF COAST MUST HAVE ALL STEEL & MORTAR IN ACCORDANCE WITH SECTION 5 OF AS3700-2018.
- TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE FOOTINGS.

STEEL FRAMING REQUIREMENTS (WHERE APPLICABLE):

- STEEL FRAME & TRUSSES REQUIRING THE ISSUE OF A SIGNED COMPLIANCE CERTIFICATE FOR THE BUILDING DESIGN - FORM 15 UPON COMPLETION AND PRIOR TO FINAL CERTIFICATION
- STEEL FRAMES AND TRUSSES TO COMPLY WITH:
 - AS/NZS 1170.0-2002 STRUCTURAL DESIGN ACTIONS: PART 0: GENERAL PRINCIPLES
 - AS/NZS 1170.1-2002 STRUCTURAL DESIGN ACTIONS: PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS
 - AS/NZS 4600-2018 COLD-FORMED STEEL STRUCTURES
 - AS4055-2021 WIND LOADS FOR HOUSING
 - AS4100-2020 STEEL STRUCTURES CODE
 - AS3623-1993 DOMESTIC METAL FRAMING
 - AS3566.1-2002 SELF DRILLING SCREWS
 - NASH STANDARDS

STEEL FRAMING SUPPLIER TO PROVIDE DESIGN, CONNECTORS AND FIXING HARDWARE FOR ALL STEEL TO STRUCTURAL TIMBER MEMBERS (UNO BY ENGINEER).

CITY OF MARIBYRNONG

ADVERTISED PLAN

CITY OF MARIBYRNONG

RECEIVED

12/11/2025

URBAN PLANNING

ENERGY EFFICIENCY NOTES - SITE SPECIFIC:

- REFER TO TECHNICAL SPECIFICATIONS FOR ALL STANDARD INCLUSIONS.
- REFER TO CONTRACT AND COLOUR SELECTION DOCUMENTATION FOR UPGRADING ITEMS.

INSULATION EXTERNAL WALLS: R 2.5
INSULATION INTERNAL GARAGE WALLS: R 2.5
INSULATION INTERNAL WALLS: R 2.0
INSULATION CEILING: R 6.0
INSULATION ROOF: REFER STANDARD SPEC.
INSULATION WALL WRAP: REFER STANDARD SPEC.
INSULATION FIRST FLOOR JOISTS: R 4.1

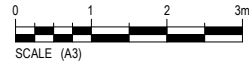
FACADE DETAIL	
S-TYP-ASPI-01N	

NOTES:

- REFER TO "METRICON - WINDOW AND DOOR CODE SIZE GUIDE"

DRAWING TITLE:

GENERAL NOTES



Do NOT scale this drawing.
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DESIGNER

SPEC: BASE

DESIGN:
FRANKLIN 42

PRODUCT CODE:
VD3FRA42APRDN

FACADE:
ASPIRE

CEILING:
27G, 27F R

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149

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Tel: 1300 786 773
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OWNER:
THE CHEAH RESIDENCE

NO.50 THE ESPLANADE MARIBYRNONG
VIC 3032

JOB N°: 754591	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
DRAWN: PG1	CHECKED: XX
PRELIMINARY CONTRACT DATE: 12/09/2025	
SHEET: 02/15	

CITY OF MARIBYRNONG
ADVERTISED PLAN

THE BOULEVARDS

59°37' 18.49m

NOTES:

GAS METER PROTECTION

BOLLARDS MAY BE REQUIRED FOR GAS METER PROTECTION TO BE CONFIRMED BY RELEVANT AUTHORITIES DURING GAS METER INSTALLATION.

SUSTAINABLE ENERGY:

DWELLING TO COMPLY W/ RELEVANT SUSTAINABLE ENERGY REQUIREMENTS.

RESCODE NOTES:

SITING WILL BE SUBJECT TO FULL RESCODE GUIDELINES FOR BUILDING APPROVAL & CONSEQUENTLY, SITINGS MAY DIFFER FROM OWNERS ORIGINAL REQUEST IN ORDER TO ACCOMMODATE RESCODE REQUIREMENTS.

OWNER TO PROVIDE 1.8M H SCREENING PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ACHIEVE CERTIFICATE OF OCCUPANCY UPON COMPLETION THIS IS TO COMPLY WITH REG. 84 (OVERLOOKING REQUIREMENTS.)

PRELIMINARY SITE LEVELS:

SITE LEVELS ARE APPROXIMATE DUE TO EXISTING SITE CONDITIONS (EXISTING STRUCTURES)

SITE LEVELS WILL BE RE-ASSESSED ON COMPLETION OF CLEARING SITE, PRIOR TO AUTHORITY TO COMMENCE CONSTRUCTION (ACC).

TERMITE PROTECTION:

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1.

IMPORTANT NOTE:

SITE CUTS ARE SUBJECT TO PERMIT APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES P/L

DRAINAGE NOTES:

PROVIDE MIN. 100MM DIA. U.P.V.C. STORMWATER DRAINS WITH FALL IN ACCORDANCE WITH PIC REQUIREMENTS, CONNECTED TO LEGAL POINT OF DISCHARGE.

REFER TO ENGINEERS DRAINAGE PLAN FOR FULL STORMWATER & DRAINAGE LAYOUT AND DETAILS.

TREE REMOVAL REQUIREMENTS:

SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND OR PRUNE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO AUTHORITY TO COMMENCE CONSTRUCTION (ACC)

OWNER TO OBTAIN APPROVAL FROM RELEVANT AUTHORITIES, IF REQUIRED.

FENCE REMOVAL:

THE SECTION OF FENCE WHERE ANY PART OF THE DWELLING IS WITHIN 200MM OF BOUNDARY IS TO BE REMOVED PRIOR TO SITE START. APPROVAL IS REQUIRED FROM NEIGHBOURS WHERE APPLICABLE.

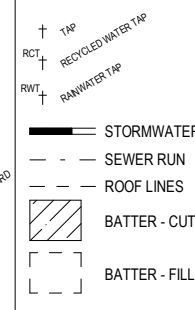
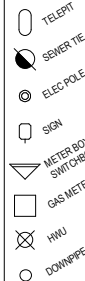
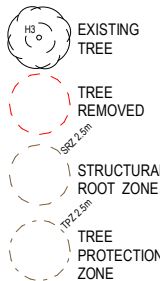
TEMPORARY FENCING:

BUILDER TO PROVIDE TEMPORARY FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTHORITY BYLAW)

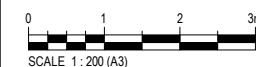
BUSHFIRE PROTECTION (NONE):

PROPOSAL NOT WITHIN A BUSHFIRE PRONE AREA.

LEGEND:



DRAWING TITLE:
SITE PLAN



DESIGNER

SPEC: BASE

DESIGN:
FRANKLIN 42

FACADE:
ASPIRE

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CEILING:
27G, 27F R

OWNER:
THE CHEAH RESIDENCE

NO.50 THE ESPLANE MARIBYRNONG
VIC 3032

JOB N°: 754591	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
DRAWN: PG1	CHECKED: XX
PRELIMINARY CONTRACT	
DATE: 12/09/2025	
SHEET: 03/15	

THE ESPLANE

CITY OF MARIBYRNONG
RECEIVED
12/11/2025
URBAN PLANNING

DEMOLITION REQUIREMENTS:

SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L.

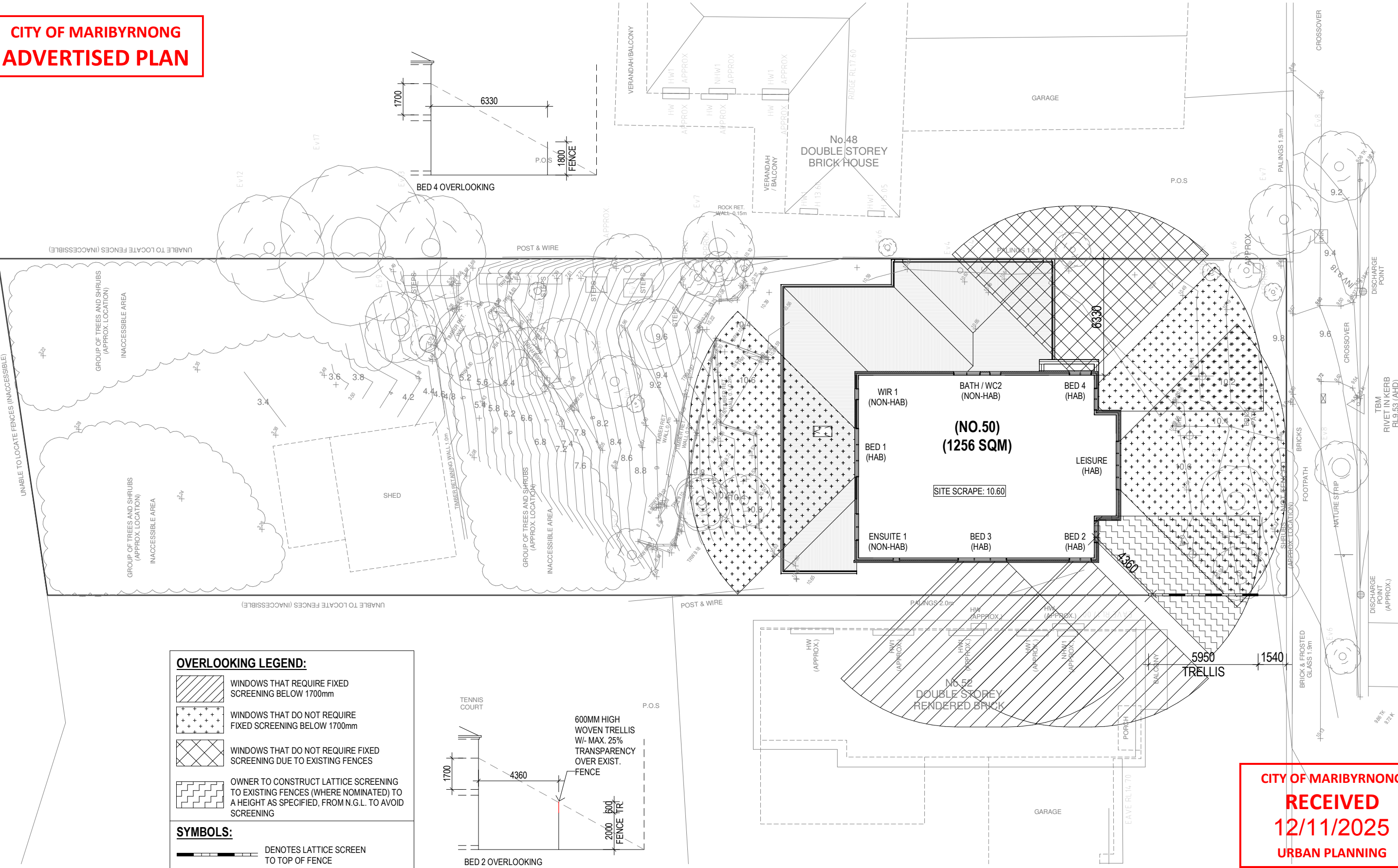
DESIGN DISCLAIMER:

THIS PROPOSAL IS SUBJECT TO APPROVAL BY LOCAL COUNCIL & ASSOCIATED SERVICES AUTHORITY. OWNER TO ACCEPT FULL RESPONSIBILITY AND INDEMNIFIES THE BUILDER AGAINST ANY LIABILITY WITH RESPECT TO LOCAL COUNCIL & ASSOCIATED SERVICES AUTHORITY DECISIONS AND/ OR REQUESTED CHANGES.

SLAB STEP DOWNS:

THE FOLLOWING STEP DOWNS ARE TAKEN FROM THE F.F.L. OF HOUSE SLAB: -

GARAGE:	00MM
PORTICO:	149MM
OUTDOOR ROOM:	149MM

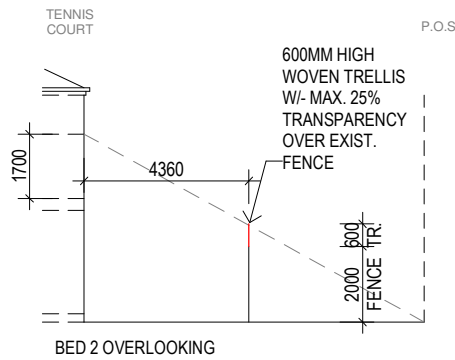


OVERLOOKING LEGEND:

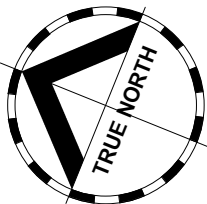
- WINDOWS THAT REQUIRE FIXED SCREENING BELOW 1700mm
- WINDOWS THAT DO NOT REQUIRE FIXED SCREENING BELOW 1700mm
- WINDOWS THAT DO NOT REQUIRE FIXED SCREENING DUE TO EXISTING FENCES
- OWNER TO CONSTRUCT LATTICE SCREENING TO EXISTING FENCES (WHERE NOMINATED) TO A HEIGHT AS SPECIFIED, FROM N.G.L. TO AVOID SCREENING

SYMBOLS:

--- DENOTES LATTICE SCREEN TO TOP OF FENCE

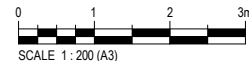


CITY OF MARIBYRNONG
RECEIVED
12/11/2025
URBAN PLANNING



SITE AREA		1256.00 m ²
O/ALL SITE COVERAGE		
253.00 m ²	20.14%	
IMPERMEABLE AREA		
319.00 m ²	25.40%	
PERMEABLE AREA		
937.00 m ²	74.60%	
PAVING AREA		
66.00 m ²	5.25%	
Survey Date:		15/07/2025
Contour Level:		200MM Melway: 28 B7
Levels To:		AUST. HEIGHT DATUM

