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 ACN: 168 181 100

Client Name:
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 Job Address:
 LOT 3, No.1 CHIFLEY DRIVE,
 MARIBYRNONG, Victoria, 3032

House Name:
 CUSTOM
 Facade:
 CUSTOM
 Options:
 STANDARD PLAN

Signatures
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 300180
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R5

Sheet No:
A00

GENERAL NOTES - RESIDENTIAL WORKS:

(NCC Vol. 2 2022 _1st May 2023 Edition)

Contractors must verify all dimensions on site prior to commencing any site works or making any shop drawings.

Do not scale drawings - Figure dimensions taken precedence over scales sizes.

All sizes, levels and conditions on site must be verified to commencing any site works and any discrepancies must be reported to this office.

All materials and methods of construction shall comply with NCC 2022 the relevant Australian Standards (A.S.) and municipal council by-laws and regulations.

All concrete footings are to be founded at a depth of minimum required bearing capacity and/or in accordance with soil report recommendation where supplied.

All foundations to be constructed in accordance with the engineer's certified design, NCC 2022 H1D4 and A.S. 2870.

Concrete to be manufactured to A.S. 3600

Footings are not under any circumstances to encroach over title boundaries or easement lines and this office must be notified immediately prior to construction if this occurs.

All roof and wall framing, bracing etc. is to be in accordance with A.S. 1684, Timber Framing Manual requirements as per manufacturer layouts and as per engineering computations.

The Builder shall take all steps necessary to ensure the stability of new and existing structures effected by these works on this and adjacent allotments.

The builder shall ensure the water tightness of all new structures.

All glazing must be in accordance with A.S. 1288.

Insulation - Part 2.6 and Part 3.12 of NCC 2019 Volume Two amendment 1

Window sizes are nominal only (unless a specific manufacturer is specified) and may vary according to the suppliers range.

All 1st floor bedroom windows are required to be restricted to a maximum 125mm opening per NCC 2022 Part 11.3.7.

Building and all site works to be constructed and maintained within the title boundary.

Earthworks (un-retained) shall not exceed 2000mm Max.

Slope ratios for filled soft clay (Class M-E) and all earthwork for Class P sites must be specified by the designing engineer and nominated on the site plan.

Surface drainage to comply with NCC 2022 Part 3.3.3.

Stormwater drainage (90mmØ) and sillage shall be connected to the legal point of discharge in accordance with A.S. 3500

Provide roof tie downs in accordance with surveyors requirements.

These plans shall be read in conjunction with relevant engineers computations, recommendations and drawings where relevant

Note: If site conditions vary from these reports the builders office and relevant engineer should be contacted immediately.

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The building shall be protected against termite infestation in accordance with A.S. 3660.1 and NCC 2022 Part 3.4.

All new class 1,2,3 and 10a buildings are to be assessed under provisions of A.S. 3959 for Construction of Building in Bushfire-prone areas.

Construction of sanitary compartments to be in accord with NCC 2022 Part 10.4.2 - the door to a fully enclosed sanitary compartment must open outwards, or slide, or be readily removable from outside the compartment unless there is a clear space of at least 1200mm between the closet pan within the sanitary compartment and the nearest part of the doorway.

Provide impervious floor and wall coverings to all wet areas except kitchen floor:

Wall covering heights about shower bases, vanities, troughs, baths and the like are required by A.S. 3740.

All balcony waterproofing to be designed and installed with A.S. 4654.1 and A.S. 4654.2.

Infill to be used above all windows or door opening between the respective (window or door) frame and underside of steel lintel where head height does not match brick course heights - (only applicable where brickwork is specified over openings).

All pliable building membranes to comply and be installed in accordance with NCC Part 10.8.1 A.S/N.Z.S. 4200.1 and A.S/N.Z.S. 4200.2 and must be a vapour permeable membrane for climate zone 6/7/8.

Exhaust systems from a bathroom or sanitary compartment must achieve a min. 25L/s flow rate and exhaust systems from a laundry must achieve a min. 40L/s flow rate. These must be discharged directly via a shaft or duct to outdoor air in accordance with NCC 2022 Part 10.8.2. or to a roof space in ventilated in accordance with N.C.C 2019 Part 3.8.7.4.

Anti-Ponding device/boards to be installed pursuant to NCC Part 7.3.5.

Brickwork to comply with NCC 2022 Part 5 A.S. 3700 and A.S. 4773.1 and A.S 4773.2.

Articulation joints (10mm min. width) to be provided as specified in the engineer's design or NCC 2022 Part 5.6.8. (as applicable).

Hebel panels to be provided and installed pursuant to the N.A.T.A. testing authority approved manufacture's specifications.

Exposed structural steel to be protected against corrosion in accordance with NCC 2022 Part 6.3.

Location of downpipes shown on plans are indicative only.

All gutters and downpipes are to be provided and installed in accordance with A.S./N.Z.S. 3500.3.

Plumbers for gutters and downpipes to clearly specify compliance to A.S./N.Z.S. 3500.3 in the plumbing compliance certificate.

Provisions for gutter overflow have been nominated by the use of slotted gutters to prevent backflow of water into the building.

All floor to ceiling heights nominated on these plans indicate the dimension from concrete slab level (and first floor joist level for 2 storey) to underside of the truss bottom chord (and underside first floor level 2 storey).

All dimensions noted on floor plans, sections and external elevations represent timber frame and structural member measurements, not finished plaster measurements. Finished room sized measured after plaster installation will vary accordingly.

Unless noted otherwise, all dimensions on the internal elevations represent finished plaster measurements.

NOTE:

These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations and unless expressly stated otherwise are provided only as guidelines - no responsibility is accepted for their use.

The version/edition of the N.C.C. and relevant Australian Standards (A.S.) to be referenced are those current as per the issue date of the building permit.

CEILING BATTENS

All dwellings to have the following area installed with nail up battens for plastering of ceilings:

- 600mm centres to All Main Living areas, that include Kitchen, to area contained by walls/doors/bulkheads.
- 600mm centres to All Garages.
- 450mm Centres to all Alfresco.

STAIR NOTES

Set out and determine all steps on site in accordance with NCC 2022 Part 11.2

Barriers & Handrails to be in accordance with NCC 2022 Part 11.3

Tread - Minimum 240mm, Maximum 355mm

Riser - Maximum 190mm, Minimum 115mm

Provide handrails to all decks etc. where height out of ground exceed 1000mm - handrails to be a min. 1000mm high above floor and landings and min. 865mm high above tread nosing line in accordance with NCC 2022 Part 11.3.5

Provide continuous handrails to stairs in accordance with NCC 2022 Part 11.3.5

Provide max. 125mm gaps to all rails, balusters, open risers and the like in required in accordance with NCC 2022 Part 11.3.4.

Treads must have a surface or nosing strip with a a slip resistance of not less than that listed in Table 11.2.4 of NCC 2022 when tested in accordance with AS 4586

SMOKE DETECTORS

Provide smoke detectors as denoted on floor plan as required in accord with A.S. 3786.


Smoke alarms to new residences are to be hardwired to switchboard with battery backup and be interconnected where there is more than one alarm in accordance with NCC 2022 Part 9.5.1

ENERGY RATING

Energy efficiency - Dwelling and Garage to comply with Part 3.12 of BCA 2019 Vol.2 - AMDT. 1

NOTE:

Refer to CSIRO information sheet BTF 18-2011 and requirements of A.S. 2870 to indicate owners responsibilities with regard to foundation maintenance and footing performance.

	Telephone: 03 7068 2828 Address: 1/19 Enterprise Drive, Bundoora, VIC 3083 Website: Aliyahomes.com.au	Client Name: Luke Tran Nhi Huynh	House Name: CUSTOM Facade: CUSTOM Options: STANDARD PLAN	Signatures Client: _____	<table border="1"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Drawn By</th> </tr> </thead> <tbody> <tr> <td>R.1</td> <td>20/02/25</td> <td>CONTRACT DRAWING</td> <td>BOB</td> </tr> <tr> <td>R.2</td> <td>06/03/25</td> <td>AMENDED AS PER TENDER VARIATION-2</td> <td>SN</td> </tr> <tr> <td>R.3</td> <td>28/03/25</td> <td>AMENDED AS PER TV 2 TO TV 6</td> <td>AR</td> </tr> <tr> <td>R.4</td> <td>07/05/25</td> <td>UPDATE PLANS - CARPORT</td> <td>AR</td> </tr> <tr> <td>R.5</td> <td>13/06/25</td> <td>UPDATE FLOOD ZONE</td> <td>AR</td> </tr> <tr> <td>R.6</td> <td>23/06/25</td> <td>UPDATE FLOOD ZONE</td> <td>CSE</td> </tr> <tr> <td>R.7</td> <td>18/09/25</td> <td>RFI</td> <td>MJ</td> </tr> <tr> <td>R.8</td> <td>29/10/25</td> <td>RFI</td> <td>MJ</td> </tr> <tr> <td>R.9</td> <td>28/11/25</td> <td>RFI</td> <td>MJ</td> </tr> <tr> <td>R.10</td> <td>07/04/26</td> <td>RFI</td> <td>BOB</td> </tr> </tbody> </table>	Rev.	Date	Description	Drawn By	R.1	20/02/25	CONTRACT DRAWING	BOB	R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN	R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR	R.4	07/05/25	UPDATE PLANS - CARPORT	AR	R.5	13/06/25	UPDATE FLOOD ZONE	AR	R.6	23/06/25	UPDATE FLOOD ZONE	CSE	R.7	18/09/25	RFI	MJ	R.8	29/10/25	RFI	MJ	R.9	28/11/25	RFI	MJ	R.10	07/04/26	RFI	BOB	Drawing Title: GENERAL NOTES Scale: NTS @A3 Checked By: XX Melways Ref: TBC	Job No: 300180 Revision No: R5	Sheet No: A01
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GENERAL NOTES - WET AREA WATERPROOFING:

(Waterproofing system/s to Wet Areas must be waterproof or water resistant in accordance with Clauses 10.2.1 to 10.2.6 & 10.2.125 and AS 3740)

- Materials used must comply with the following clauses:
 - Waterproofing systems - 10.2.8
 - Water Resistant Substrates - 10.2.9
 - Water Resistant Surfaces - 10.2.10

SHOWERS

- Continuous Falls to wet area floors within the shower area to be a minimum 1:80 and maximum 1:50.
 - Enclosed Shower Screen = Framed Shower Screen, Semi-Frameless or Frameless fitted with seals/deflectors to control spread of water from shower area.
 - Unenclosed Shower Screen = Semi-Frameless and Frameless Shower Screens.
 - Step Downs within a shower area to be a minimum 25mm below the FFL outside the shower area & comply with Figures 1, 2, 3 & 4.
 - Hobs
 - To be constructed of masonry, concrete, autoclaved aerated concrete or extruded polyurethane.
 - Gaps, joints and intersections of the substrate to be made flush prior to application of membrane
 - To be securely fixed to floor and wall prior to applying membrane
 - To be constructed as per Figure 5.
 - Enclosed Showers without hob or step down
 - Waterstop to be located at the shower screen and not less than 5mm above FFL (see Figure 6)
 - Any joint in the waterstop must be waterproofed.
 - Unenclosed Showers
 - Waterstop must be installed a minimum distance of 1500mm from the shower rose and finish flush with top surface of floor (see Figure 7).
 - Any joint in the waterstop must be waterproofed.
 - Preformed Shower Bases must
 - Have an upturned lip, be recessed into wall and be sufficiently supported (see Figures 8 & 9)
- BATHS & SPAS**
- Baths & Spas must
 - Have an upturned lip and water resistant substrate materials of wall pass down inside the upturn. (see Figures 10, 11 & 12)

GENERAL

- Where a screed is used, the waterproofing membrane can be installed above or below the screed.
- Substrate surface must be clean without imperfections prior to applying membrane.
- Penetrations within shower areas
 - Penetrations for taps, nozzles or the like to be waterproofed using sealants, flanges or both.
 - Spindle housing of tap body to removable without damaging seal.
 - Spindle housing of tap body to removable without damaging seal.
 - Penetrations for mechanical fixings/fastenings and recessed niches to be waterproofed.
 - Penetrations for taps, faucets and the like on horizontal surfaces surrounding baths to be waterproofed using sealants, flanges or both
- Flashings at junctions and corners to be pursuant to the requirements of Clauses 10.2.2 – 10.2.5
 - Perimeter flashings to wall/floor junctions to have a minimum vertical leg of 25mm above FFL (except at doorways) and a minimum 50mm horizontal leg.