DRAWING TITLE:
OVERLOOKING



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SPEC: BASE

DESIGN:
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FACADE:
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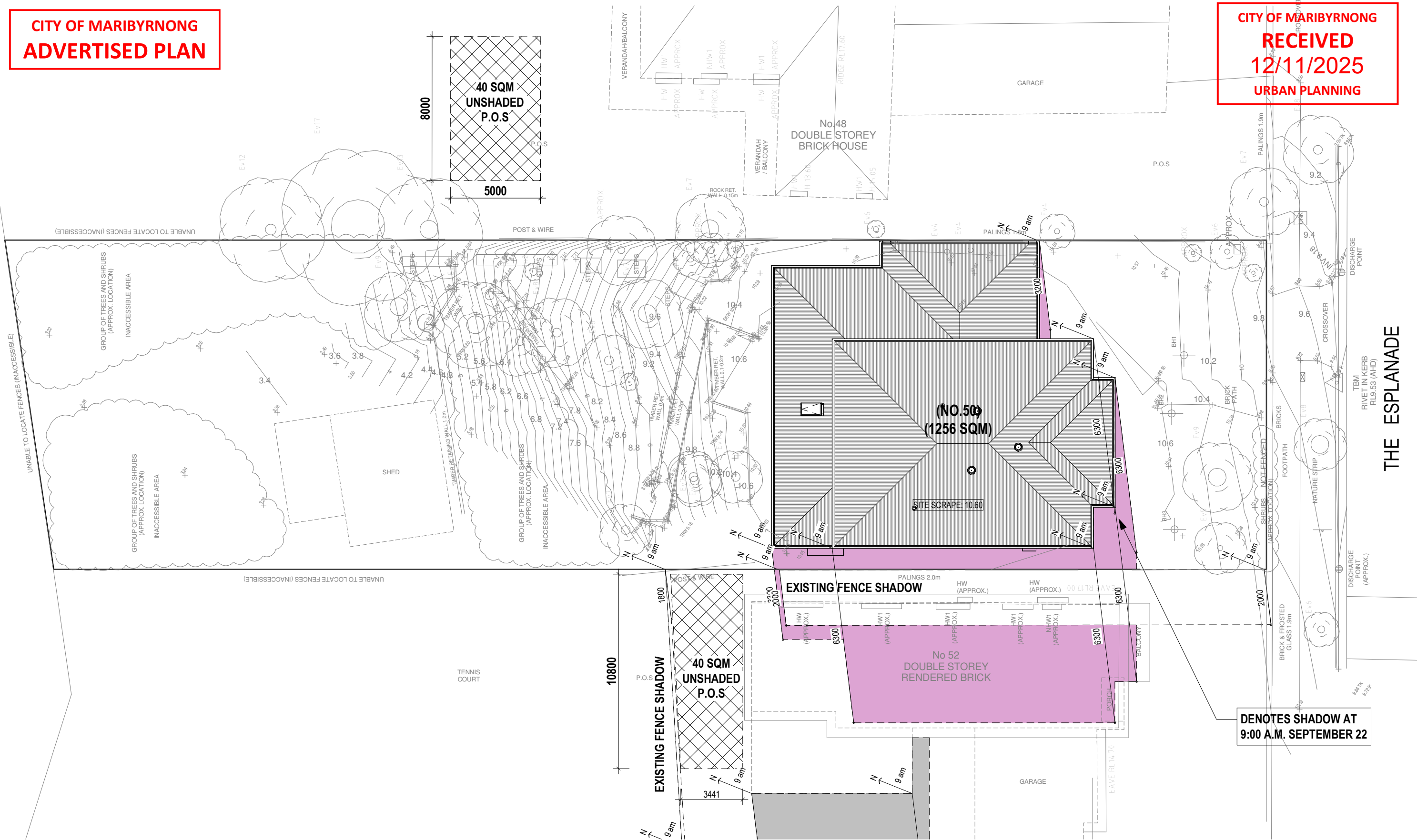
OWNER:
THE CHEAH RESIDENCE

**NO.50 THE ESPLANADE MARIBYRNONG
VIC 3032**

JOB N°: 754591	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
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PRELIMINARY CONTRACT DATE: 12/09/2025	
SHEET: 3A/15	

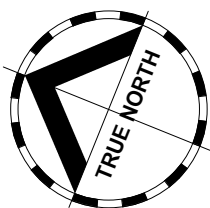
CITY OF MARIBYRNONG
ADVERTISED PLAN

CITY OF MARIBYRNONG
RECEIVED
12/11/2025
URBAN PLANNING



THE ESPLANADE

DENOTES SHADOW AT
9:00 A.M. SEPTEMBER 22



SITE AREA			
1256.00 m ²			
O/ALL SITE COVERAGE			
253.00 m ²	20.14%		
IMPERMEABLE AREA			
319.00 m ²	25.40%		
PERMEABLE AREA			
937.00 m ²	74.60%		
PAVING AREA			
66.00 m ²	5.25%		
Survey Date: 15/07/2025			
Contour Level: 200MM Melway: 28 B7			
Levels To: AUST. HEIGHT DATUM			

DRAWING TITLE:
OVERSHADOWING 9AM, SEPTEMBER 22ND

0 1 2 3m
SCALE 1: 200 (A3)

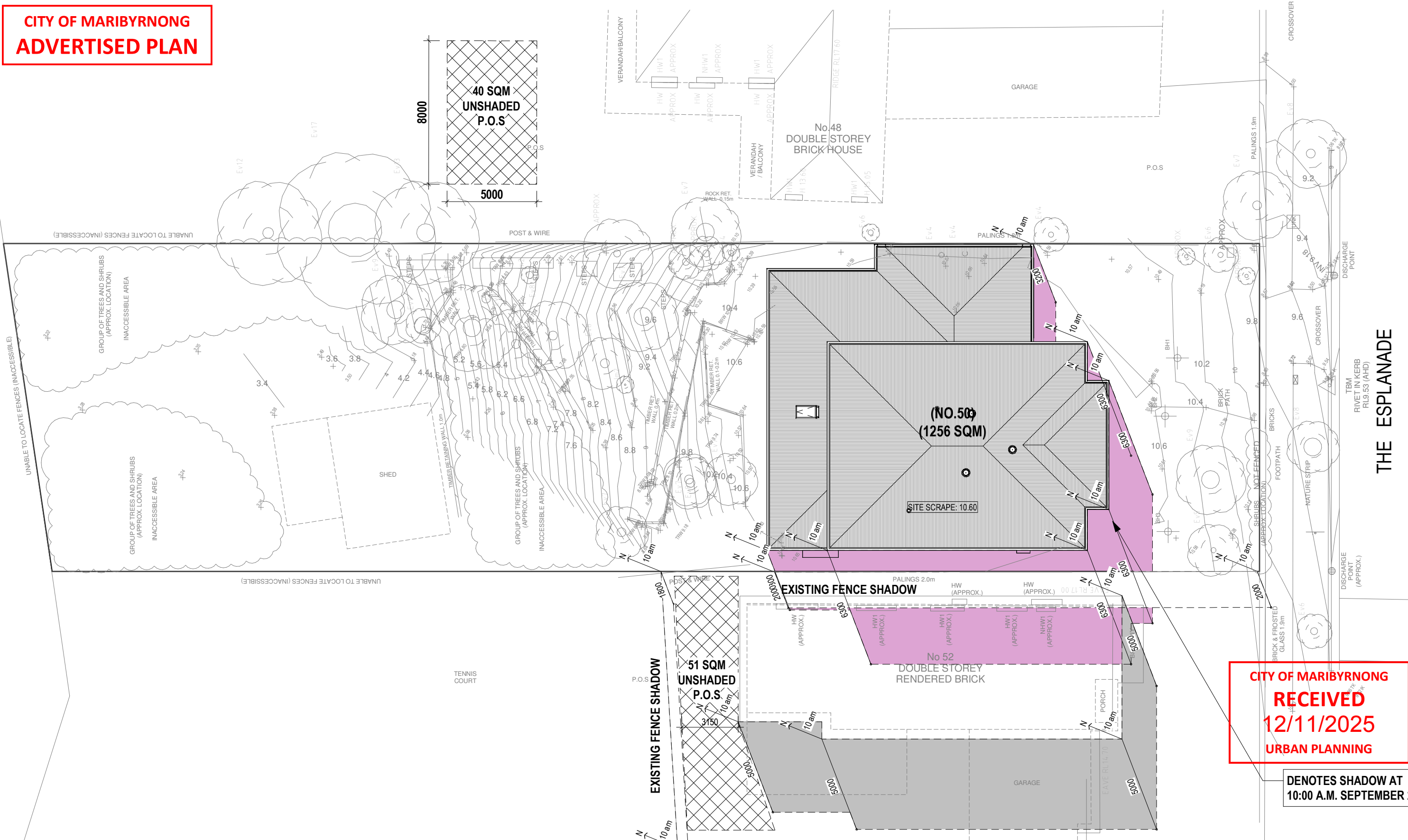
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SPEC: BASE

DESIGN: FRANKLIN 42	PRODUCT CODE: VD3FRA42APRDN	OWNER: THE CHEAH RESIDENCE
FACADE: ASPIRE	CEILING: 27G, 27F R	NO.50 THE ESPLANADE MARIBYRNONG VIC 3032
501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149	© COPYRIGHT Metricon homes owns copyright Unauthorised use, reproduction or adaptation is forbidden and will be prosecuted.	JOB N°: 754591 WIND SPEED: 34M/S DRAWN: PG1 CHECKED: XX PRELIMINARY CONTRACT DATE: 12/09/2025
		PERMIT N°: TBC MASTER ISSUED: 01/04/2023 SHEET: 3B/15

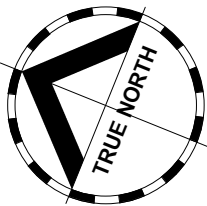
CITY OF MARIBYRNONG
ADVERTISED PLAN



THE ESPLANADE

CITY OF MARIBYRNONG
RECEIVED
12/11/2025
URBAN PLANNING

DENOTES SHADOW AT
10:00 A.M. SEPTEMBER 22



SITE AREA		1256.00 m ²
O/ALL SITE COVERAGE		
253.00 m ²	20.14%	
IMPERMEABLE AREA		
319.00 m ²	25.40%	
PERMEABLE AREA		
937.00 m ²	74.60%	
PAVING AREA		
66.00 m ²	5.25%	

Survey Date:	15/07/2025
Contour Level:	200MM Melway: 28 B7
Levels To:	AUST. HEIGHT DATUM

DRAWING TITLE:
OVERSHADOWING 10AM SEPTEMBER 22ND

0 1 2 3m
SCALE 1: 200 (A3)
Do NOT scale this drawing.
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m
metricon
DESIGNER
SPEC: BASE

DESIGN:
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FACADE:
ASPIRE

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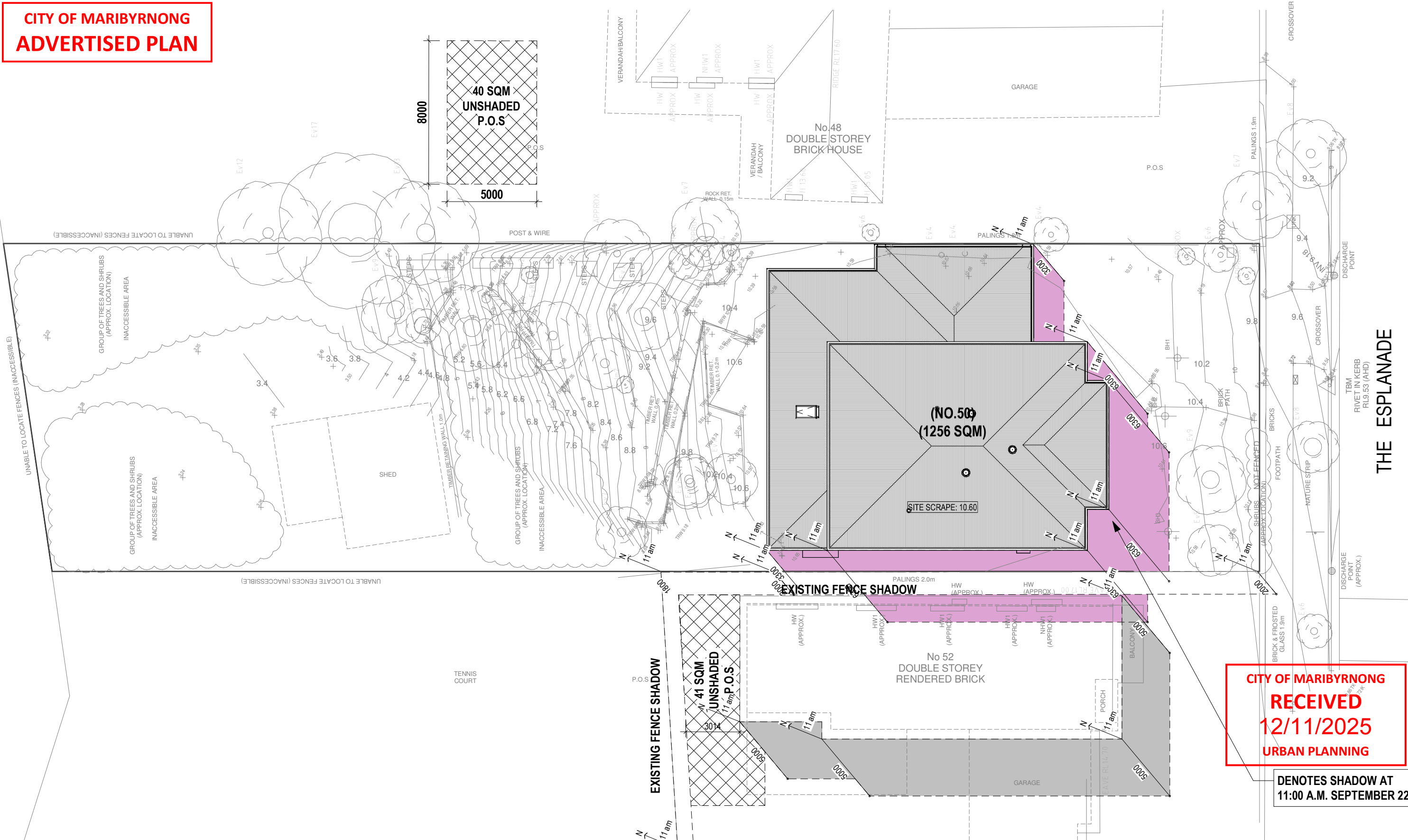
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THE CHEAH RESIDENCE

**NO.50 THE ESPLANADE MARIBYRNONG
VIC 3032**

JOB N°:	754591	PERMIT N°:	TBC
WIND SPEED:	34M/S	MASTER ISSUED:	01/04/2023
DRAWN:	PG1	CHECKED:	XX
PRELIMINARY CONTRACT		DATE: 12/09/2025	
SHEET:		3C/15	

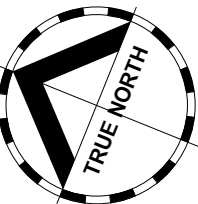
CITY OF MARIBYRNONG
ADVERTISED PLAN



THE ESPLANADE

CITY OF MARIBYRNONG
RECEIVED
12/11/2025
URBAN PLANNING

DENOTES SHADOW AT
11:00 A.M. SEPTEMBER 22



SITE AREA	
1256.00 m ²	
O/ALL SITE COVERAGE	
253.00 m ²	20.14%
IMPERMEABLE AREA	
319.00 m ²	25.40%
PERMEABLE AREA	
937.00 m ²	74.60%
PAVING AREA	
66.00 m ²	5.25%

Survey Date:	15/07/2025
Contour Level:	200MM Melway: 28 B7
Levels To:	AUST. HEIGHT DATUM

DRAWING TITLE:
OVERSHADOWING 11AM, SEPTEMBER 22ND



m DESIGNER
metricon

DESIGN:
FRANKLIN 42

FACADE:
ASPIRE

PRODUCT CODE:
VD3FRA42APRDN

CEILING:
27G, 27F R

OWNER:
THE CHEAH RESIDENCE

NO.50 THE ESPLANADE MARIBYRNONG
VIC 3032

JOB N°:	754591	PERMIT N°:	TBC
WIND SPEED:	34M/S	MASTER ISSUED:	01/04/2023

DRAWN:	PG1	CHECKED:	XX	SHEET:	
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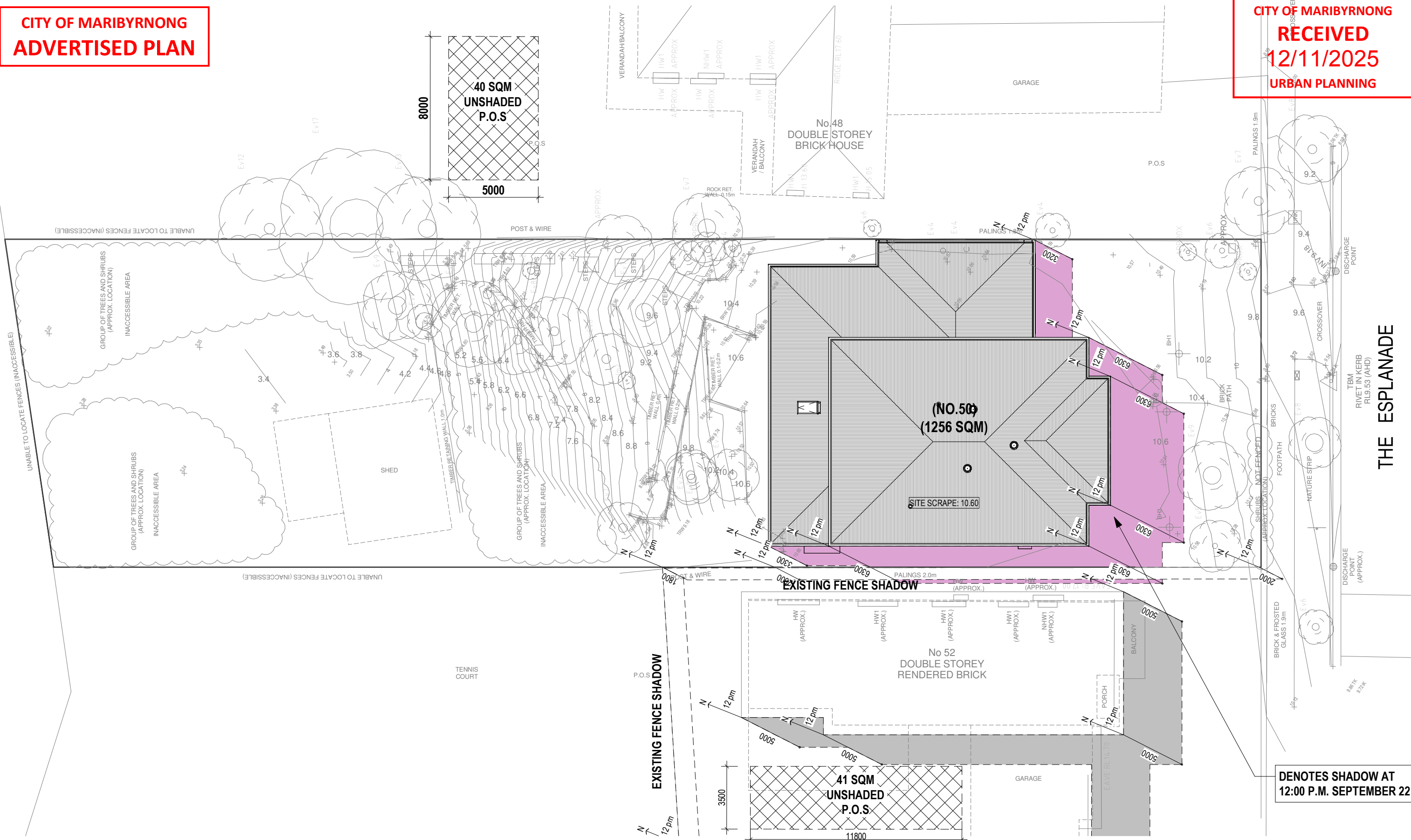
PRELIMINARY CONTRACT
DATE: 12/09/2025

3D/15

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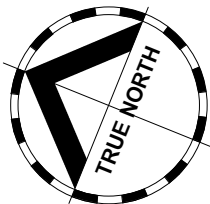
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THE ESPLANADE

DENOTES SHADOW AT
12:00 P.M. SEPTEMBER 22



SITE AREA		
1256.00 m²		
O/ALL SITE COVERAGE		
253.00 m²	20.14%	
IMPERMEABLE AREA		
319.00 m²	25.40%	
PERMEABLE AREA		
937.00 m²	74.60%	
PAVING AREA		Survey Date: 15/07/2025
66.00 m²	5.25%	Contour Level: 200MM Melway: 28 B7
		Levels To: AUST. HEIGHT DATUM

DRAWING TITLE:
OVERSHADOWING 12PM_SEPTMBER 22ND

0 1 2 3m
SCALE 1: 200 (A3)

m DESIGNER
metricon

DESIGN:
FRANKLIN 42

FACADE:
ASPIRE

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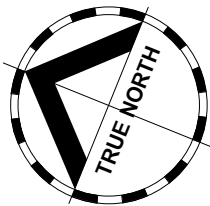
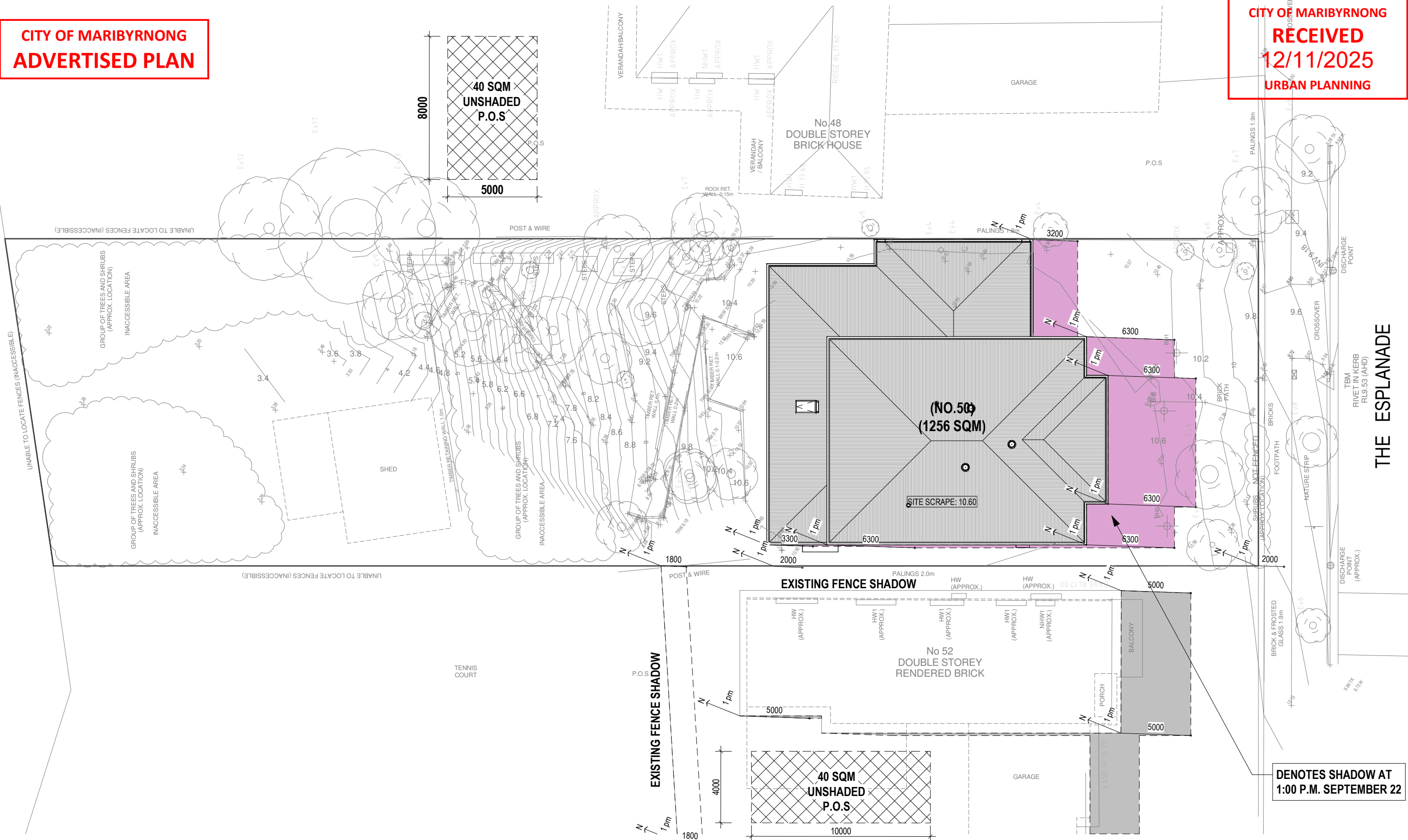
OWNER:
THE CHEAH RESIDENCE

NO.50 THE ESPLANADE MARIBYRNONG
VIC 3032

JOB N°:	754591	PERMIT N°:	TBC
WIND SPEED:	34M/S	MASTER ISSUED:	01/04/2023
DRAWN:	PG1	CHECKED:	XX
PRELIMINARY CONTRACT		DATE: 12/09/2025	
		SHEET:	
		3E/15	

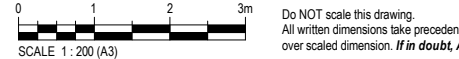
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ADVERTISED PLAN

CITY OF MARIBYRNONG
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12/11/2025
URBAN PLANNING



SITE AREA		
1256.00 m²		
O/ALL SITE COVERAGE		
253.00 m²	20.14%	
IMPERMEABLE AREA		
319.00 m²	25.40%	
PERMEABLE AREA		
937.00 m²	74.60%	Survey Date: 15/07/2025
PAVING AREA		Contour Level: 200MM Melway: 28 B7
66.00 m²	5.25%	Levels To: AUST. HEIGHT DATUM

DRAWING TITLE:
OVERSHADOWING 1PM SEPTEMBER 22ND



m DESIGNER
metricon

SPEC: BASE

DESIGN:
FRANKLIN 42

FACADE:
ASPIRE

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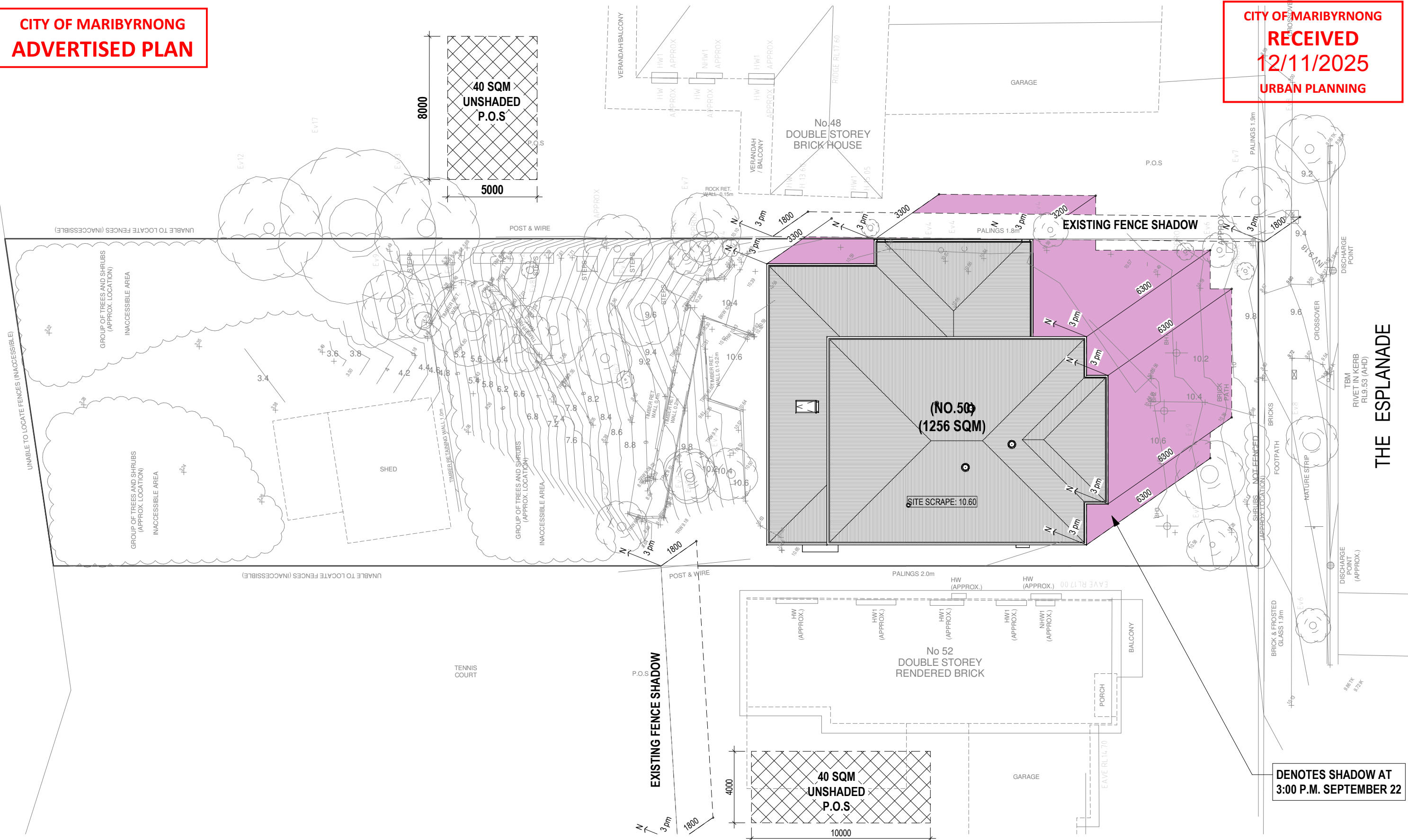
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THE CHEAH RESIDENCE

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VIC 3032

JOB N°: 754591	PERMIT N°: TBC	SHEET: 3F/15
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023	
DRAWN: PG1	CHECKED: XX	PRELIMINARY CONTRACT DATE: 12/09/2025

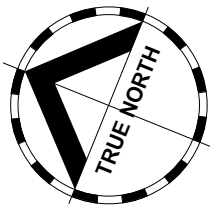
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ADVERTISED PLAN

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URBAN PLANNING



THE ESPLANADE

17/09/2025 7:15:58 PM



SITE AREA		1256.00 m ²	
O/ALL SITE COVERAGE			
253.00 m ²	20.14%		
IMPERMEABLE AREA			
319.00 m ²	25.40%		
PERMEABLE AREA			
937.00 m ²	74.60%		
PAVING AREA			
66.00 m ²	5.25%		
Survey Date:		15/07/2025	
Contour Level:		200MM Melway: 28 B7	
Levels To:		AUST. HEIGHT DATUM	

DRAWING TITLE:
OVERSHADOWING 3PM SEPTEMBER 22ND



m DESIGNER
metricon

SPEC: BASE

DESIGN:
FRANKLIN 42

FACADE:
ASPIRE

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VIC 3032

JOB N°: 754591	PERMIT N°: TBC	SHEET: 3H/15
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023	
DRAWN: PG1	CHECKED: XX	PRELIMINARY CONTRACT DATE: 12/09/2025