- Waterproof sealant to be used at substrate junction at the wall/floor junction where water resistant substrate is used in conjunction a water resistant surface material.
- Floor level openings such as doorways must have a waterstop installed across the opening with the vertical leg sitting flush with the FFL. Where the entire wet area floor is waterproof the waterstop to be sealed to the waterproof membrane.
- Vertical flashing external to the wet area or internal to extend a minimum 1800mm above FFL.
- Showers must have membrane applied over the floor and 1800mm vertically above FFL
- Where water resistant plasterboard is used all cut edges that have potential to be affected by moisture must be waterproofed.
- Bond breakers to be installed pursuant to Clause 10.2.27.
- Internal waterproof membranes
 - Showers with hobs – Membrane must be applied to both top and side faces of hob and extend a minimum 50mm onto floor.
 - Showers with no hob/stepdown – Membrane must be brought to the top of the finished floor, except where it is under a framed shower screen where it shall terminate not less than 5mm above the finished tile surface.
- Membrane to drainage connection must comply with Clause 10.2.29 and Figure 13.
- Where the bottom of the door jamb does not finish above the floor tiling, the portion of the door frame below the tiling must waterproofed.
- Showers Screens
 - Showers with Hob – Screen must be installed flush with the internal side of shower area
 - Showers with Stepdown – Screen must be installed flush with the inside face of the stepdown
 - Showers with no hob/stepdown – Screen must incorporate or be mounted on inverted channel over the top of the water stop
 - Bath end walls abutting shower – Base of screen must be located within shower area and minimum flush to outside face of bath.

Figure 1: Typical enclosed stepped down shower construction (membrane below tile bed)

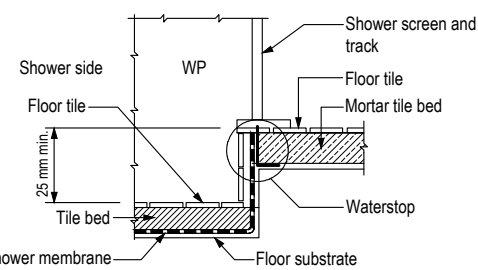


Figure 2: Typical enclosed stepped down shower construction (membrane above tile bed)

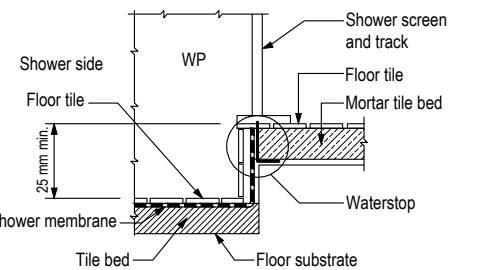


Figure 3: Typical unenclosed stepped down shower construction (membrane below tile bed)

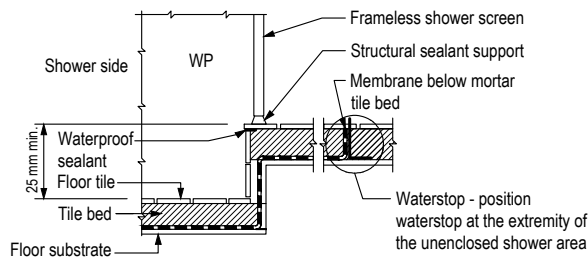


Figure 5: Typical hob construction — internal membrane

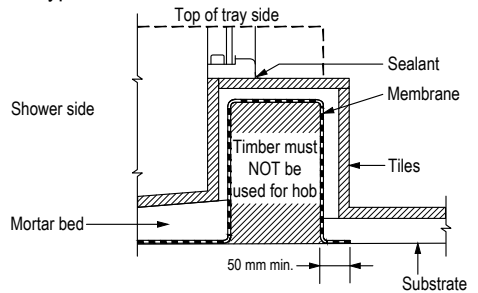


Figure 7: Typical termination of membrane at extent of shower area

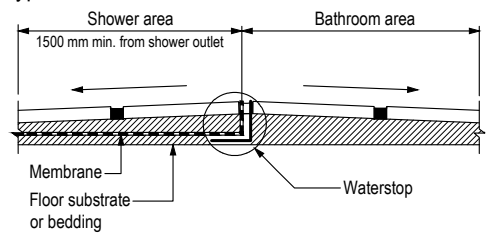


Figure 9: Typical preformed shower base/floor junction on timber floors, including particleboard, plywood and other timber materials

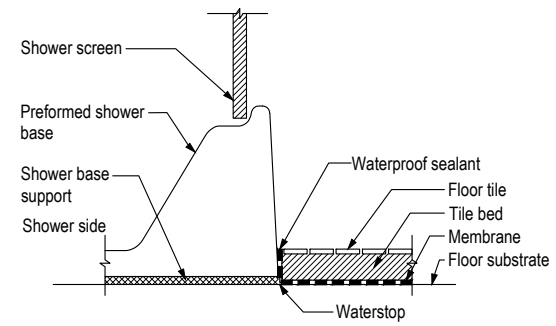


Figure 11:

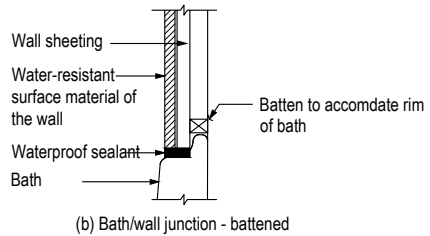


Figure 4: Typical unenclosed stepped down shower construction (membrane above tile bed)

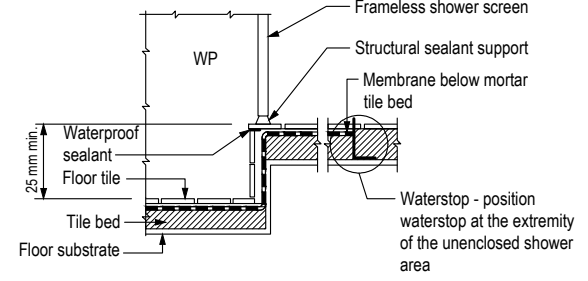


Figure 6: Typical hobless construction

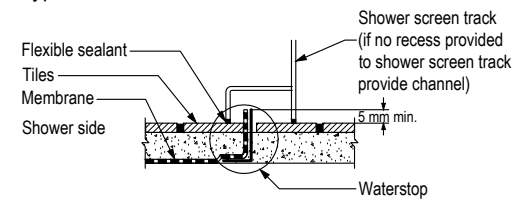


Figure 8: Typical preformed shower base wall/floor junction

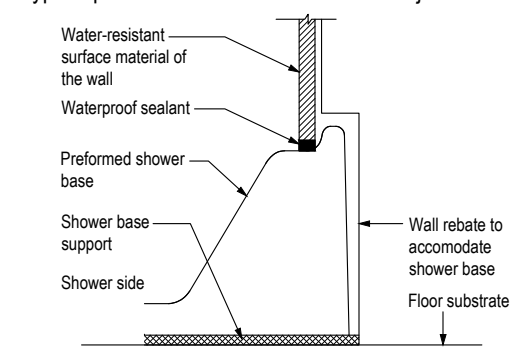


Figure 10: Typical bath junctions

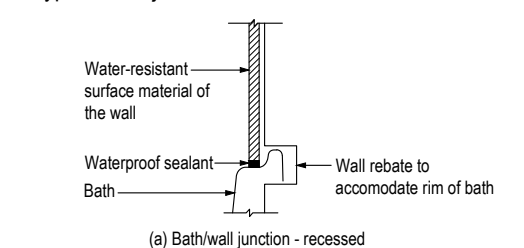


Figure 12:

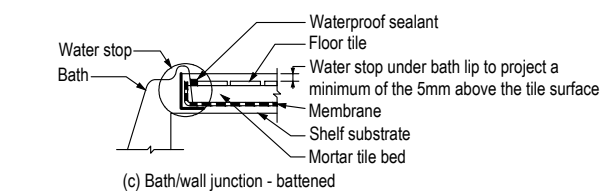
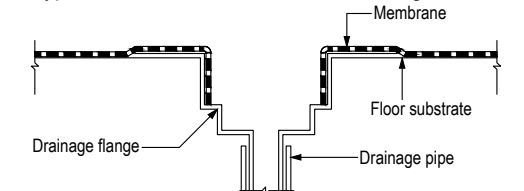


Figure 13: Typical membrane termination at drainage outlet



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
Revision No:
R5

Sheet No:
A01.1

EXISTING SITE PLAN


DEMOLITION REQUIREMENTS

IT IS THE RESPONSIBILITY OF THE OWNER TO ARRANGE FOR DEMOLITION OF ALL EXISTING STRUCTURES, INCLUDING OBTAINING ANY ASSOCIATED PERMITS, AND TO PROVIDE A SITE CLEAR OF ANY DEBRIS TO THE SATISFACTION OF THE BUILDER PRIOR TO COMMENCEMENT OF SITEWORKS.

 DENOTES STRUCTURE TO BE REMOVED

TREE REMOVAL REQUIREMENTS

IT IS THE RESPONSIBILITY OF THE OWNER TO UNDERTAKE TREE REMOVAL INCLUDING OBTAINING ANY ASSOCIATED PERMITS, AND TO PROVIDE A SITE CLEAR OF ANY VEGETATION & DEBRIS TO THE SATISFACTION OF THE BUILDER PRIOR TO COMMENCEMENT OF SITEWORKS.

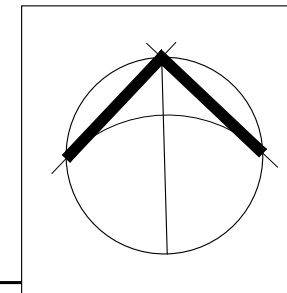
 DENOTES TREES TO BE REMOVED

SITE CLEARING

IT IS THE RESPONSIBILITY OF THE OWNER TO UNDERTAKE REMOVAL OF ANY SITE SPOIL/STOCK PILES TO THE SATISFACTION OF THE BUILDER PRIOR TO COMMENCEMENT OF CONSTRUCTION OR A VARIATION WILL BE INCURRED OF COST

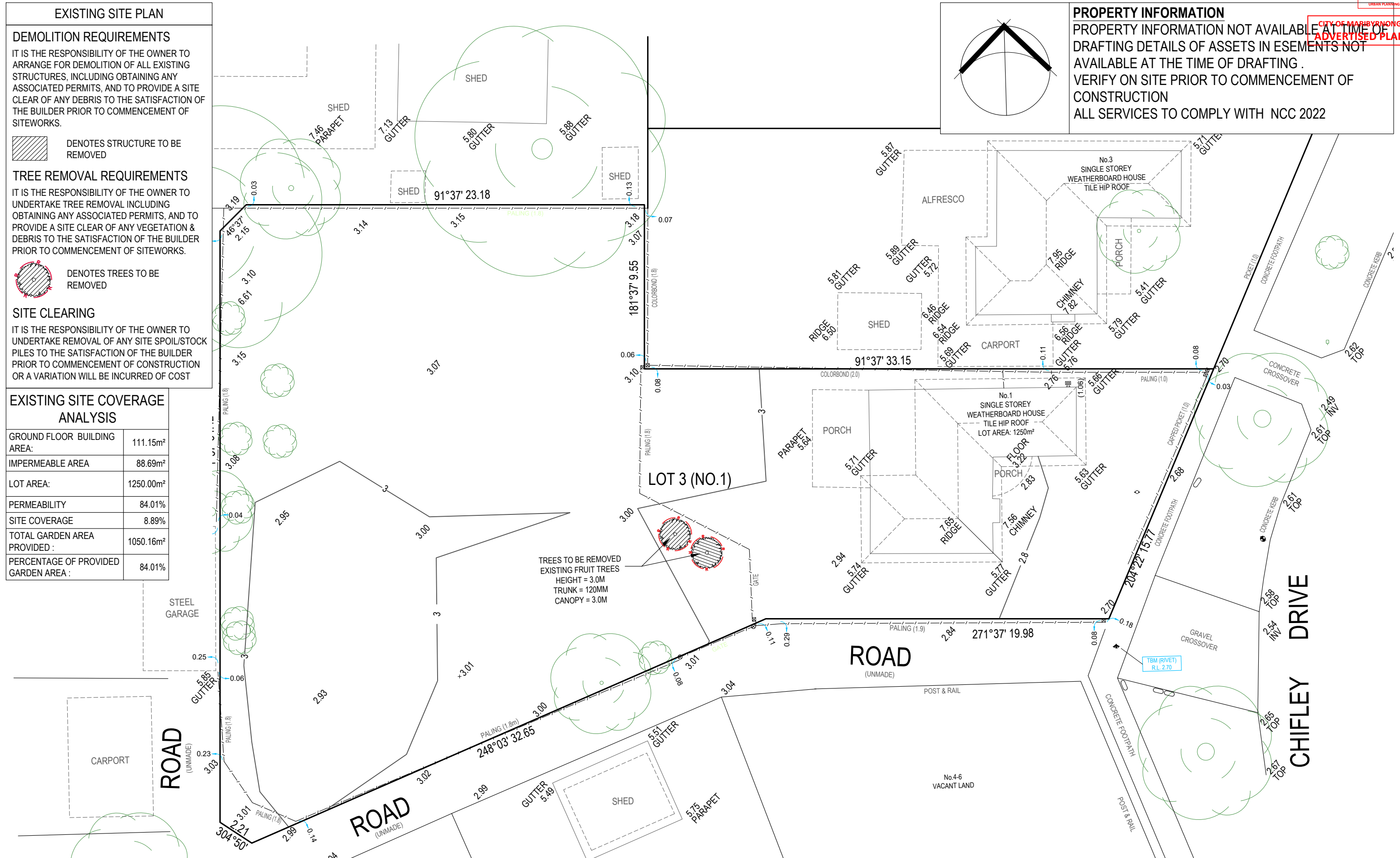
EXISTING SITE COVERAGE ANALYSIS

GROUND FLOOR BUILDING AREA:	111.15m ²
IMPERMEABLE AREA	88.69m ²
LOT AREA:	1250.00m ²
PERMEABILITY	84.01%
SITE COVERAGE	8.89%
TOTAL GARDEN AREA PROVIDED :	1050.16m ²
PERCENTAGE OF PROVIDED GARDEN AREA :	84.01%