D

CITY OF MARIBYRNONG
ADVERTISED PLANCITY OF MARIBYRNONG
RECEIVED
12/11/2025
URBAN PLANNING

A

IMPORTANT NOTE:
INTERNAL GARAGE DOOR TO BE
SEALED AS PER NCC 2022.**IMPORTANT NOTE:**
GUTTER AND DRAINAGE SYSTEM
TO COMPLY WITH AS3500PROVIDE 2340mm HIGH INTERNAL
DOORS THROUGHOUTHEAT PUMP CONC. PAD
INC. CAPPED STORMWATER
RISER TO RHS

METER BOX



GAS METER

STRUCTURAL POST - REFER TO
ENGINEERING149 mm STEPDOWN TO
CONC. SLAB FLOORBEAM &
BRICKWORK
ABOVE PORTICO
OPENINGSSTRUCTURAL POST - REFER TO
ENGINEERING750X750MM CONCRETE PAD FOR
HP200 HEAT PUMP (50MM ABOVE
REBATE) INCLUDING CAPPED
STORMWATER RISER TO RHS

LEGEND

(DG) DOUBLE GLAZED
(DE) DOUBLE LOW E
(FILM) OVERLOOKING**IMPORTANT NOTE:**PROVIDE DOUBLE LOW E AS WELL AS DOUBLE
GLAZING TO W1, W2, W3, W4, W5, W6, W13,
W15, W23 AS PER SPEC S3**IMPORTANT NOTE:**PROVIDE DOUBLE GLAZING TO WINDOWS AND
EXTERNAL SLIDING DOORS AS STANDARD
(EXCLUDING FRONT FACADE)

C

B

NOTES:

- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- 300D. BULKHEAD TO GROUND FLOOR (U.N.O)
- 300D. BULKHEAD TO FIRST FLOOR (U.N.O)

LEGEND:

 UNDER STAIR WALLS (WHERE APPLICABLE) -
TO BE BUILT AFTER STAIR
 70MM STUD WALLS

V (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT

 900W. x 1200D. CIRCULATION SPACE
TO FRONT EDGE OF TOILET PAN IN WALL REINFORCING REFER
DETAIL INDICATIVE LOCATION OF FLOOR
WASTE

FW

AREA

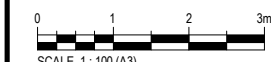
m²

SQR

GROUND FLOOR	184.76 m ²	19.89
FIRST FLOOR	143.14 m ²	15.41
TOTAL LIVING	327.89 m ²	35.30
PORTICO	7.19 m ²	0.77
OUTDOOR ROOM	15.36 m ²	1.65
GARAGE	45.14 m ²	4.86
TOTAL OTHER	67.68 m ²	7.29
TOTAL	395.57 m ²	42.58

DRAWING TITLE:

GROUND FLOOR PLAN



SCALE 1: 100 (A3)

Do NOT scale this drawing.
All written dimensions take precedence
over scaled dimension. If in doubt, ASK.m
metricon

DESIGNER

SPEC: BASE

DESIGN:

FRANKLIN 42

FACADE:

ASPIRE

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VIC 3032

JOB N°: 754591

PERMIT N°: TBC

WIND SPEED: 34M/S

MASTER ISSUED: 01/04/2023

DRAWN: PG1

CHECKED: XX

SHEET:

PRELIMINARY CONTRACT

DATE: 12/09/2025

04/15

IMPORTANT NOTE:
PROVIDE DOUBLE GLAZING TO WINDOWS AND
EXTERNAL SLIDING DOORS AS STANDARD
(EXCLUDING FRONT FACADE)

LEGEND
(DG) DOUBLE GLAZED
(DE) DOUBLE LOW E
(FILM) OVERLOOKING

CITY OF MARIBYRNONG ADVERTISED PLAN

IMPORTANT NOTE:
GUTTER AND DRAINAGE SYSTEM
TO COMPLY WITH AS3500

PROVIDE 2340mm HIGH INTERNAL
DOORS THROUGHOUT

CITY OF MARIBYRNONG
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- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (U.N.O) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- 300D. BULKHEAD TO GROUND FLOOR (U.N.O)
- 300D. BULKHEAD TO FIRST FLOOR (U.N.O)

IN WALL REINFORCING REFER
DETAIL

V (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT

⊗ SMOKE ALARM

DESIGNER

SPEC: BASE

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JOB N°: 754591	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
DRAWN: PG1	CHECKED: XX
<div> <div>PRELIMINARY CONTRACT</div> <div>DATE: 12/09/2025</div> </div>	
SHEET: 05/15	

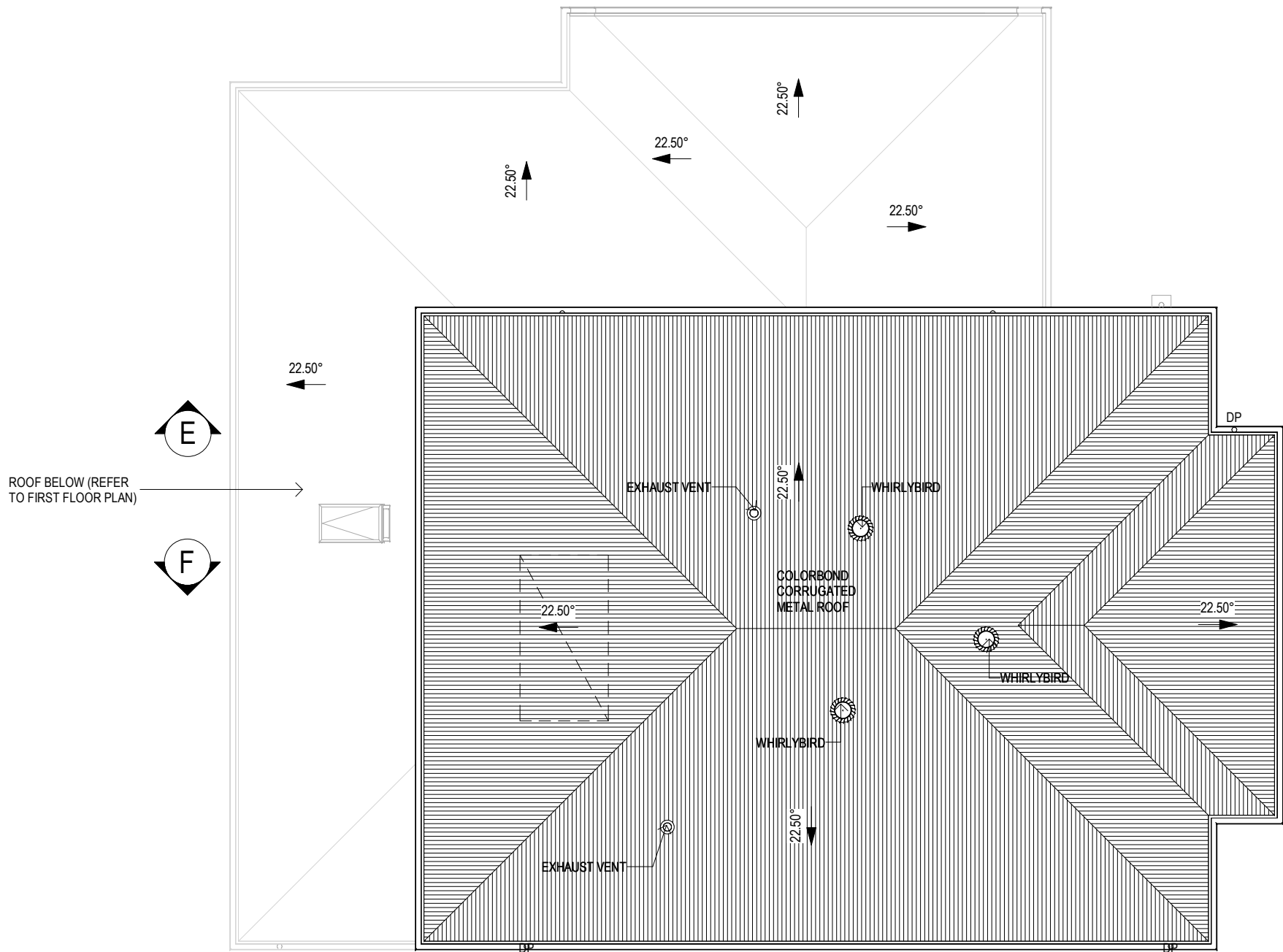
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D

CITY OF MARIBYRNONG
ADVERTISED PLAN

A

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C

B

DRAWING TITLE:
ROOF PLAN



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DESIGNER

SPEC: BASE

DESIGN:
FRANKLIN 42

FACADE:
ASPIRE

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PRODUCT CODE:
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CEILING:
27G, 27F R

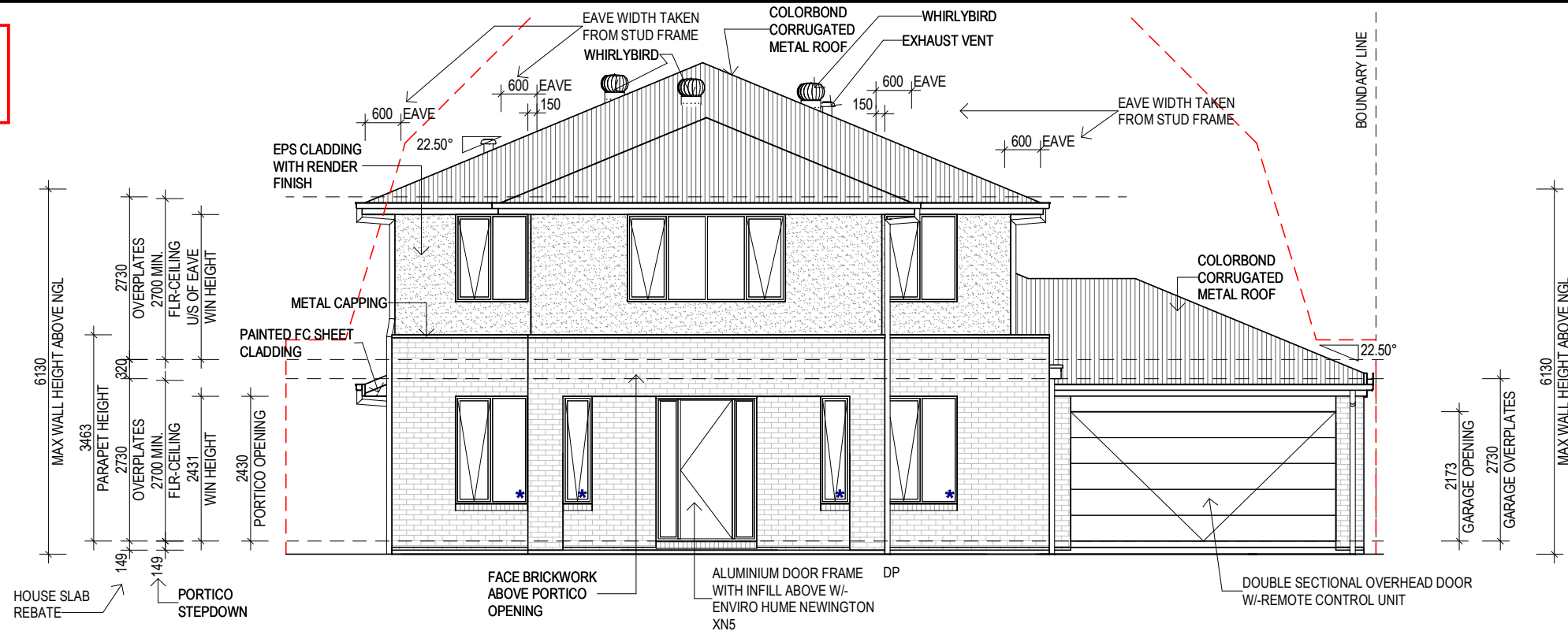
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VIC 3032

JOB N°: 754591	PERMIT N°: TBC	SHEET: 5A/15
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023	
DRAWN: PG1	CHECKED: XX	
PRELIMINARY CONTRACT DATE: 12/09/2025		

CITY OF MARIBYRNONG
ADVERTISED PLAN



IMPORTANT NOTE:
WHERE WHIRLYBIRDS ARE REQUIRED,
LOCATION OF WHIRLYBIRD TO BE
CONFIRMED ON SITE.

IMPORTANT NOTE:
PROVIDE ALUMINIUM FRAMED FLYSCREENS
WITH FIBREGLASS MESH TO ALL OPENABLE
WINDOWS EXCLUDING GARAGE.

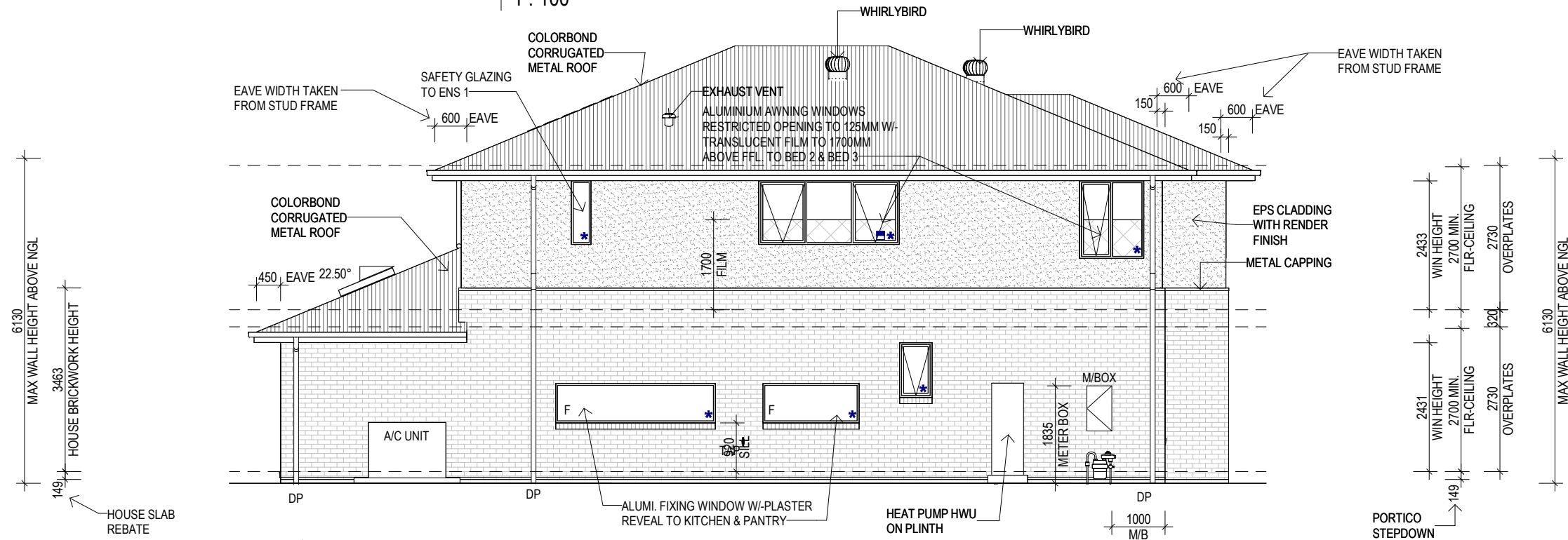
GLAZING LEGEND

★ DOUBLE GLAZED

□ FILM - OVERLOOKING

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A ELEVATION
1 : 100

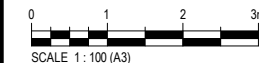


B ELEVATION
1 : 100

NOTES:

- PROVIDE BRICKWORK ABOVE ALL GROUND FLOOR SIDE AND REAR ELEVATION WINDOWS & DOORS AS REQUIRED UNLESS NOTED OTHERWISE.
- PROVIDE F.C. SHEET INFILL ABOVE FRONT ENTRY DOOR FRAME, BRICKWORK ABOVE GROUND FLOOR FRONT ELEVATION WINDOWS & ABOVE GARAGE DOOR OPENING UNLESS NOTED OTHERWISE

DRAWING TITLE:
ELEVATIONS



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DESIGNER

SPEC: BASE

DESIGN:
FRANKLIN 42

FACADE:
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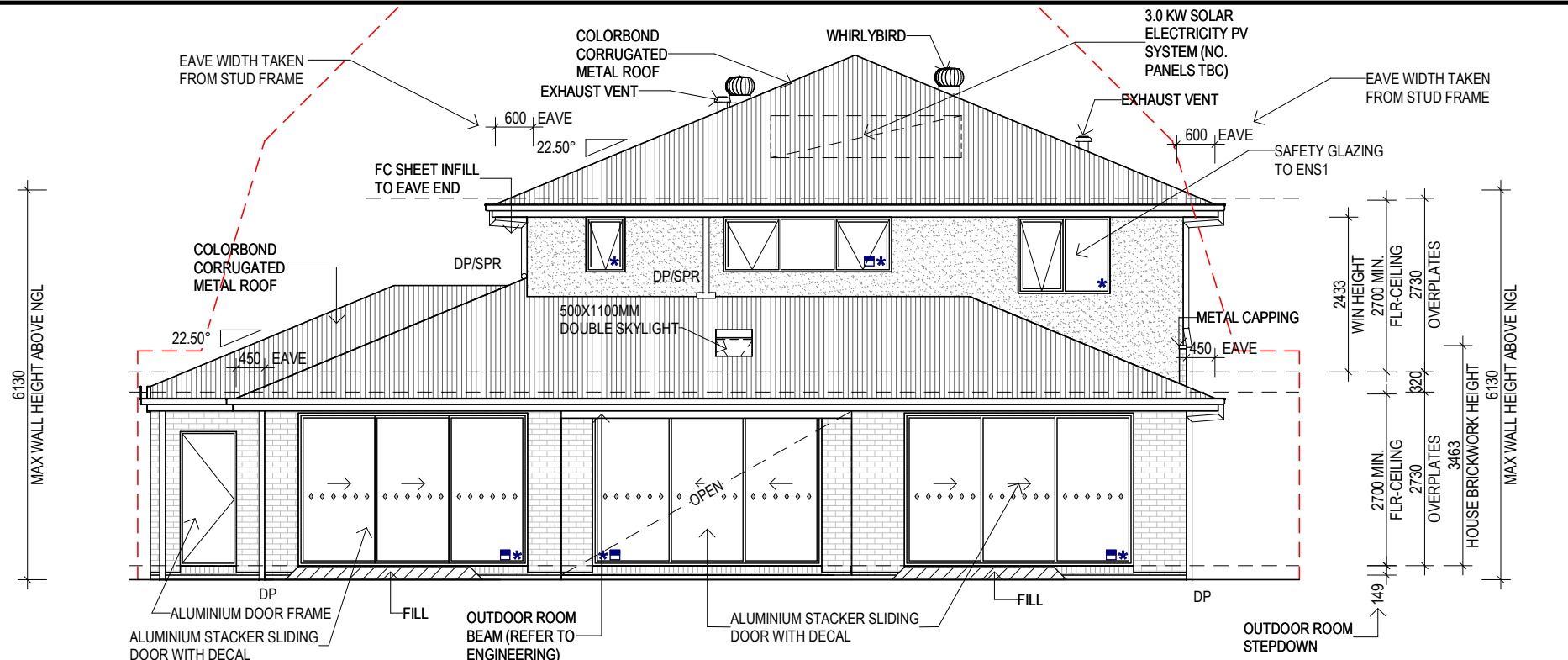
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27G, 27F R

OWNER:
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NO.50 THE ESPLANADE MARIBYRNONG
VIC 3032

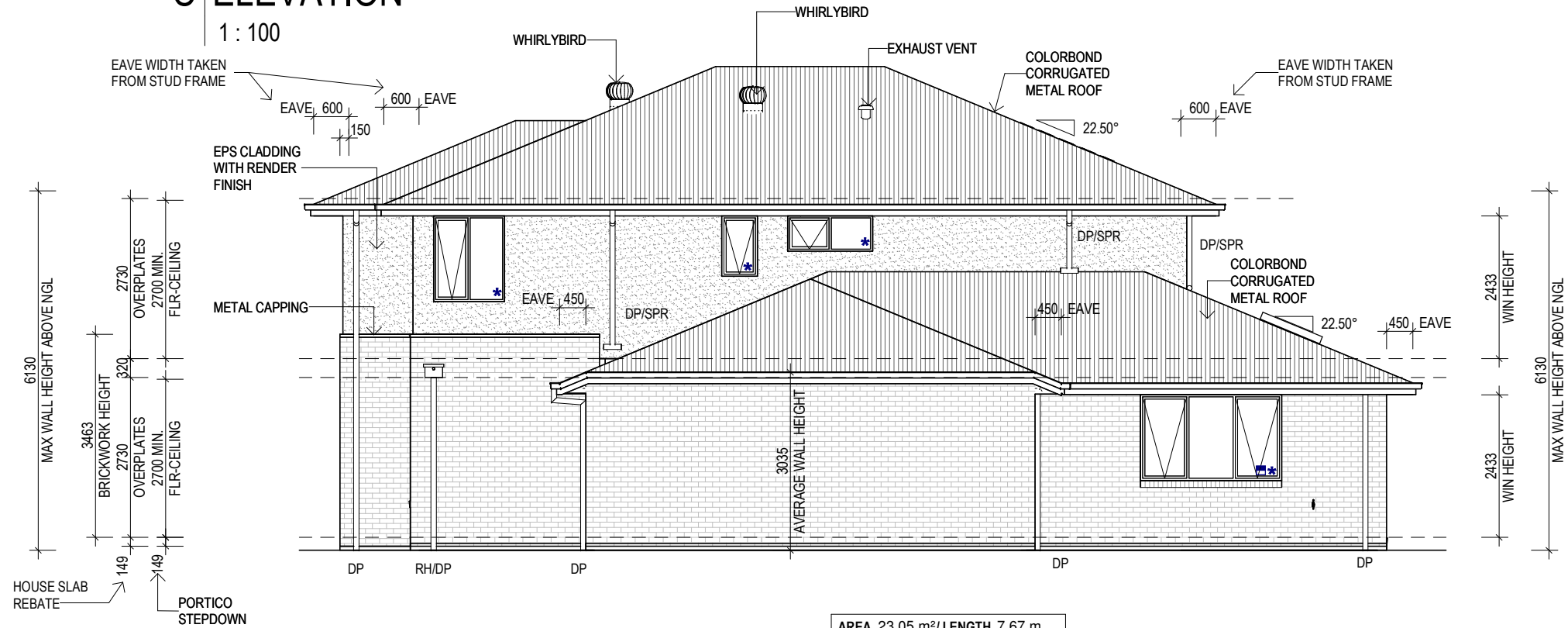
JOB N°: 754591	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
DRAWN: PG1	CHECKED: XX
PRELIMINARY CONTRACT DATE: 12/09/2025	
SHEET: 06/15	

CITY OF MARIBYRNONG
ADVERTISED PLAN



C ELEVATION

1 : 100



D ELEVATION

1 : 100

AREA 23.05 m²/ LENGTH 7.67 m
= AVERAGE WALL HEIGHT 3.01 m

IMPORTANT NOTE:
WHERE WHIRLYBIRDS ARE REQUIRED,
LOCATION OF WHIRLYBIRD TO BE
CONFIRMED ON SITE.

IMPORTANT NOTE:
PROVIDE ALUMINIUM FRAMED FLYSCREENS
WITH FIBREGLASS MESH TO ALL OPENABLE
WINDOWS EXCLUDING GARAGE.

GLAZING LEGEND
* DOUBLE GLAZED
□ FILM - OVERLOOKING

CITY OF MARIBYRNONG
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NOTES:
• PROVIDE BRICKWORK ABOVE ALL GROUND FLOOR SIDE
AND REAR ELEVATION WINDOWS & DOORS AS REQUIRED
UNLESS NOTED OTHERWISE.

DRAWING TITLE:
ELEVATIONS
0 1 2 3m
SCALE 1: 100 (A3)
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SPEC: BASE

DESIGN:
FRANKLIN 42
FACADE:
ASPIRE
PRODUCT CODE:
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CEILING:
27G, 27F R

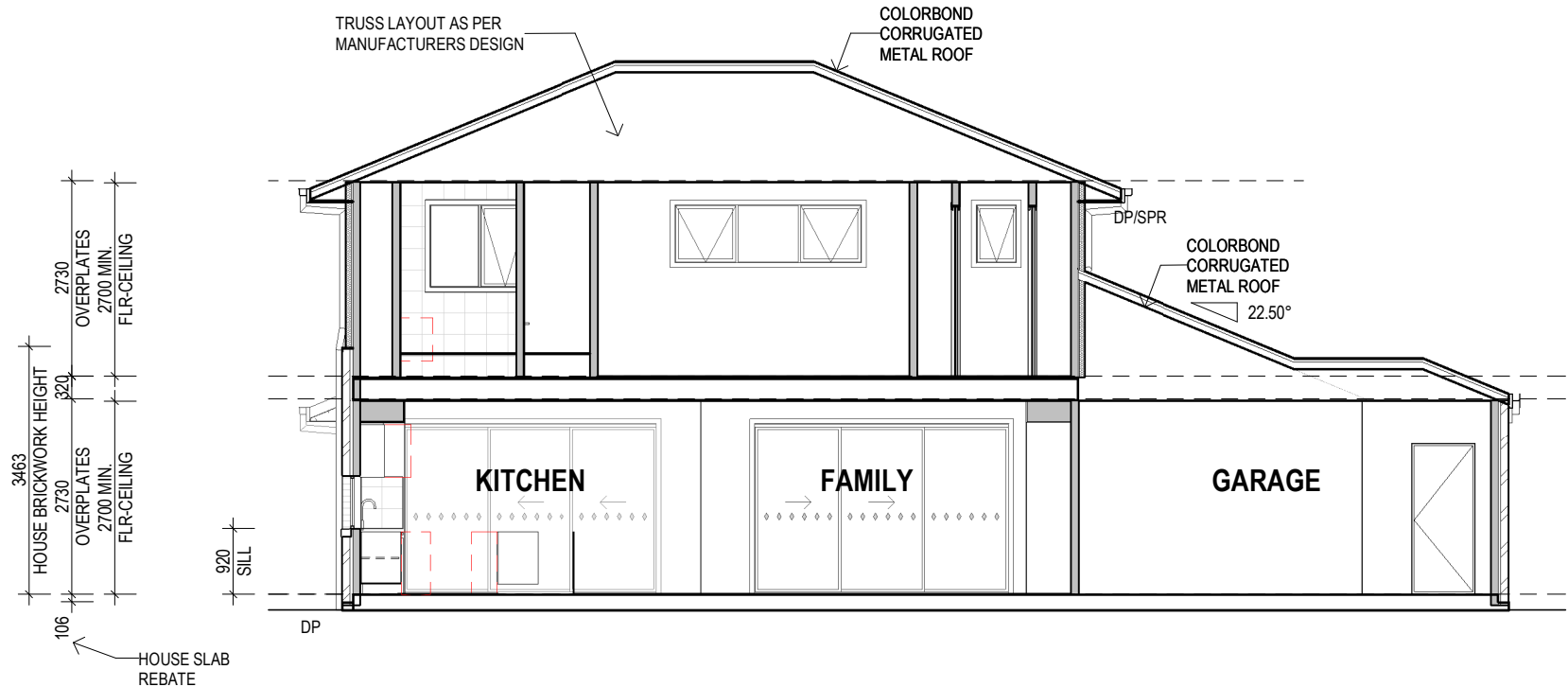
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VIC 3032
JOB N°: 754591
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CHECKED: XX
PRELIMINARY CONTRACT
DATE: 12/09/2025
PERMIT N°: TBC
MASTER ISSUED: 01/04/2023
SHEET:
07/15