PROPERTY INFORMATION

PROPERTY INFORMATION NOT AVAILABLE AT TIME OF DRAFTING
DRAFTING DETAILS OF ASSETS IN ESEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING .
VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
ALL SERVICES TO COMPLY WITH NCC 2022



TREES TO BE REMOVED
EXISTING FRUIT TREES
HEIGHT = 3.0M
TRUNK = 120MM
CANOPY = 3.0M

ALIYA HOMES

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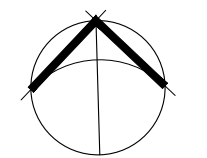
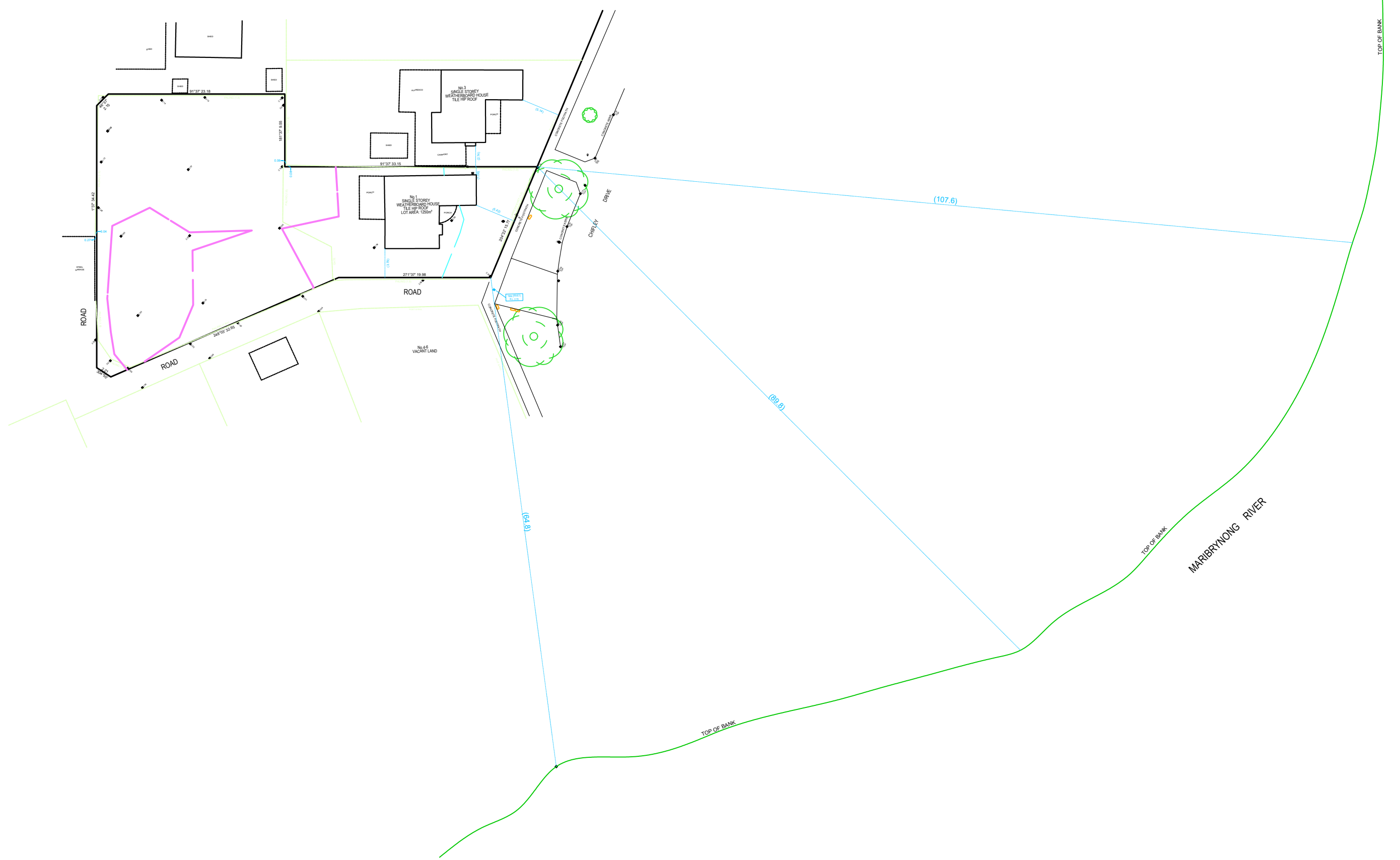
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Rev.	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
OVERALL SITE PLAN

Scale: 1/200 @A3
Checked By: XX
Melways Ref: TBC

Job No: 300180
Revision No: **R5**
Sheet No: **A02**



ALIYA HOMES

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ACN: 168 181 100

Client Name:
Luke Tran
Nhi Huynh

Job Address:
LOT 3, No.1 CHIFLEY DRIVE,
MARIBYRNONG, Victoria, 3032

House Name:
CUSTOM
Facade:
CUSTOM
Options:
STANDARD PLAN

Signatures
Client: _____

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R.10	07/04/26	RFI	BOB

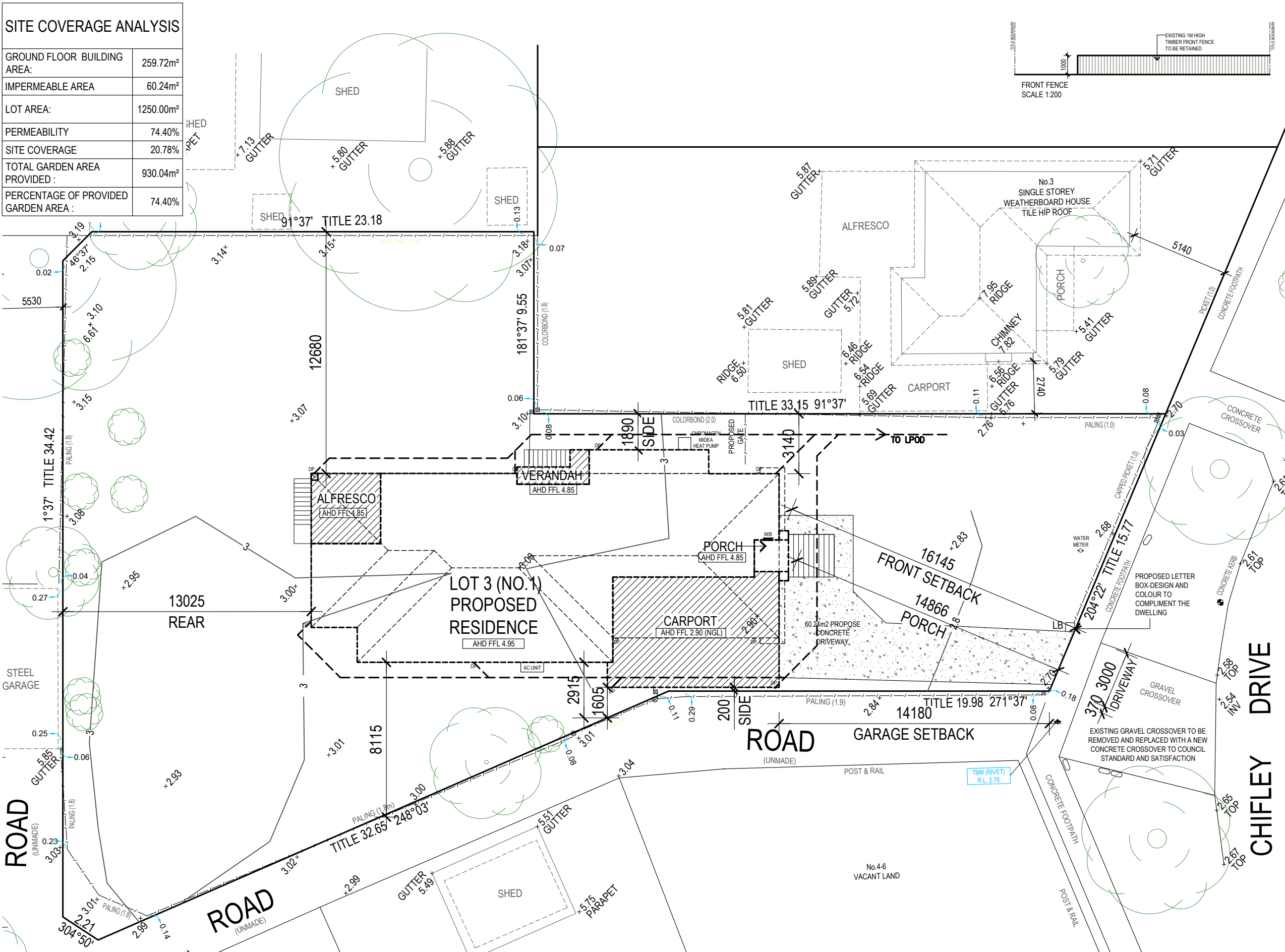
Drawing Title:
OVERALL SITE PLAN

Scale: 1/500 @A3
Checked By: XX
Melways Ref: TBC

Job No: 300180
Revision No: R5
Sheet No: A02.1

SITE COVERAGE ANALYSIS

GROUND FLOOR BUILDING AREA:	259.72m ²
IMPERMEABLE AREA:	60.24m ²
LOT AREA:	1250.00m ²
PERMEABILITY:	74.40%
SITE COVERAGE:	20.78%
TOTAL GARDEN AREA PROVIDED:	930.04m ²
PERCENTAGE OF PROVIDED GARDEN AREA:	74.40%



REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SETBACKS

ADVERTISED PLAN

PROPERTY INFORMATION
PROPERTY INFORMATION NOT AVAILABLE AT TIME OF DRAFTING DETAILS OF ASSETS IN ESSEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING. VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION ALL SERVICES TO COMPLY WITH NCC 2022

SITE NOTES:

SOIL CLASSIFICATION
CLASS 1
AS PER SOIL REPORT PROVIDED BY "ALLEN KARLOVIC SOIL ENGINEERING"
FILE NO. 24439 DATED: 30/06/2024

WIND RATING: N2-33MS

SITE CUT AND FILL
• DWELLING & GARAGE: WAFFLE POD CONCRETE
• CUT/FILL R.L. N/A
• FREEBOARD N/A (REFER TO ENGINEERING DOCUMENTATION)
• REBATE TO HOUSE N/A
• STEP DOWN TO PORCH: 100 MM
• STEP DOWN TO ALFRESCO: 100 MM
• STEP DOWN TO GARAGE: 200 MM

INDICATED STEPDOWN

SITE CUT AND FILL TO BE MINIMUM 1M FROM DWELLING BOUNDARY. EXTERNAL WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS.

LEVELS
LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

GARDEN
GARDEN AREA - DOES NOT INCLUDE A DRIVEWAY. ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1 METER IN NEIGHBORHOOD RESIDENTIAL ZONE AND GENERAL RESIDENTIAL ZONE

GENERAL
• CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
• ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.
• ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE -2022".
• NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
• WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.
• IF THE SHELF SPAN IS LONGER THAN 1200MM, SUPPORT BLADES MUST BE INSTALLED.
• ADDITIONAL NOGGING TO BE INSTALLED TO SUPPORT THE KITCHEN RANGE HOODS.
• AS PER PART 10.8 OF NCC 2022 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR, OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH PART 10.8.
• ALL FRAMELESS GLASS BALUSTRADES TO COMPLY AND BE INSTALLED IN ACCORDANCE WITH AS 1288-2006
• ALL STAIRWAY, RAMP, BARRIER AND HANDRAIL CONSTRUCTION IS TO BE INSTALLED AND COMPLETED IN ACCORDANCE WITH NCC 2022 PARTS 11.2 - STAIRWAY AND RAMP CONSTRUCTION AND 11.3 - BARRIERS AND HANDRAILS.
• ALL HEATING APPLIANCE, ALL ASSOCIATED STRUCTURES AND ACCESSORIES HAVE BEEN TESTED AND PASSED THE TESTS REQUIRED BY, AND ARE TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 12.4, PART G2 AND AS/NZS 2918-2018

LEGEND:

	METER BOX		TITLE BOUNDARY
	GAS METER		PROPERTY EASEMENT
	HOT WATER SERVICE		STORMWATER LINE
	TAP		SEWER LINE
	WATER HYDRANT		DRAINAGE LINE FROM DP TO RWT
	SEWER VENTILIS		SLEEPER RETAINING WALL
	TREE		SITE CUT HATCH
	STREET SIGN		SITE FILL HATCH
	SEWER MANHOLE		SITE CUT LINE
	ELECTRICITY PIT		
	ELECTRICITY POLE		
	SW PROPERTY INLET		
	WATER METER		
	STORM WATER PIT		
	SEWER PIT		
	CONDENSER UNIT		

ALL NATURAL GROUND LEVELS AND FINISHES FLOOR LEVEL TO AHD LEVEL.

NATIONAL BROADBAND NETWORK
RELEVANT FEATURE SURVEY HAS IDENTIFIED INSUFFICIENT BOUNDARY PEGS. A RE-ESTABLISHMENT SURVEY IS REQUIRED TO CORRECTLY IDENTIFY TITLED BOUNDARY TO ENSURE CORRECT SITE SETOUT OF BUILDING FOOTPRINT ON BOUNDARY.

NOT IN A BUSHFIRE PRONE ZONE
THIS PARCEL IS NOT IN A DESIGNATED BUSHFIRE PRONE AREA

NATIONAL BROADBAND NETWORK
ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH NBN'S REQUIREMENTS AS OUTLINED IN NBN CO PREPARATION AND INSTALLATION GUIDE FOR SDUS AND MDUS

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Client Name:
**Luke Tran
Nhi Huynh**

Job Address:
**LOT 3, No.1 CHIFLEY DRIVE,
MARIBYRNONG, Victoria, 3032**

House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
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R.10	07/04/26	RFI	BOB

Drawing Title:
PROPOSED SITE PLAN

Scale: 1/200 @A3

Checked By: XX






Melways Ref: TBC

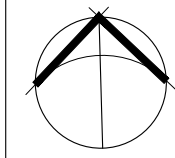
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300180

Revision No:
R5

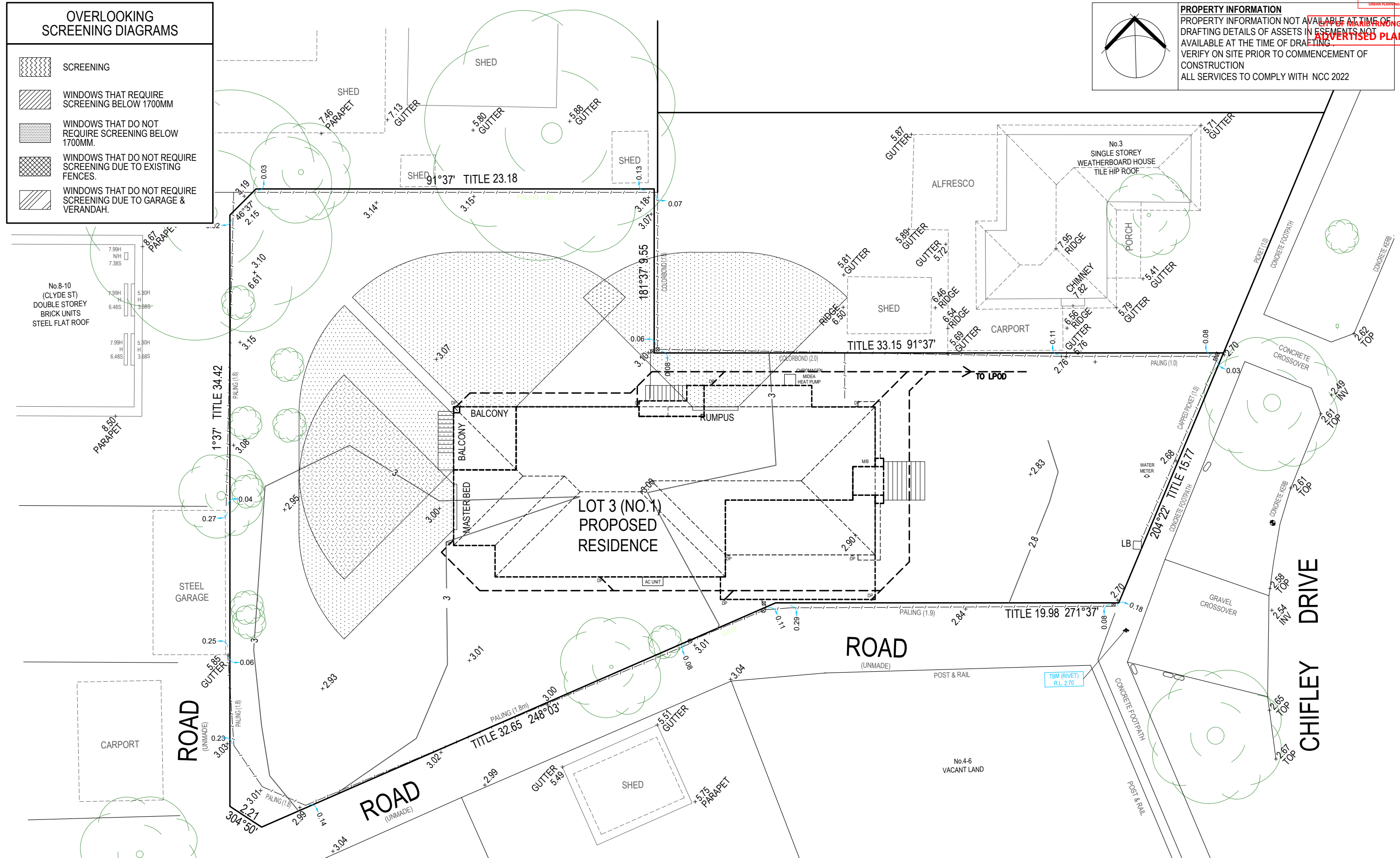
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OVERLOOKING
SCREENING DIAGRAMS

-  SCREENING
-  WINDOWS THAT REQUIRE SCREENING BELOW 1700MM
-  WINDOWS THAT DO NOT REQUIRE SCREENING BELOW 1700MM
-  WINDOWS THAT DO NOT REQUIRE SCREENING DUE TO EXISTING FENCES
-  WINDOWS THAT DO NOT REQUIRE SCREENING DUE TO GARAGE & VERANDAH



PROPERTY INFORMATION
PROPERTY INFORMATION NOT AVAILABLE AT TIME OF DRAFTING DETAILS OF ASSETS IN ELEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING. VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION ALL SERVICES TO COMPLY WITH NCC 2022



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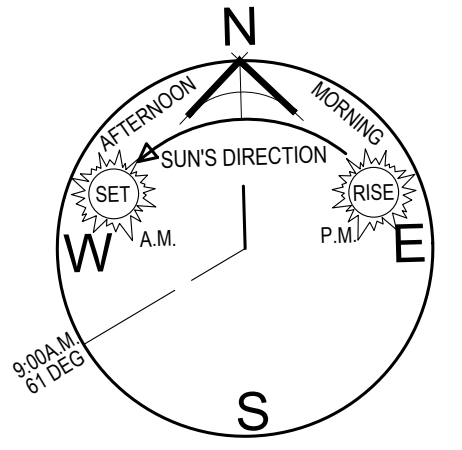
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R.8	29/10/25	RFI	MJ
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R.10	07/04/26	RFI	BOB

Drawing Title:
OVERLOOKING DIAGRAM

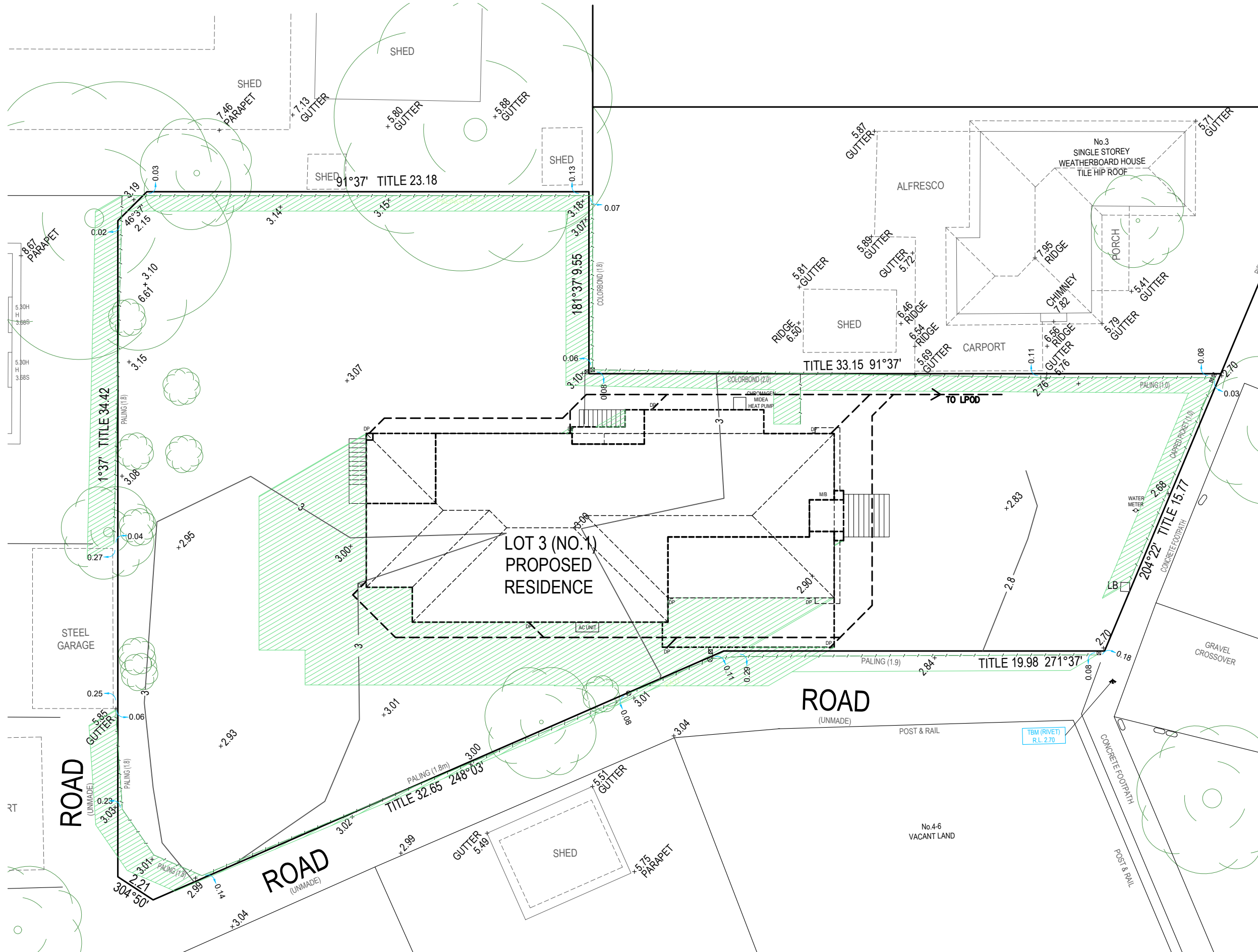
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Checked By: XX
Melways Ref: TBC

Job No: 300180
Revision No: **R5**
Sheet No: **A02.3**

OVERSHADOWING
FENCING DIAGRAMS
CITY OF MARIBYRNONG
ADVERTISED PLAN



SHADOW LOCATION	TIME OF DAY
	9:00 AM - SEPTEMBER 22 PROPOSED DWELLING/FENCE
	9:00 AM - SEPTEMBER 22 EXISTING DWELLING/FENCE
	UNSHADED POS



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House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client: _____

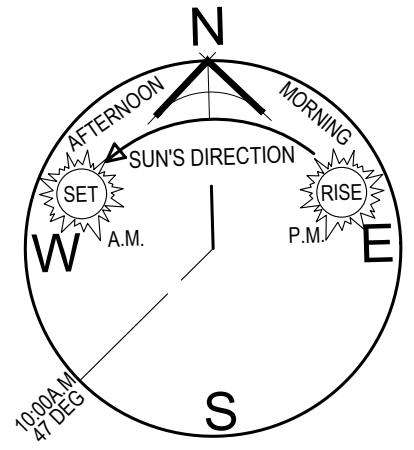
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R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
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R.10	07/04/26	RFI	BOB