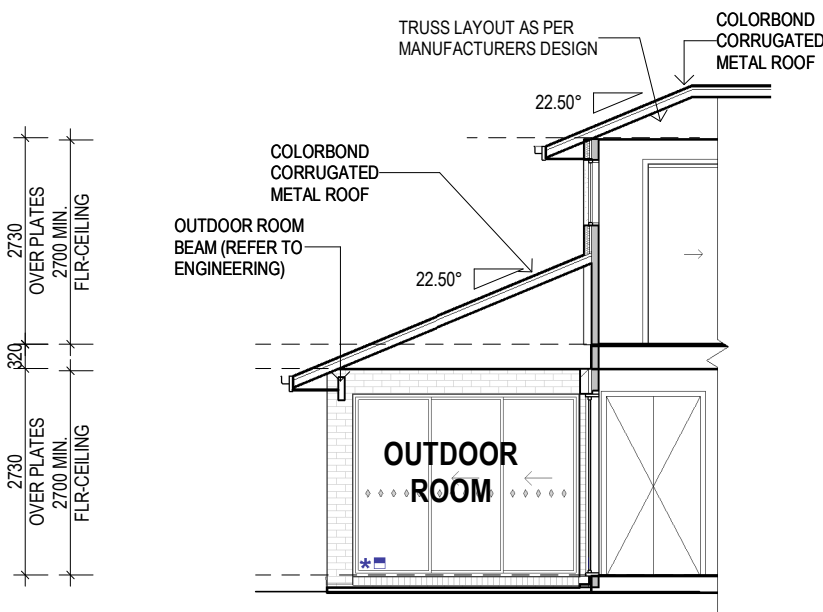
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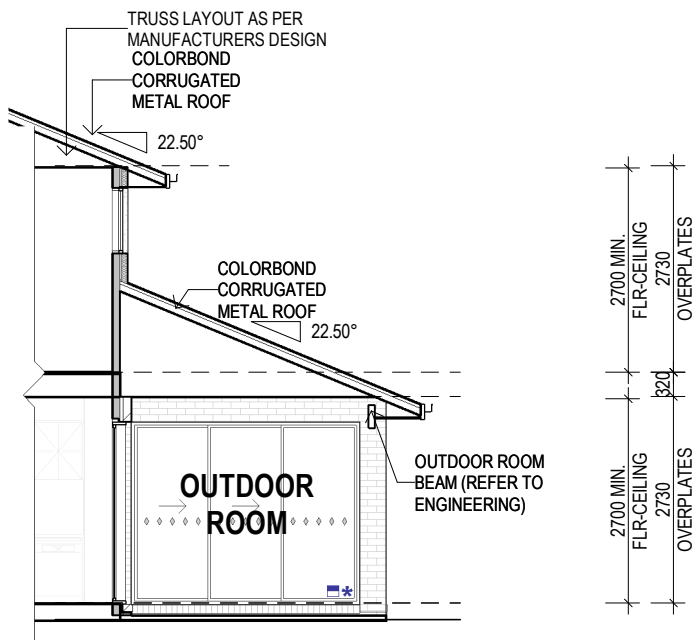
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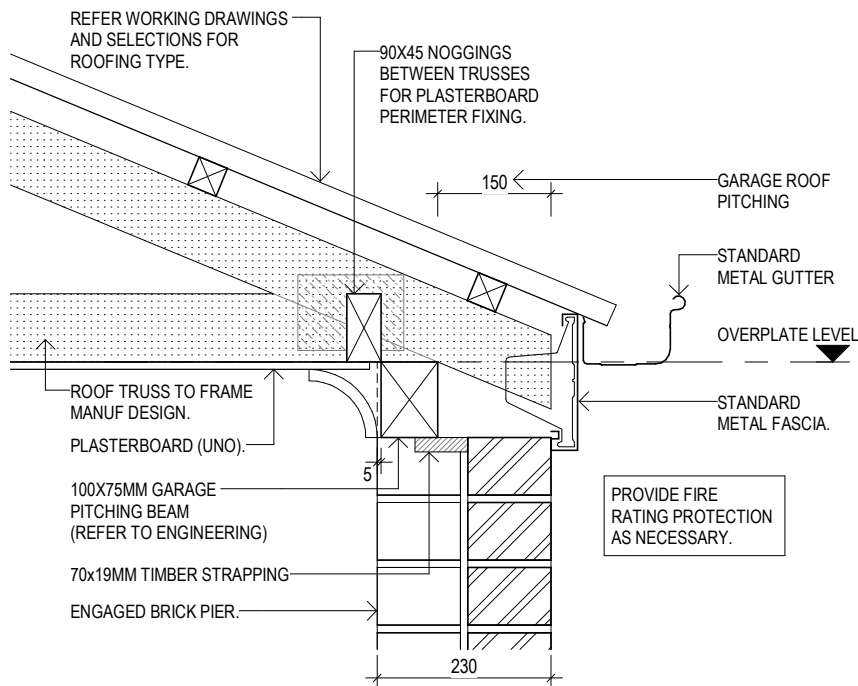
Y SECTION
1 : 100



E SECTION
1 : 100



F SECTION
1 : 100



TYPICAL SIDE SETBACK EAVE DETAIL
PITCHED ROOF (BRICKWORK PIER)
SCALE 1:10

NOTE: SECTION VIEW IS INDICATIVE ONLY – CONSTRUCTION DETAILS, COLOUR SELECTION & CONTRACT DOCUMENTATION ITEMS TAKE PRECEDENCE

NOTES:
• STAIR / BALUSTRADE SHOWN ARE INDICATIVE ONLY.
REFER COLOUR SELECTION.

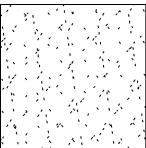
DRAWING TITLE:
SECTION
0 1 2 3m
SCALE As indicated (A3)
Do NOT scale this drawing.
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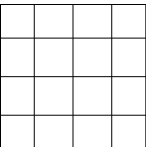
SPEC: BASE

DESIGN: FRANKLIN 42		PRODUCT CODE: VD3FRA42APRDN		OWNER: THE CHEAH RESIDENCE					
FACADE: ASPIRE		CEILING: 27G, 27F R		NO.50 THE ESPLANEDE MARIBYRNONG VIC 3032					
501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149 Builders Licence N°: CDB-U 52967 ACN: 005 108 752 Tel: 1300 786 773 www.metriconhomes.com.au		© COPYRIGHT Metricon homes owns copyright in this drawing. Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.		JOB N°: 754591		PERMIT N°: TBC			
				WIND SPEED: 34M/S		MASTER ISSUED: 01/04/2023			
				DRAWN: PG1		CHECKED: XX		SHEET:	
				PRELIMINARY CONTRACT DATE: 12/09/2025		08/15			

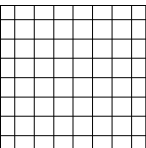
FLOOR COVERINGS



CARPET 50.3 m²

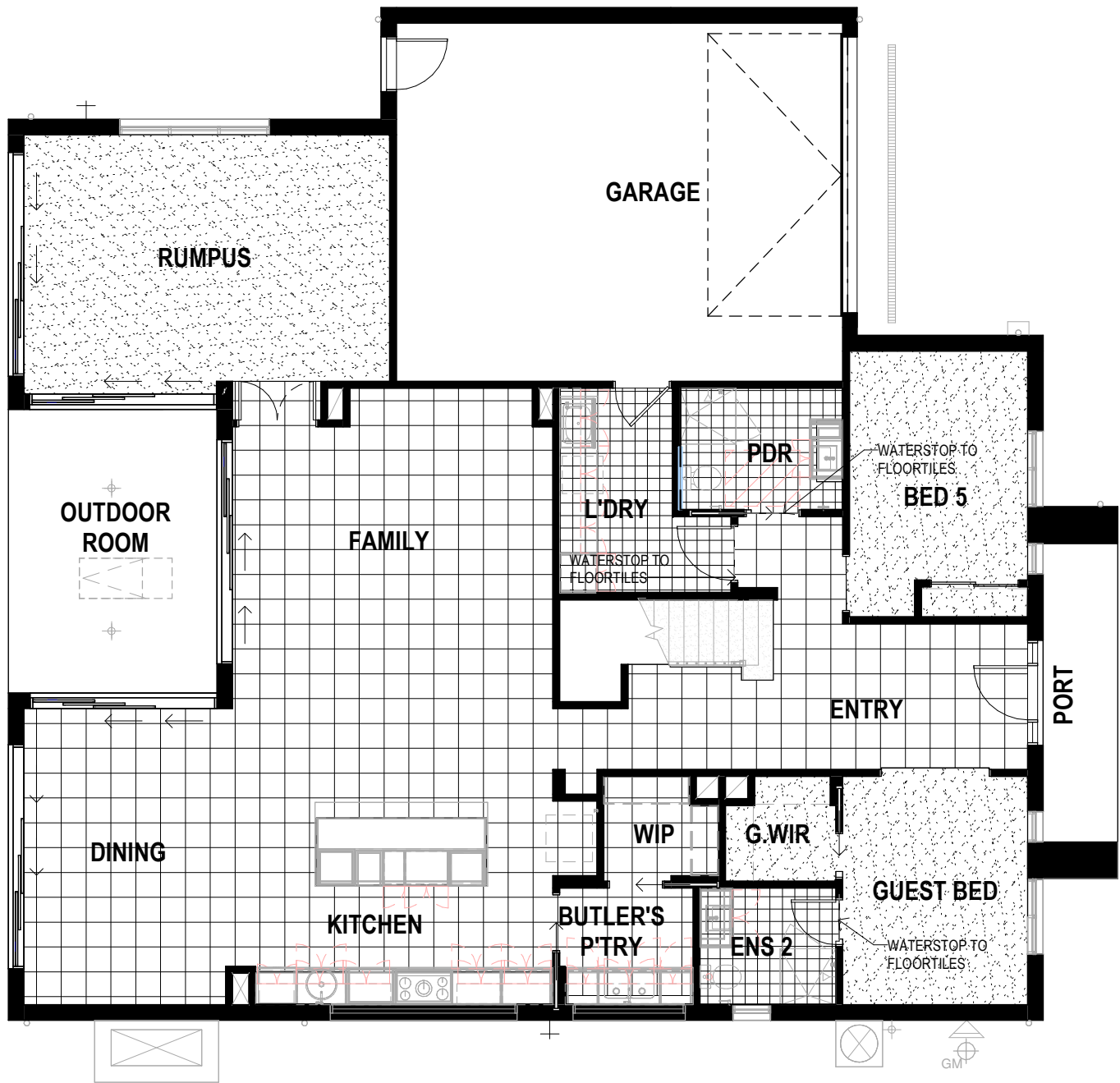


TILES 86.2 m²



WET AREA TILES 16.2 m²

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12/11/2025
URBAN PLANNING



DRAWING TITLE:
GROUND FLOOR FLOOR COVERINGS

0 1 2 3m
SCALE 1: 100 (A3)

Do NOT scale this drawing.
All written dimensions take precedence
over scaled dimension. *If in doubt, ASK.*

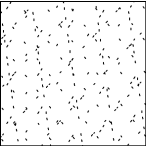
m
metricon

DESIGNER

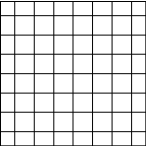
SPEC: BASE

DESIGN: FRANKLIN 42	PRODUCT CODE: VD3FRA42APRDN	OWNER: THE CHEAH RESIDENCE
FACADE: ASPIRE	CEILING: 27G, 27F R	NO.50 THE ESPLANADE MARIBYRNONG VIC 3032
501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149 Builders Licence N°: CDB-U 52967 ACN: 005 108 752 Tel: 1300 786 773 www.metriconhomes.com.au	© COPYRIGHT Metricon homes owns copyright in this drawing. Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.	JOB N°: 754591 WIND SPEED: 34M/S DRAWN: PG1 PRELIMINARY CONTRACT DATE: 12/09/2025
PERMIT N°: TBC MASTER ISSUED: 01/04/2023 CHECKED: XX SHEET:	09/15	

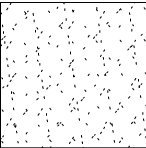
FLOOR COVERINGS



CARPET 99.6 m²

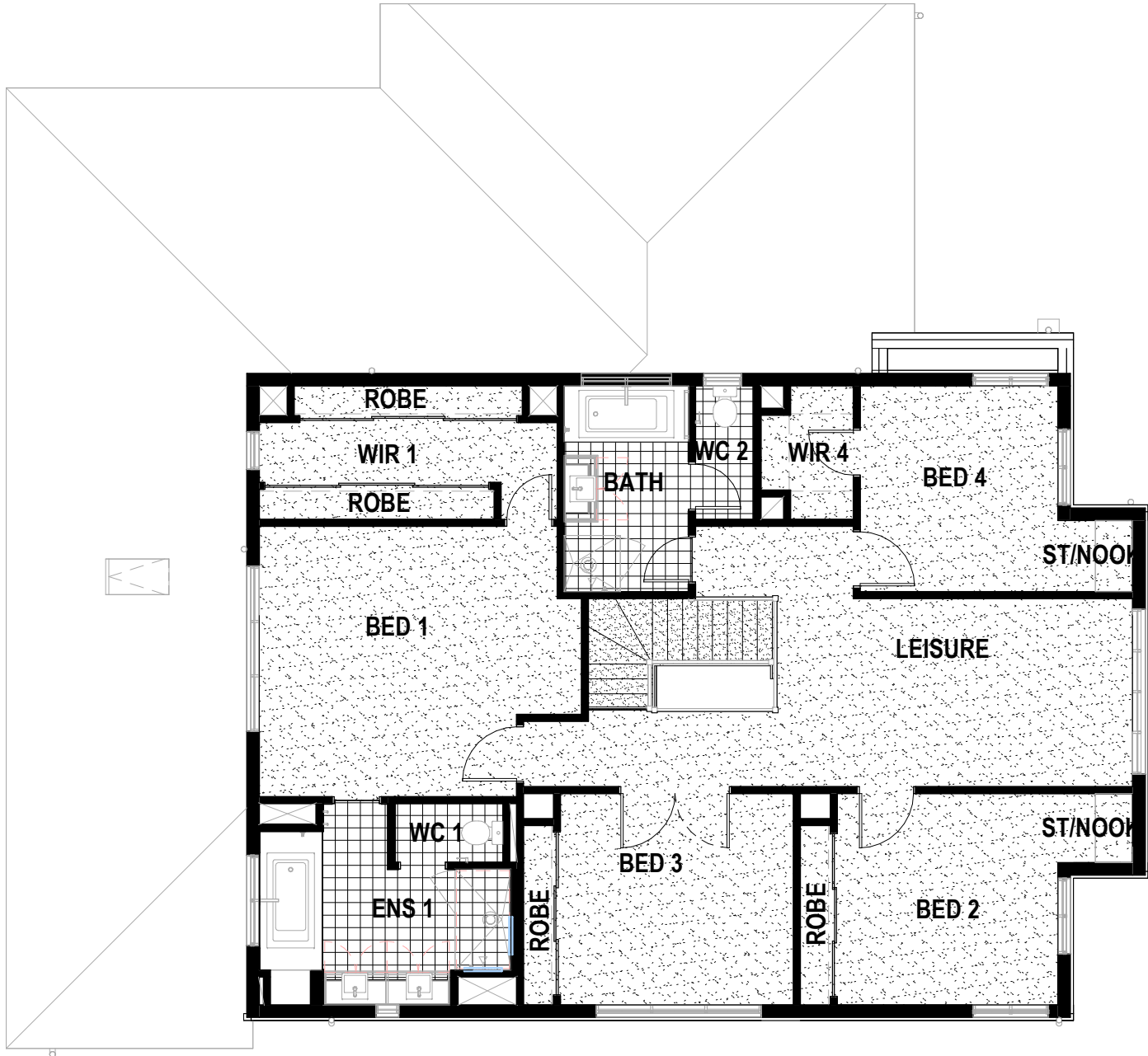


WET AREA TILES 14.7 m²



CARPET (STAIR COVERING) 9.35 m²

CITY OF MARIBYRNONG
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DRAWING TITLE:
FIRST FLOOR FLOOR COVERINGS

0 1 2 3m
SCALE 1: 100 (A3)

Do NOT scale this drawing.
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m
metricon