Drawing Title:
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@9:am**

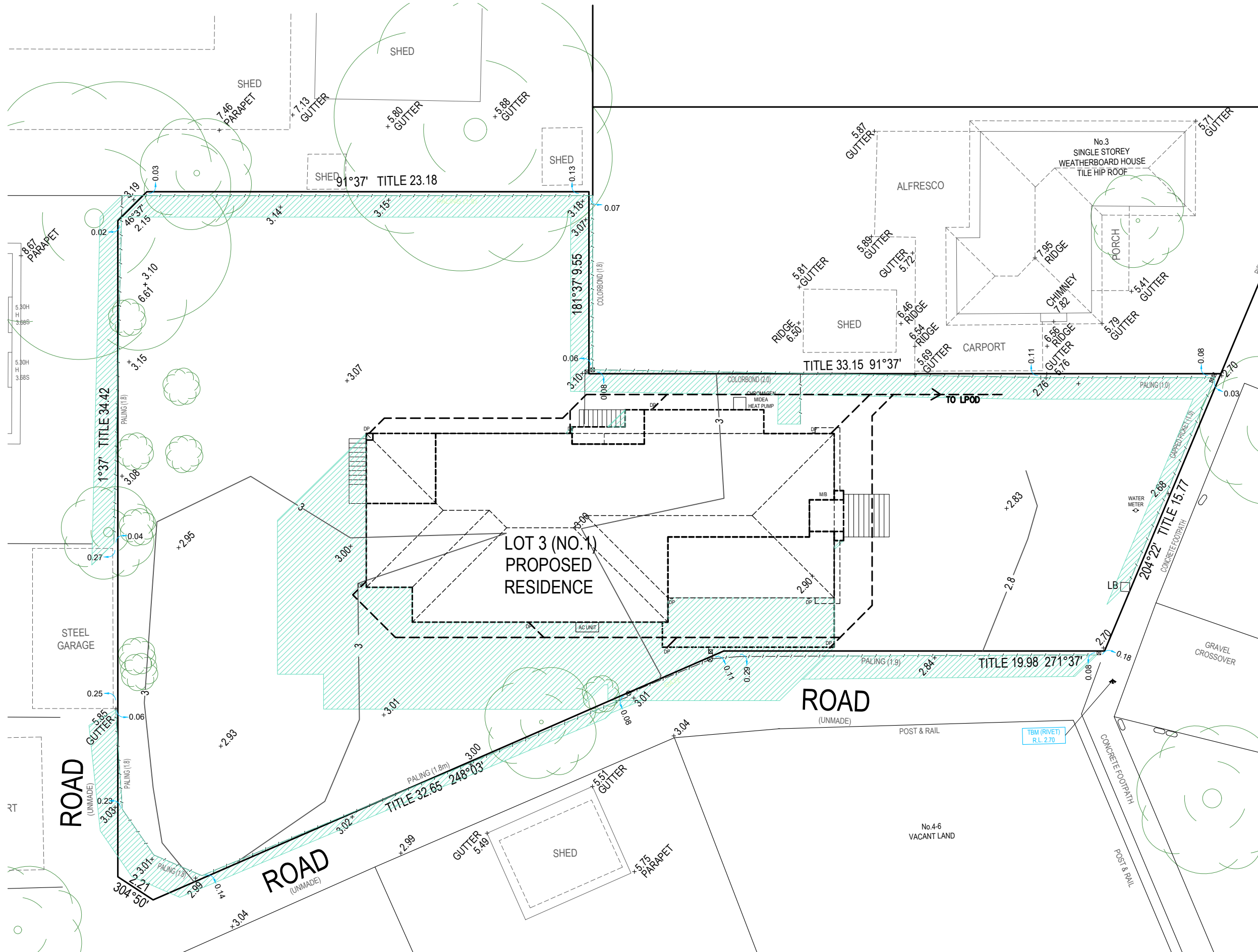
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Checked By: XX
Melways Ref: TBC

Job No: 300180
Revision No: **R5**
Sheet No: **A02.4**

OVERSHADOWING
FENCING DIAGRAMS
CITY OF MARIBYRNONG
ADVERTISED PLAN



SHADOW LOCATION	TIME OF DAY
	10:00 AM - SEPTEMBER 22 PROPOSED DWELLING/FENCE
	10:00 AM - SEPTEMBER 22 EXISTING DWELLING/FENCE
	UNSHADED POS



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MARIBYRNONG, Victoria, 3032**

House Name:
CUSTOM
Facade:
CUSTOM
Options:
STANDARD PLAN

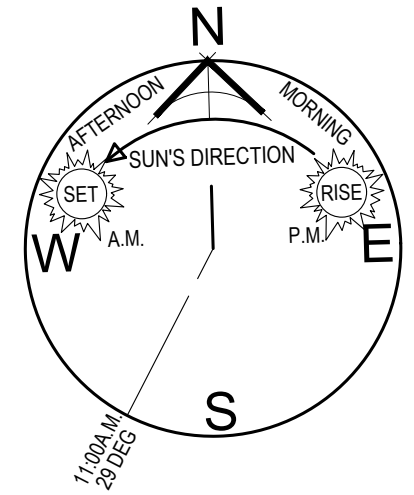
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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

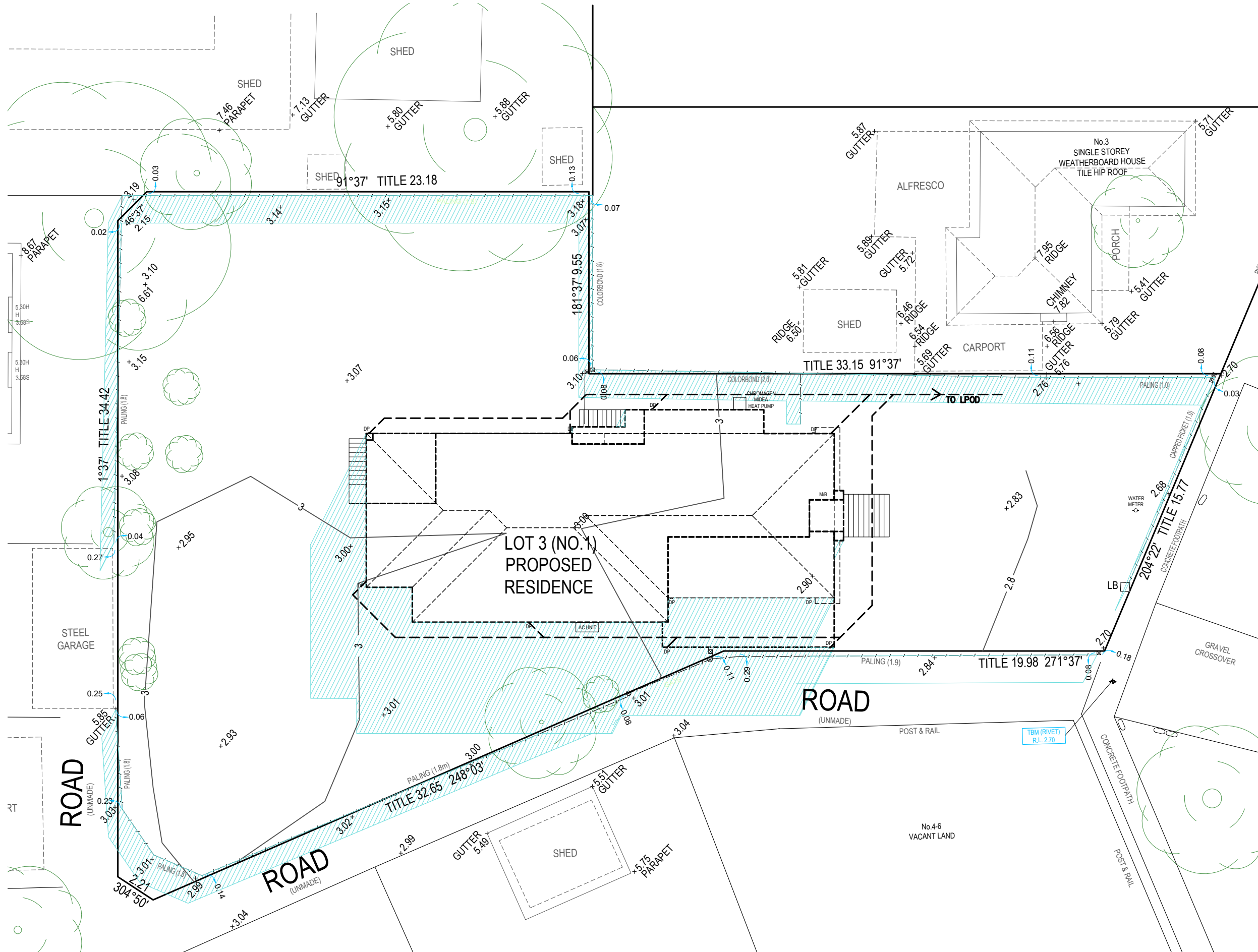
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**OVERSHADOW DIAGRAM
@10:am**
Scale: 1/200 @A3
Checked By: XX
Melways Ref: TBC

Job No: 300180
Revision No: **R5**
Sheet No: **A02.5**

OVERSHADOWING
FENCING DIAGRAMS
CITY OF MARIBYRNONG
ADVERTISED PLAN



SHADOW LOCATION	TIME OF DAY
	11:00 AM - SEPTEMBER 22 PROPOSED DWELLING/FENCE
	11:00 AM - SEPTEMBER 22 EXISTING DWELLING/FENCE
	UNSHADED POS



CHIFLEY DRIVE

ALIYA HOMES

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CUSTOM

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CUSTOM

Options:
STANDARD PLAN

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Client:

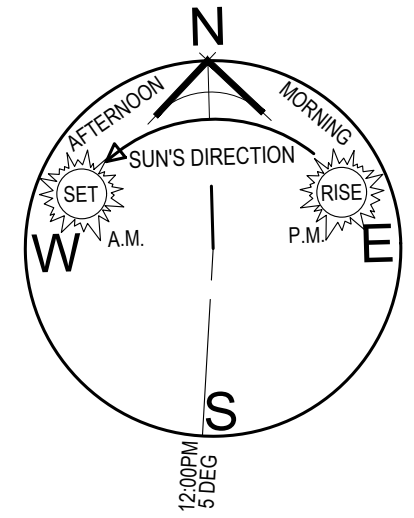
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R.6	23/06/25	UPDATE FLOOD ZONE	CSE
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R.8	29/10/25	RFI	MJ
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R.10	07/04/26	RFI	BOB

Drawing Title:
**OVERSHADOW DIAGRAM
@11:am**

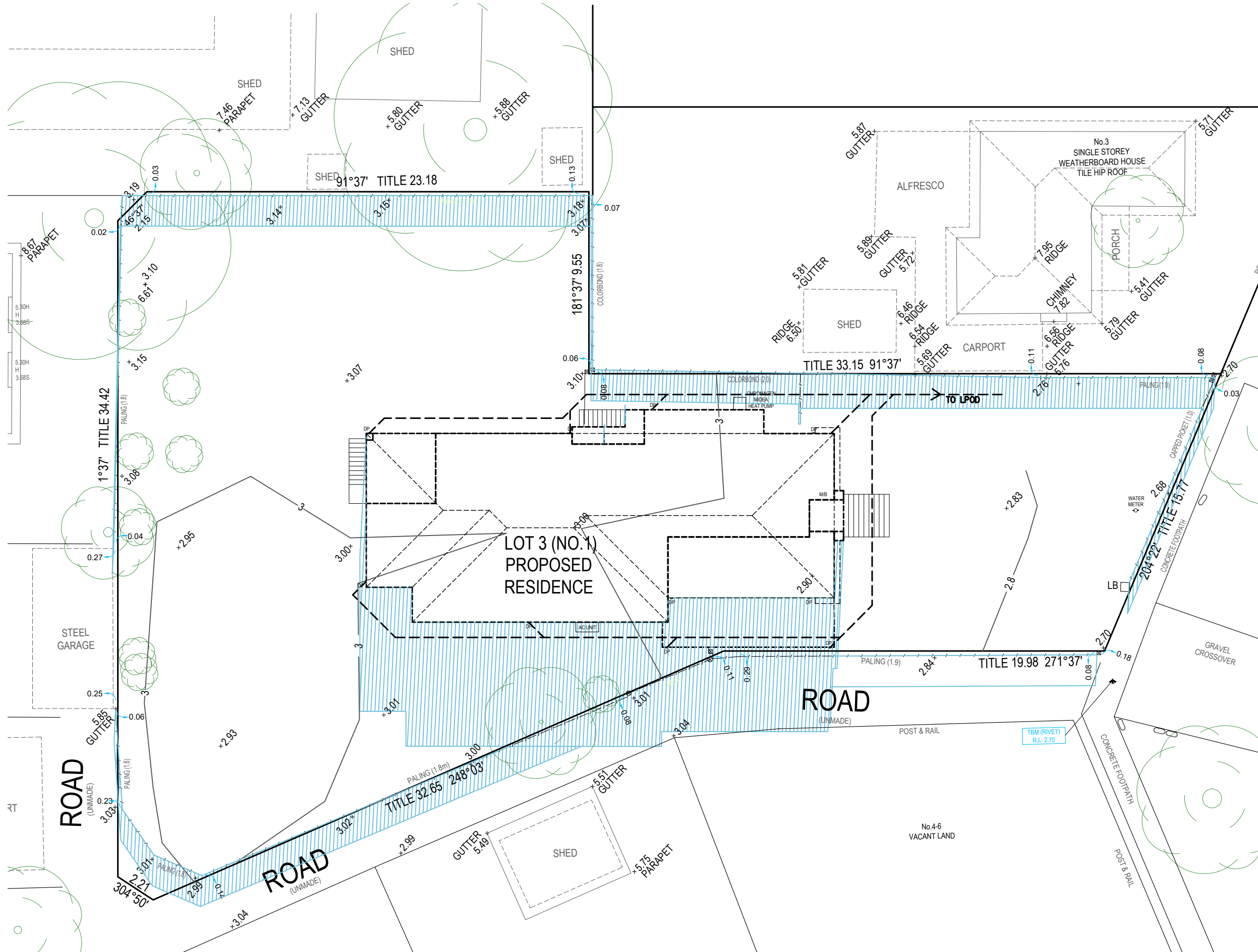
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Melways Ref: TBC

Job No: 300180
Revision No: **R5**
Sheet No: **A02.6**

OVERSHADOWING
FENCING DIAGRAMS
CITY OF MARIBYRNONG
ADVERTISED PLAN



SHADOW LOCATION	TIME OF DAY
	12:00 PM - SEPTEMBER 22 PROPOSED DWELLING/FENCE
	12:00 PM - SEPTEMBER 22 EXISTING DWELLING/FENCE
	UNSHADED POS



ALIYA HOMES

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House Name:
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Facade:
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Options:
STANDARD PLAN

Signatures
Client:

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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
OVERSHADOW DIAGRAM
@12:pm

Scale: 1/200 @A3

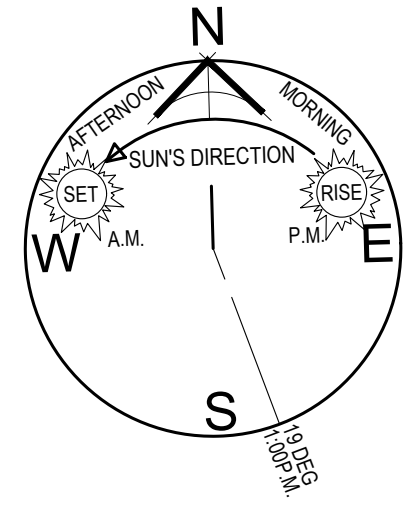
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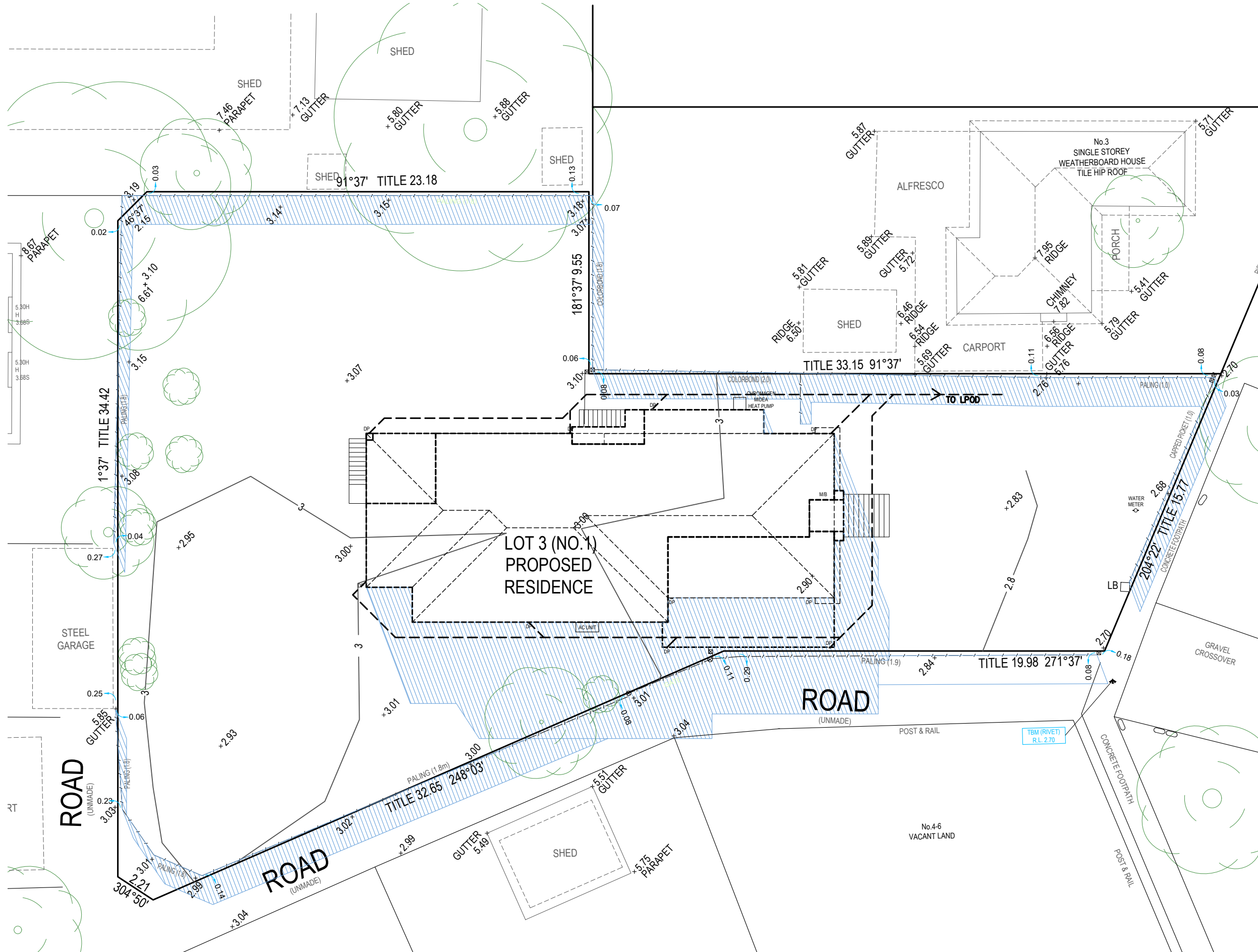
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Revision No: R5

Sheet No: A02.7

OVERSHADOWING
FENCING DIAGRAMS
CITY OF MARIBYRNONG
ADVERTISED PLAN



SHADOW LOCATION	TIME OF DAY
	1:00 PM - SEPTEMBER 22 PROPOSED DWELLING/FENCE
	1:00 PM - SEPTEMBER 22 EXISTING DWELLING/FENCE
	UNSHADED POS



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STANDARD PLAN

Signatures
Client:

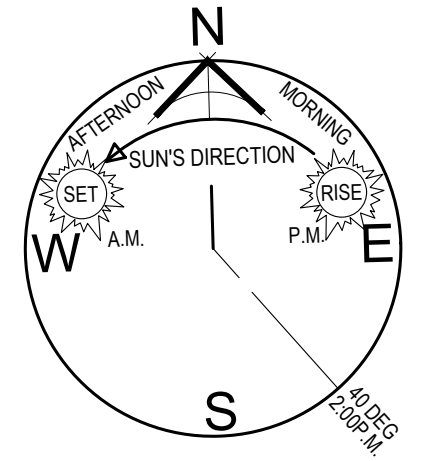
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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
**OVERSHADOW DIAGRAM
@1:pm**

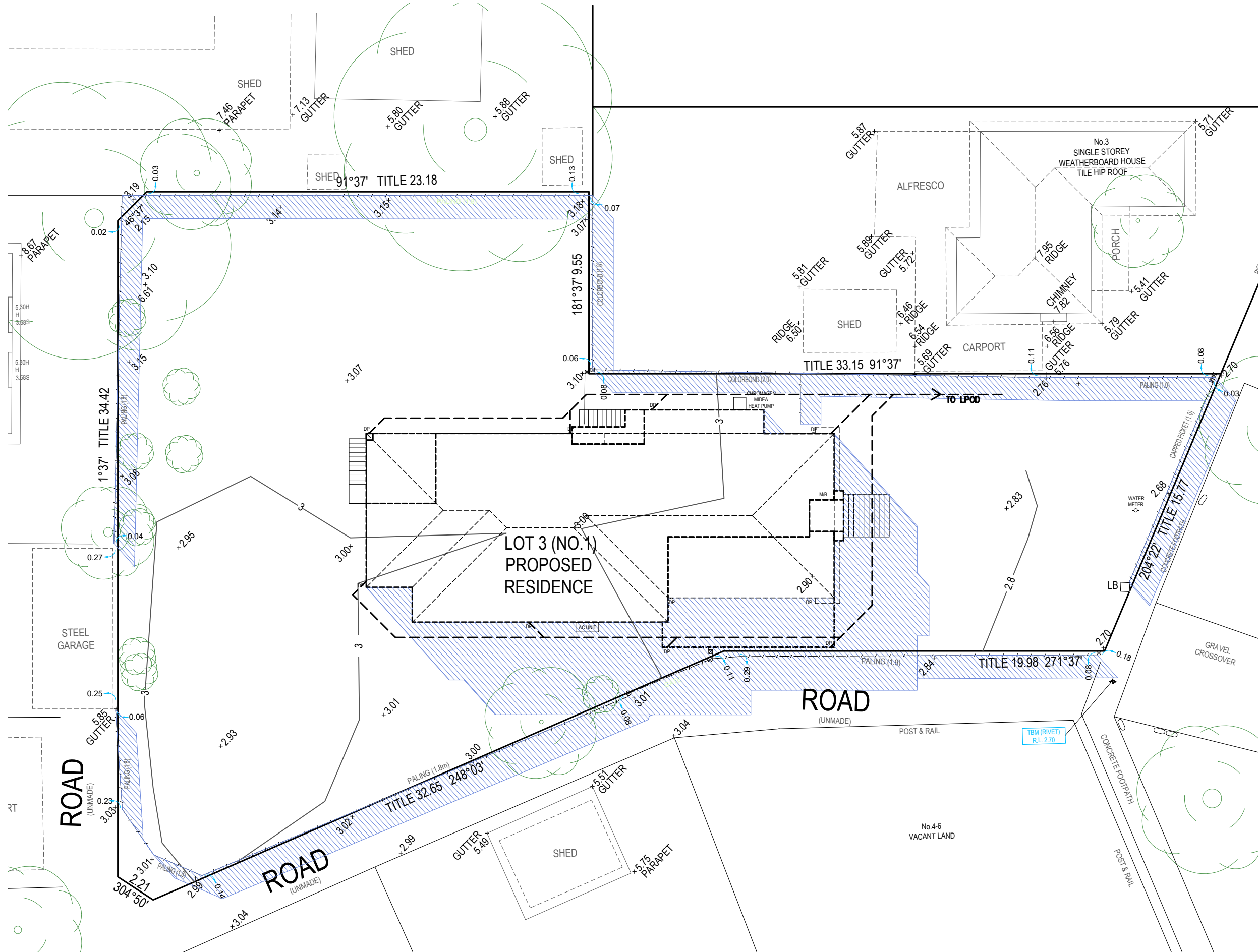
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Checked By: XX
Melways Ref: TBC

Job No: 300180
Revision No: **R5**
Sheet No: **A02.8**

OVERSHADOWING
FENCING DIAGRAMS
CITY OF MARIBYRNONG
ADVERTISED PLAN



SHADOW LOCATION	TIME OF DAY
	2:00 PM - SEPTEMBER 22 PROPOSED DWELLING/FENCE
	2:00 PM - SEPTEMBER 22 EXISTING DWELLING/FENCE
	UNSHADED POS



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R.8	29/10/25	RFI	MJ
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R.10	07/04/26	RFI	BOB

Drawing Title:
**OVERSHADOW DIAGRAM
@2:pm**

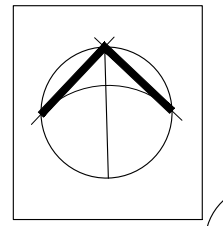
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Checked By: XX