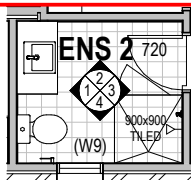
DESIGNER

SPEC: BASE

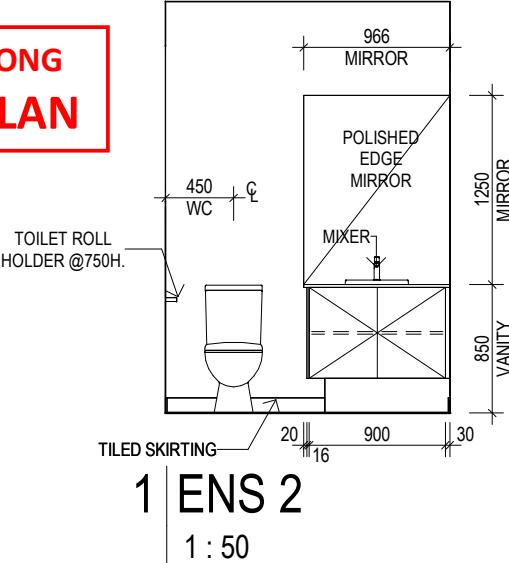
DESIGN: FRANKLIN 42	PRODUCT CODE: VD3FRA42APRDN	OWNER: THE CHEAH RESIDENCE	
FACADE: ASPIRE	CEILING: 27G, 27F R	NO.50 THE ESPLANADE MARIBYRNONG VIC 3032	
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JOB N°: 754591		PERMIT N°: TBC	
WIND SPEED: 34M/S		MASTER ISSUED: 01/04/2023	
DRAWN: PG1		CHECKED: XX	SHEET:
PRELIMINARY CONTRACT DATE: 12/09/2025			10/15

17/09/2025 7:16:08 PM

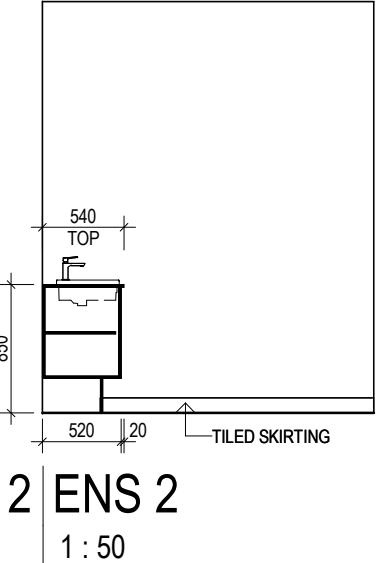
CITY OF MARIBYRNONG
ADVERTISED PLAN



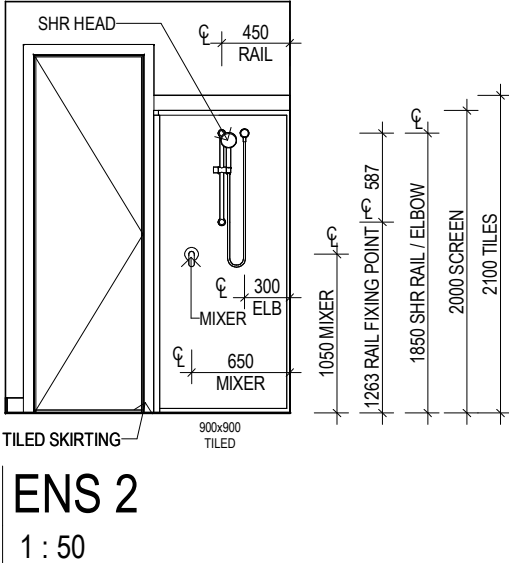
ENS 2
1 : 100



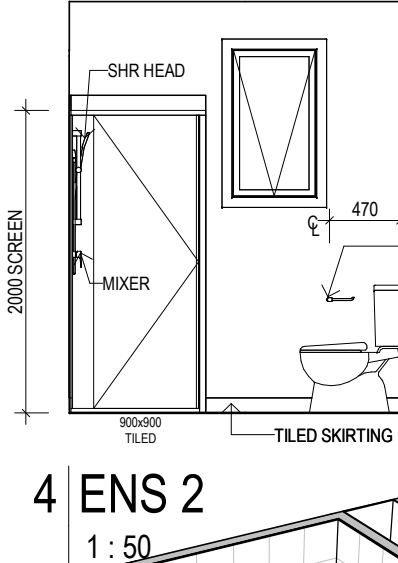
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1 : 50



2 ENS 2
1 : 50

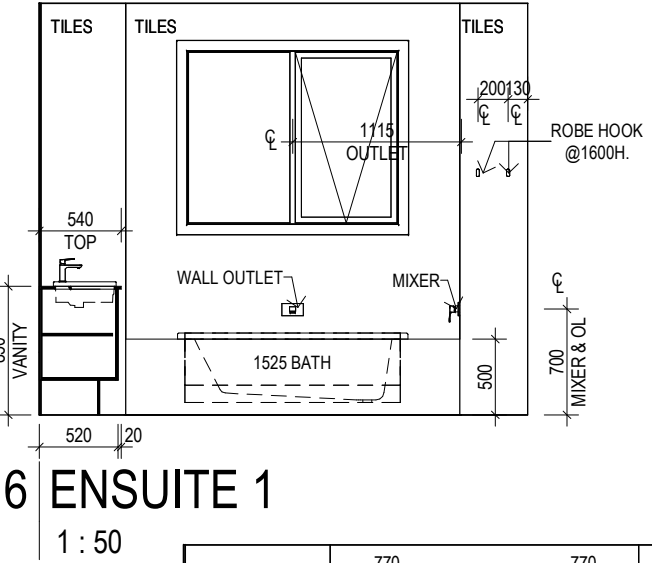


3 ENS 2
1 : 50

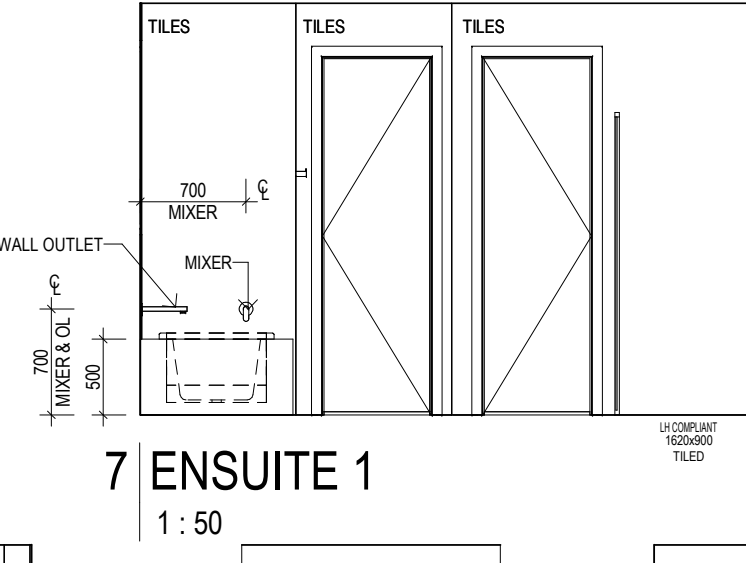


4 ENS 2
1 : 50

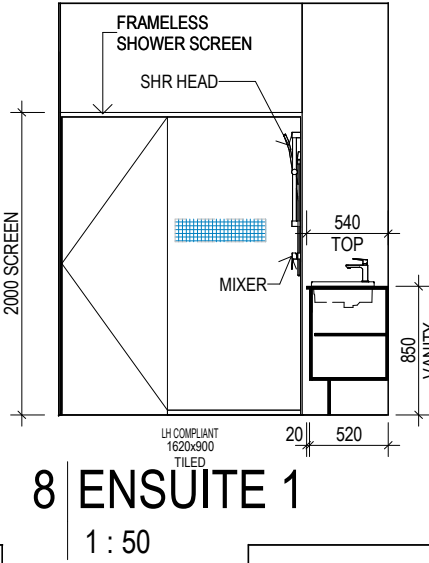
CITY OF MARIBYRNONG
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URBAN PLANNING



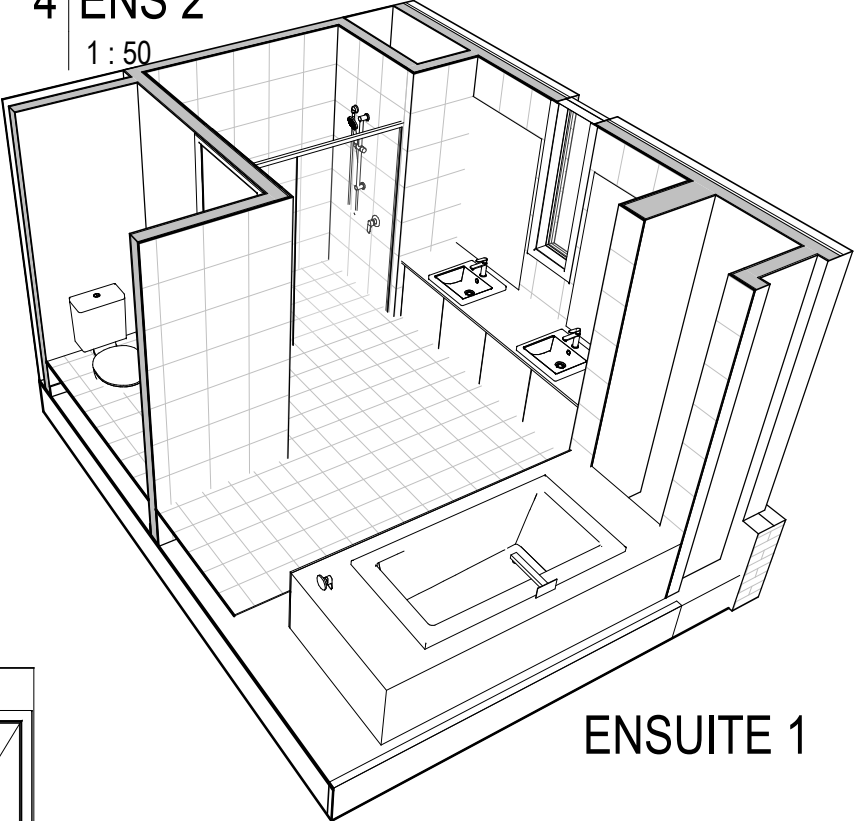
6 ENSUITE 1
1 : 50



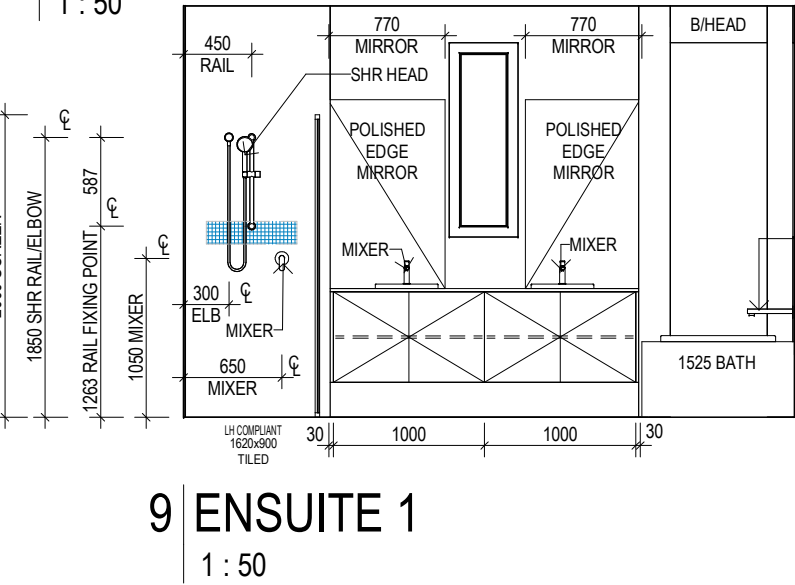
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1 : 50



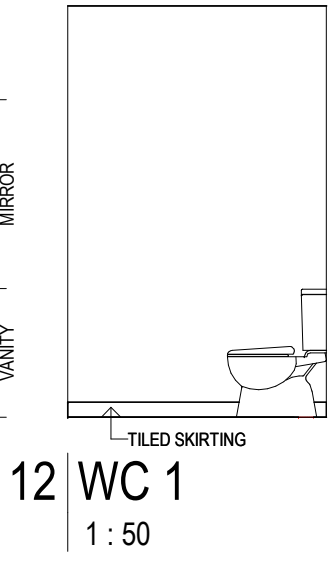
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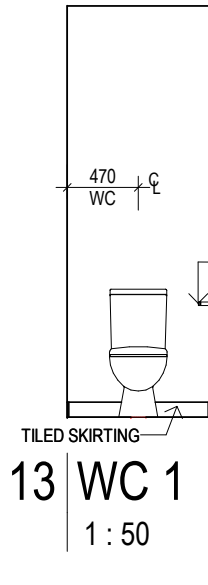
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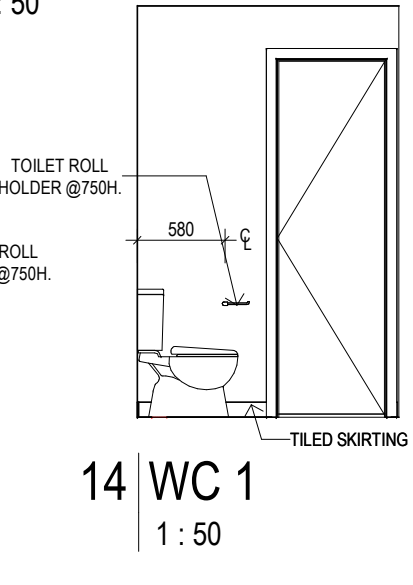
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1 : 50



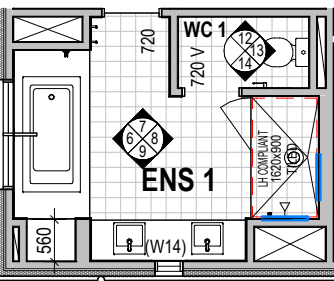
12 WC 1
1 : 50



13 WC 1
1 : 50



14 WC 1
1 : 50

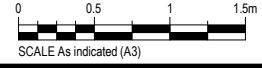


ENSUITE 1/ WC 1
1 : 100

- INTERNAL DIMENSIONS ARE TAKEN FROM PLASTER.
- INTERNAL HEIGHT DIMENSIONS ARE TAKEN FROM FINISHED STRUCTURAL F.L. FLOOR COVERINGS ARE NOT ACCOUNTED FOR.
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- REFER TO WAG-D-001 FOR WET AREA GENERIC DETAILS

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)
TYPE SH-2	SHELF WITH RECESSED FRONT RAIL & SUPPORT AS REQUIRED

DRAWING TITLE:
INTERNAL ELEVATIONS



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metricon DESIGNER

SPEC: BASE

DESIGN:
FRANKLIN 42

PRODUCT CODE:

FACADE:
ASPIRE

CEILING:
27G, 27F R

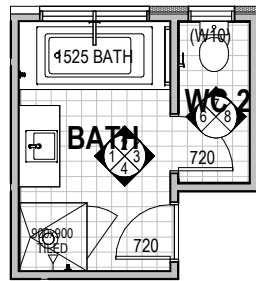
501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
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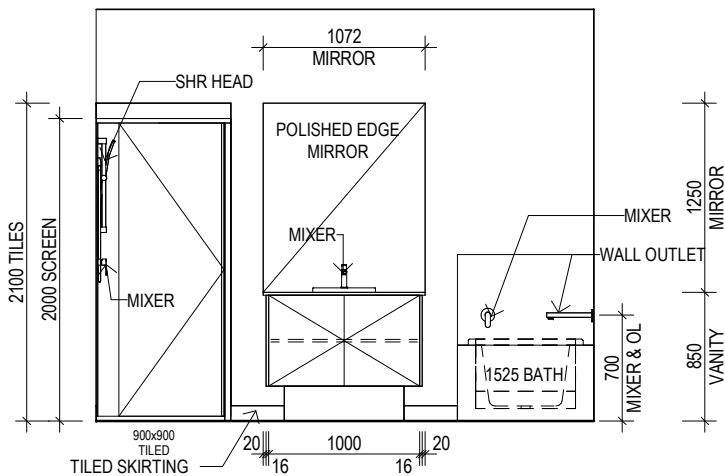
NO.50 THE ESPLANADE MARIBYRNONG
VIC 3032