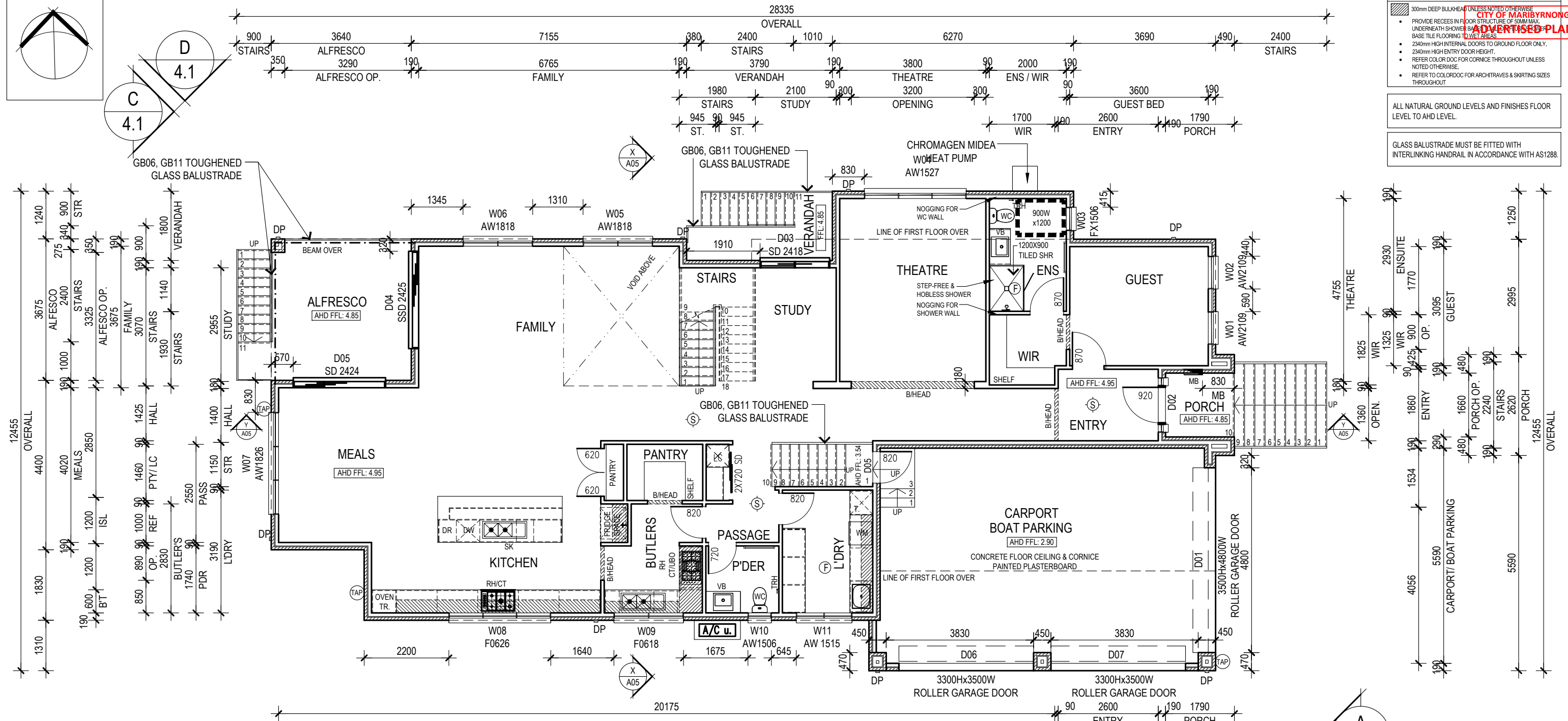
Melways Ref: TBC

Job No: 300180
Revision No: **R5**

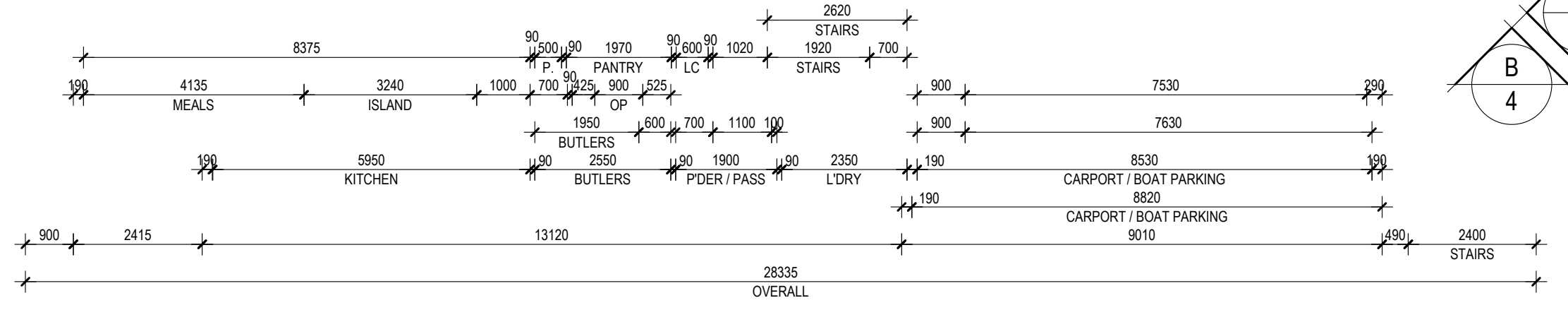
Sheet No: **A02.9**



- NOTES**
- 300mm DEEP BULKHEAD UNLESS NOTED OTHERWISE
 - PROVIDE RECESSED IN FLOOR STRUCTURE OF 50MM MAX. UNDERNEATH SHOWER & TOILET AREAS.
 - BASE TILE FLOORING TO WET AREAS.
 - 2340mm HIGH INTERNAL DOORS TO GROUND FLOOR ONLY.
 - 2340mm HIGH ENTRY DOOR HEIGHT.
 - REFER COLOR DOC FOR CORNICE THROUGHOUT UNLESS NOTED OTHERWISE.
 - REFER TO COLORDOC FOR ARCHITRAVES & SKIRTING SIZES THROUGHOUT
- ALL NATURAL GROUND LEVELS AND FINISHES FLOOR LEVEL TO AHD LEVEL.
- GLASS BALUSTRADE MUST BE FITTED WITH INTERLINKING HANDRAIL IN ACCORDANCE WITH AS1288.



AREA SCHEDULE		
GROUND FL:	187.42m ²	20.17sq
FIRST FL:	214.38m ²	23.08sq
CARPORY:	51.16m ²	5.51sq
ALFRESCO:	13.38m ²	1.44sq
PORCH:	3.44m ²	0.37sq
VERANDAH:	4.32m ²	0.46sq
BALCONY:	13.38m ²	1.44sq
TOTAL:	487.48m ²	52.47sq



- PROVIDE UPGRADE R 2.5 HIGH DENSITY INSULATION BATTS TO SUB-FLOOR (BETWEEN FLOORS) IN LIEU OF R2.0 AS PER EMPIRE THERMAL GROUP ENERGY RATING SUMMARY REPORT.
 - PROVIDE R 2.5 INSULATION BATTS TO INTERNAL WALLS OF GARAGE, GROUND FLOOR POWDER ROOM AND LAUNDRY AS PER EMPIRE THERMAL GROUP ENERGY RATING SUMMARY.
 - R 6.0 INSULATION BATTS TO ROOF INCLUDING ABOVE GARAGE AND R 2.5 INSULATION BATTS TO EXTERNAL WALLS AS PER STANDARD INCLUSION.
- SMOKE DETECTOR TO A S 3196, CONNECTED TO MAINS POWER & HAVING A STANDBY POWER SUPPLY. SMOKE ALARMS MUST ALSO BE INTERCONNECTED AND COMPLY WITH AS 3196
- MH MANHOLE
- ALL WET AREAS TO BE SEALED AND COMPLY WITH AS 3743.
 - LIFT OFF HINGES: IF FRONT OF TOILET PAN IS WITHIN 1200 OF DOOR SWAY THEN LIFT OFF HINGES ON THE DOOR MUST BE PROVIDED OR THE DOOR MUST SWAY OUT.
 - ALL SANITARY COMPARTMENTS TO COMPLY WITH CURRENT NCC PART 10.2.
 - ALL GLASS TO CONFORM WITH AS 1288 2023 CLASS 9 BUILDING.
 - WINDOW DIMENSIONS LOCATIONS ARE NOMINAL.
 - DRY RIF: FIRE, WIND DRIVEN, INDICATE POSITION ONLY.
 - DIMENSIONS ARE TO FACE OF STUDYWORK AND ARE NOMINAL.
 - BULKHEADS & NIBS ARE NOMINAL, SIZE 20 ONLY.
 - REFER TO ENGINEERS DOCUMENTATION FOR ALL CONTROL JOINT LOCATIONS & BEAM DESIGNS



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 ACN: 168 181 100

Client Name:
**Luke Tran
 Nhi Huynh**

Job Address:
**LOT 3, No.1 CHIFLEY DRIVE,
 MARIBYRNONG, Victoria, 3032**

House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
 Client:

Rev.	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
GROUND FLOOR PLAN

Scale: 1/100 @A3

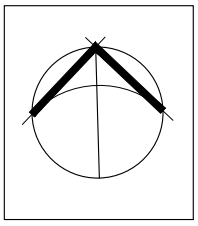
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Melways Ref: TBC