JOB N°: 754591	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
DRAWN: PG1	CHECKED: XX
PRELIMINARY CONTRACT DATE: 12/09/2025	
SHEET: 13/15	



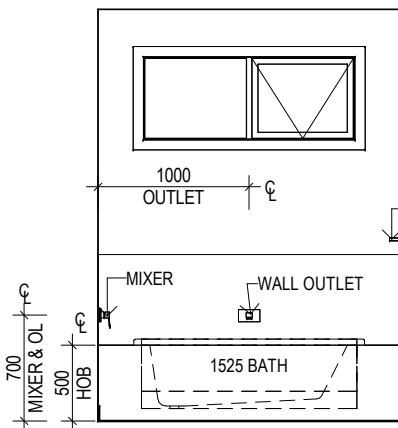
BATH

1 : 100



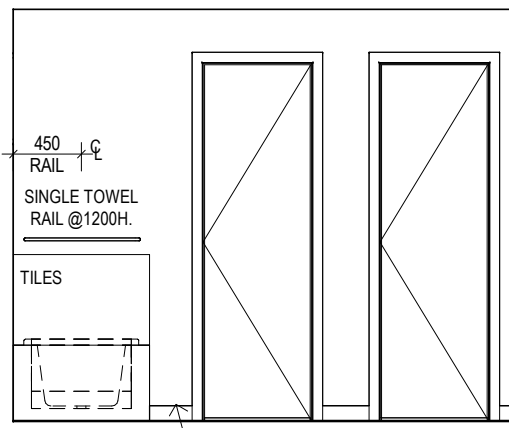
1 BATH

1 : 50



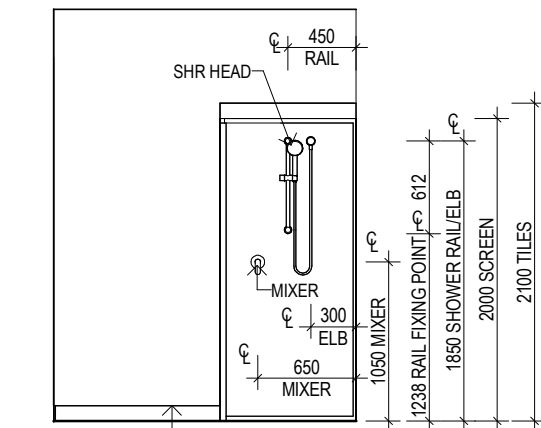
2 BATH

1 : 50



3 BATH

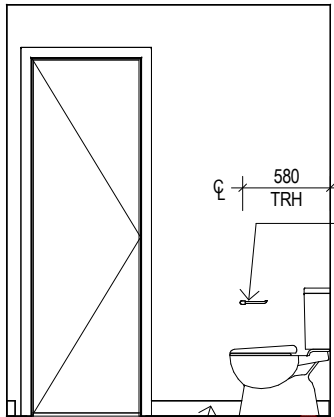
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4 BATH

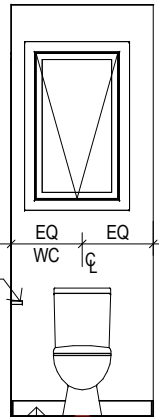
1 : 50

CITY OF MARIBYRNONG
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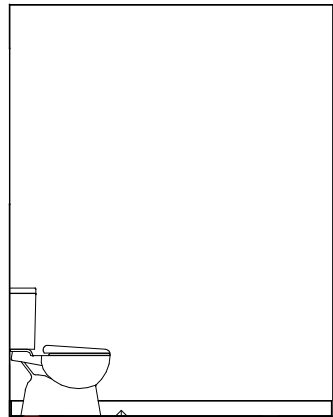
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1 : 50



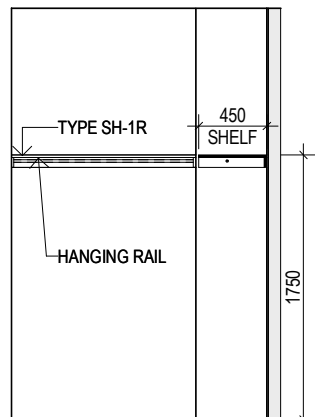
7 WC 2

1 : 50



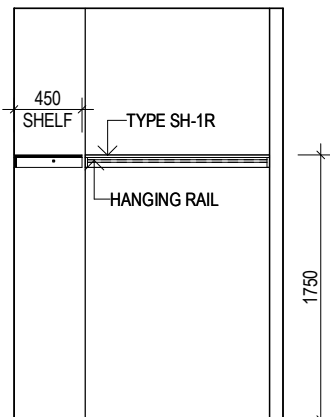
8 WC 2

1 : 50



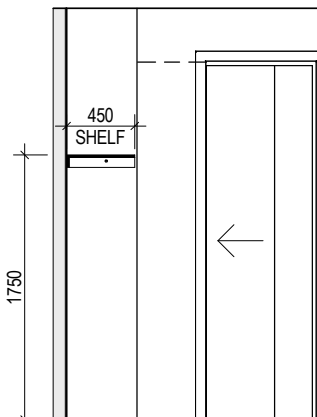
9 G.WIR

1 : 50



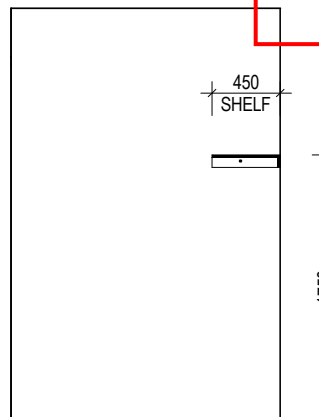
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1 : 50



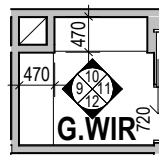
11 G.WIR

1 : 50



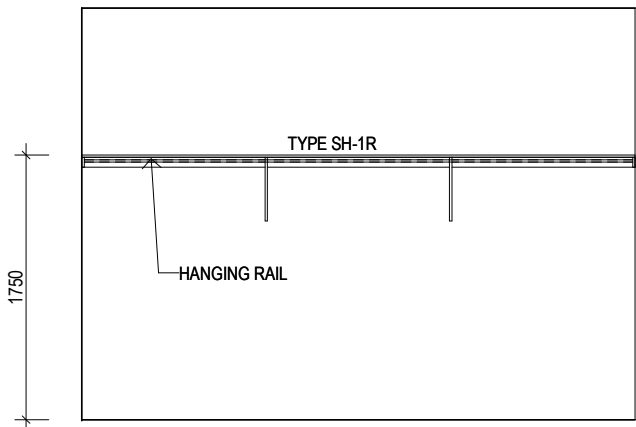
12 G.WIR

1 : 50



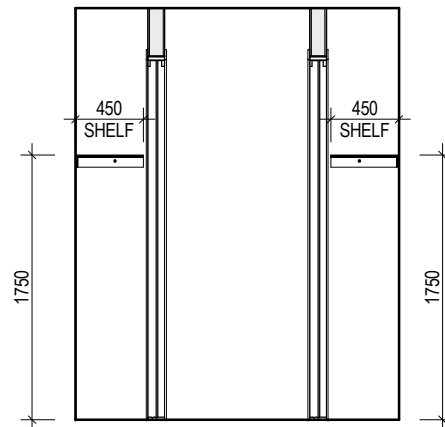
G.WIR

1 : 100



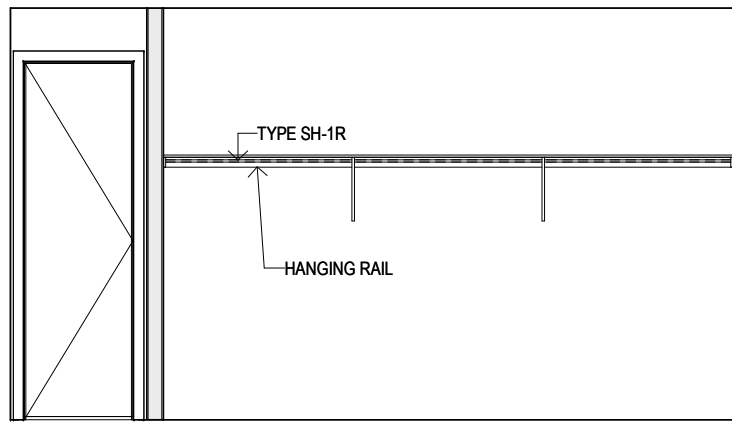
14 WIR 1

1 : 50



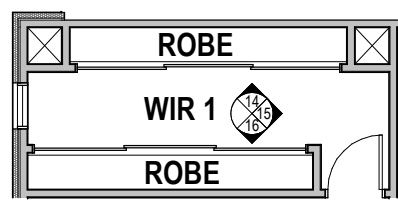
15 WIR 1

1 : 50



16 WIR 1

1 : 50



WIR 1

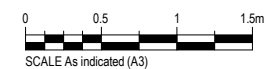
1 : 100

CITY OF MARIBYRNONG
ADVERTISED PLAN

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SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)
TYPE SH-2	SHELF WITH RECESSED FRONT RAIL & SUPPORT AS REQUIRED

DRAWING TITLE:
INTERNAL ELEVATIONS



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m
metricron
DESIGNER

SPEC: BASE

DESIGN:
FRANKLIN 42

FACADE:
ASPIRE

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752
Tel: 1300 786 773
www.metricronhomes.com.au

PRODUCT CODE:

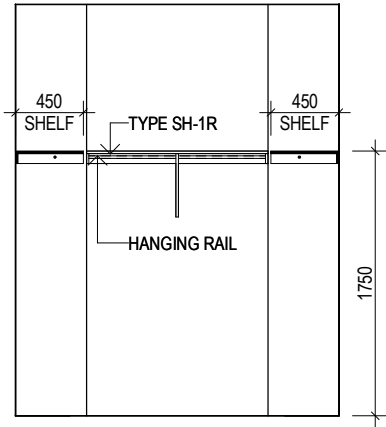
CEILING:
27G, 27F R

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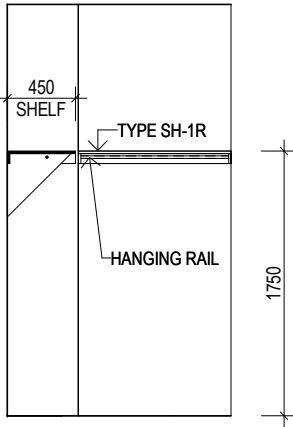
OWNER:
THE CHEAH RESIDENCE

NO.50 THE ESPLANADE MARIBYRNONG
VIC 3032

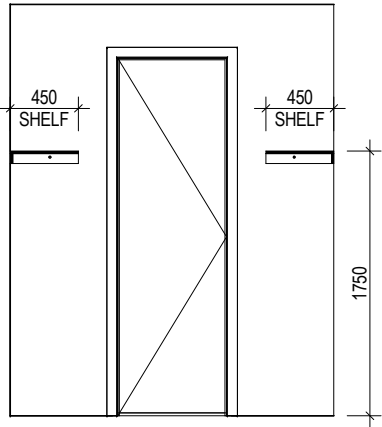
JOB N°: 754591	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
DRAWN: PG1	CHECKED: XX
PRELIMINARY CONTRACT DATE: 12/09/2025	
SHEET: 14/15	



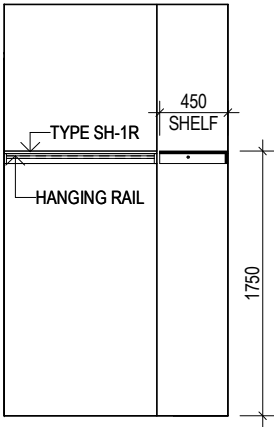
1 | WIR 4
1 : 50



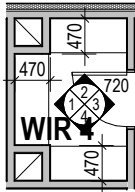
2 | WIR 4
1 : 50



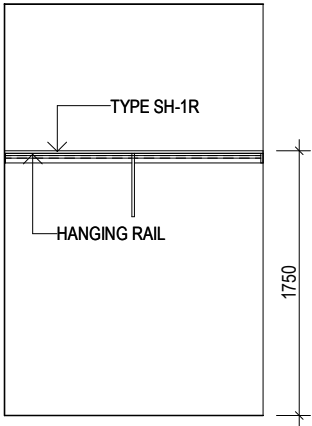
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1 : 50



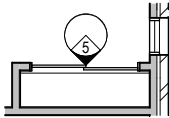
4 | WIR 4
1 : 50



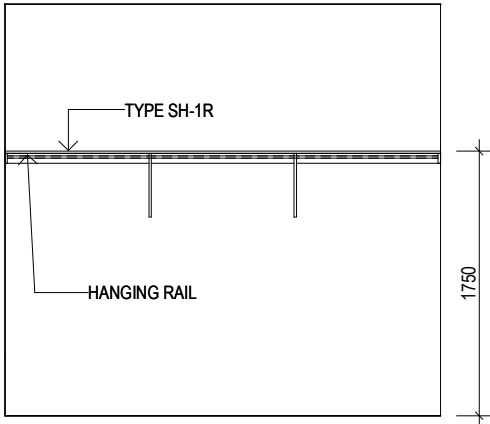
WIR 4
1 : 100



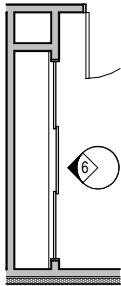
5 | ROBE BED 5
1 : 50



ROBE BED 5
1 : 100



6 | BED 2 ROBE
1 : 50



BED 2 ROBE
1 : 100

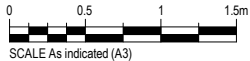
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REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)



DRAWING TITLE:
INTERNAL ELEVATIONS



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m
metricron

DESIGNER

SPEC: BASE

DESIGN:
FRANKLIN 42

FACADE:
ASPIRE

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Builders Licence N°: CDB-U 52967 ACN: 005 108 752
Tel: 1300 786 773
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PRODUCT CODE:
VD3FRA42APRDN

CEILING:
27G, 27F R

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THE CHEAH RESIDENCE

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VIC 3032

JOB N°: 754591	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
DRAWN: PG1	CHECKED: XX
PRELIMINARY CONTRACT DATE: 12/09/2025	
SHEET: 15/15	

MATERIALS AND COLOURS:

- External walls ground floor: brick, colour: Indulgence Praline
- External walls first floor: lightweight render, colour: Coventry Coarse
- Roof: pitched Colorbond, colour: Basalt

CITY OF MARIBYRNONG

RECEIVED

12/11/2025

URBAN PLANNING