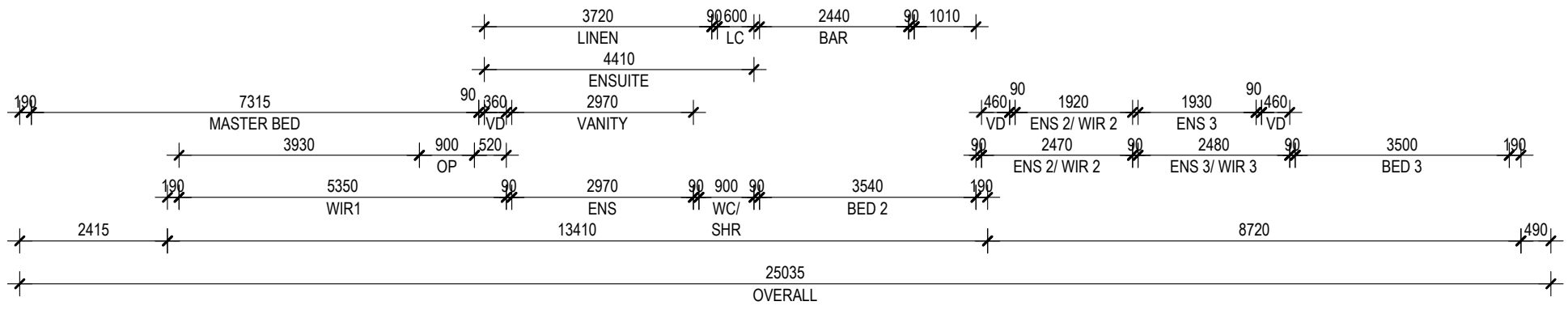
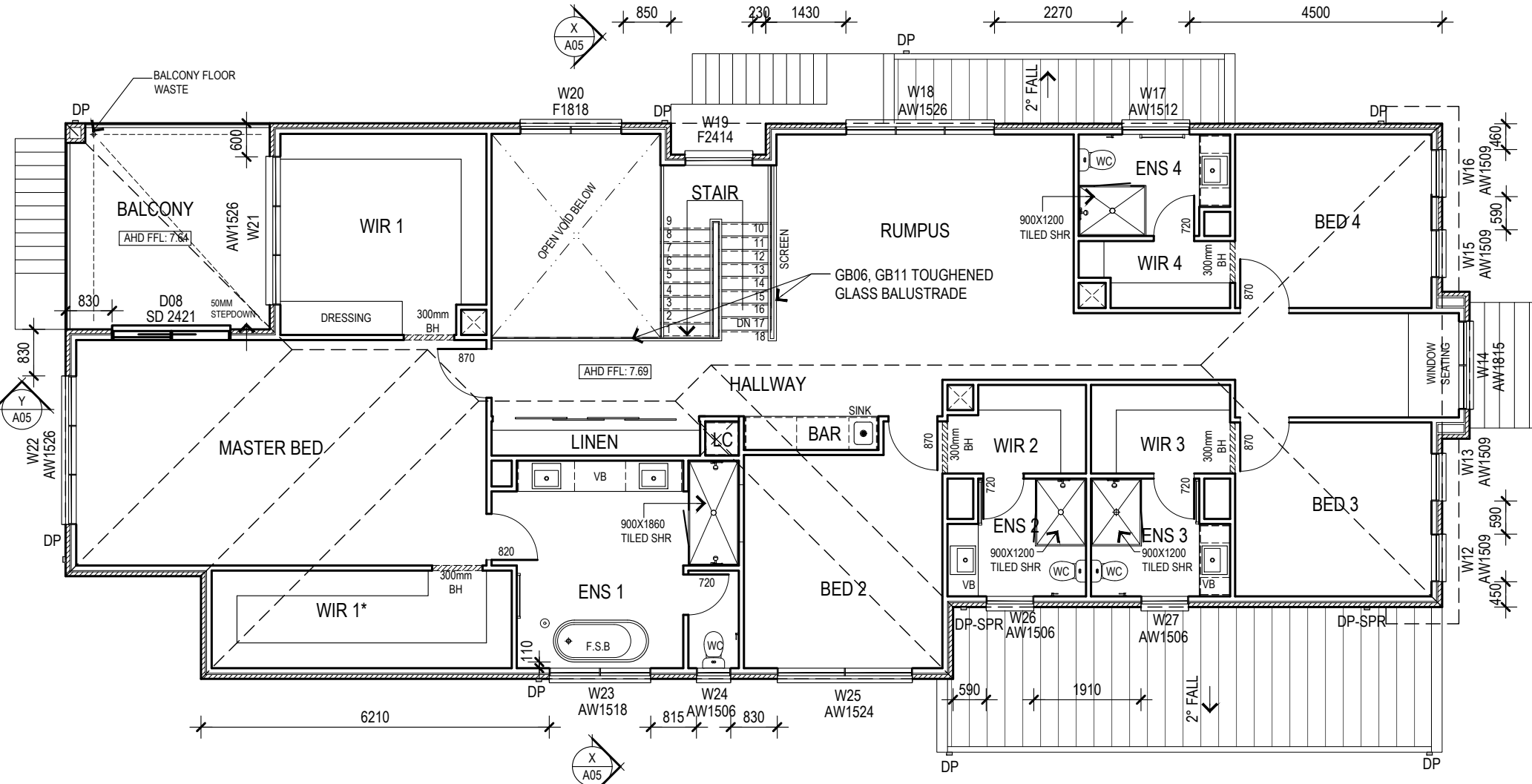
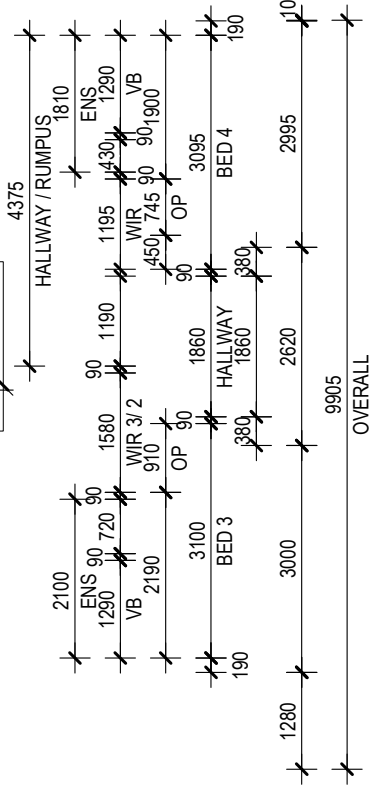
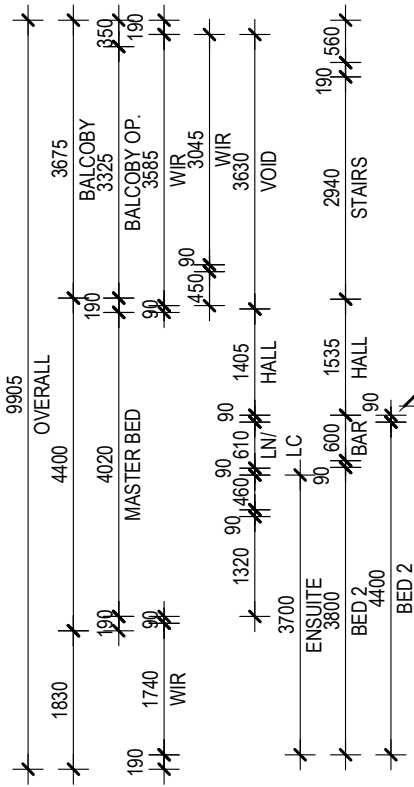
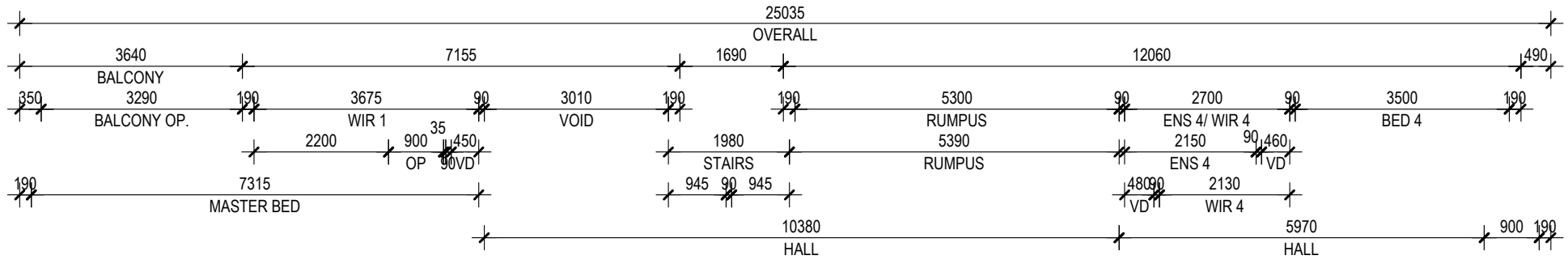
Job No: 300180

Revision No: **R5**

Sheet No: **A03**



- NOTES**
- 300mm DEEP BULKHEAD UNLESS NOTED OTHERWISE
 - PROVIDE RECESSED IN FLOOR STRUCTURE OF 50MM MAX. UNDERNEATH SHOWER BASE AREAS
 - 2340mm HIGH INTERNAL DOORS TO GROUND FLOOR ONLY.
 - 2340mm HIGH ENTRY DOOR HEIGHT.
 - REFER COLOR DOC FOR CORNICE THROUGHOUT UNLESS NOTED OTHERWISE.
 - REFER TO COLORDOC FOR ARCHITRAVES & SKIRTING SIZES THROUGHOUT
- ALL NATURAL GROUND LEVELS AND FINISHES FLOOR LEVEL TO AHD LEVEL.
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BALCONY:	13.38m ²	1.44sq
TOTAL:	487.48m ²	52.47sq

- NOTES**
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 - PROVIDE R 2.5 INSULATION BATTS TO INTERNAL WALLS OF GARAGE, GROUND FLOOR POWDER ROOM AND LAUNDRY AS PER EMPIRE THERMAL GROUP ENERGY RATING SUMMARY.
 - R 2.0 INSULATION BATTS TO ROOF INCLUDING ABOVE GARAGE AND R 2.5 INSULATION BATTS TO EXTERNAL WALLS AS PER STANDARD INCLUSION.
- SMOKE DETECTOR TO A S 3786. CONNECTED TO MAINS POWER & HAVING A STANDBY POWER SUPPLY. SMOKE ALARMS MUST ALSO BE INTERCONNECTED AND COMPLY WITH AS 3786
- MH MANHOLE
- ALL WET AREAS TO BE SEALED AND COMPLY WITH AS 3741.
 - LIFT OFF HINGES: IF FRONT OF TOILET PAN IS WITHIN 1200 OF DOOR WAY THEN LIFT OFF HINGES ON THE DOOR MUST BE PROVIDED OR THE DOOR MUST SWING OUT.
 - ALL SANITARY COMPARTMENTS TO COMPLY WITH CURRENT NCC PART 10.4.2.
 - ALL GLASS TO COMPLY WITH AS 1288 2003 CLASS 9 BUILDING.
 - WINDOW DIMENSIONS LOCATIONS ARE NOMINAL.
 - DRY RISE FIRE WIR DRIVERS INDICATE POSITION ONLY.
 - DIMENSIONS ARE TO FACE OF STUDWORK AND ARE NOMINAL.
 - BULKHEADS & NIBS ARE NOMINAL SIZES ONLY.
 - REFER TO ENGINEERS DOCUMENTATION FOR ALL CONTROL JOINT LOCATIONS & BEAM DESIGNS.



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Client Name:
Luke Tran
Nhi Huynh

Job Address:
LOT 3, No.1 CHIFLEY DRIVE,
MARIBYRNONG, Victoria, 3032

House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client:

Rev.	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
FIRST FLOOR PLAN

Scale: 1/100 @A3

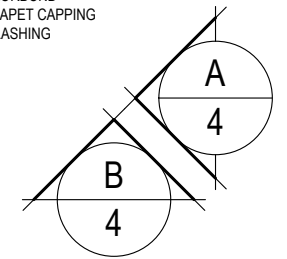
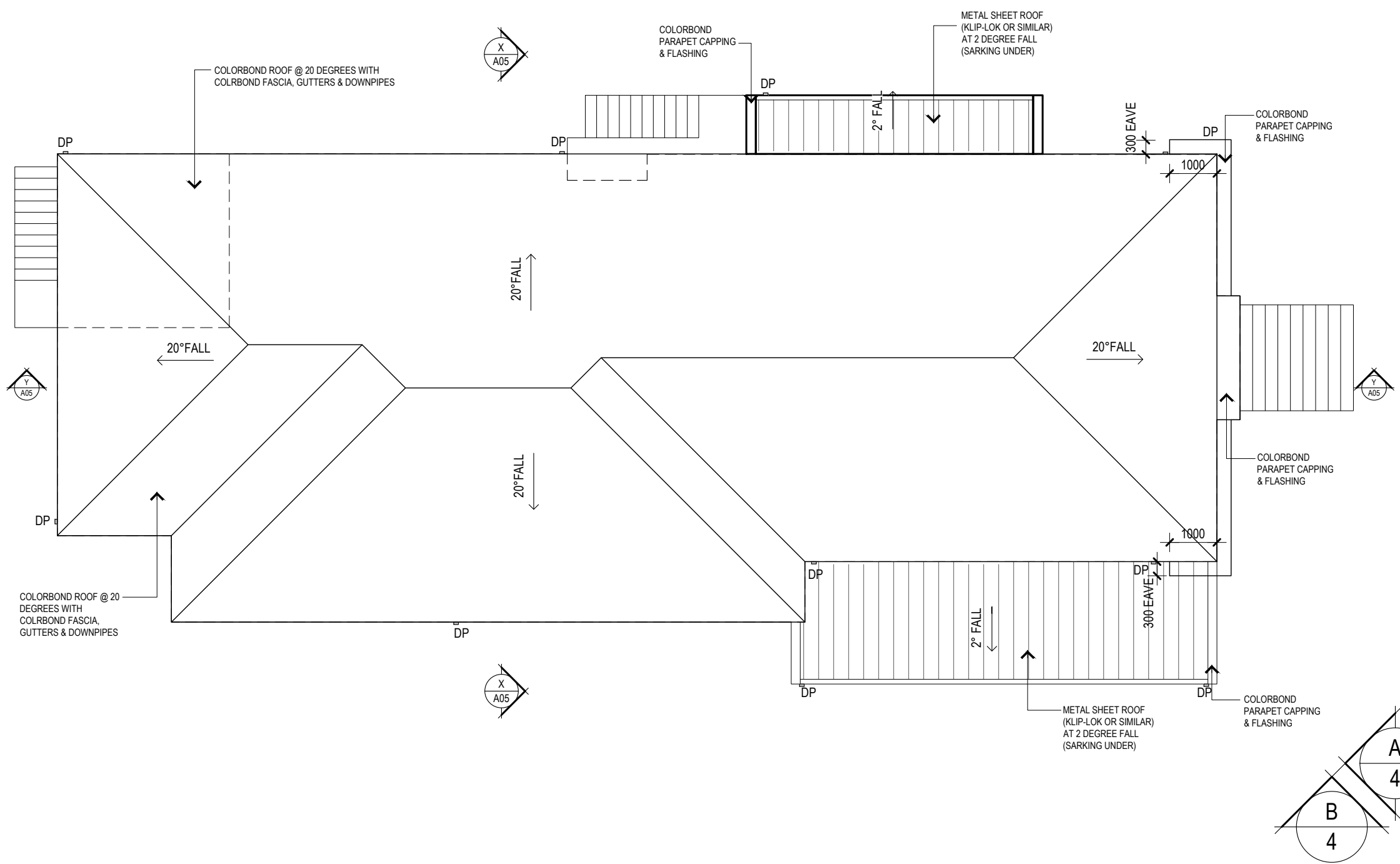
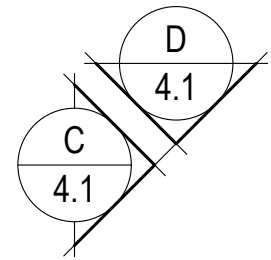
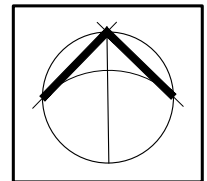
Checked By: XX

Melways Ref: TBC

Job No: 300180

Revision No: **R5**

Sheet No: **A03.1**



ALIYA HOMES

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House Name:
CUSTOM
Facade:
CUSTOM
Options:
STANDARD PLAN

Signatures
Client: _____

Rev.	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
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R.6	23/06/25	UPDATE FLOOD ZONE	CSE
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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

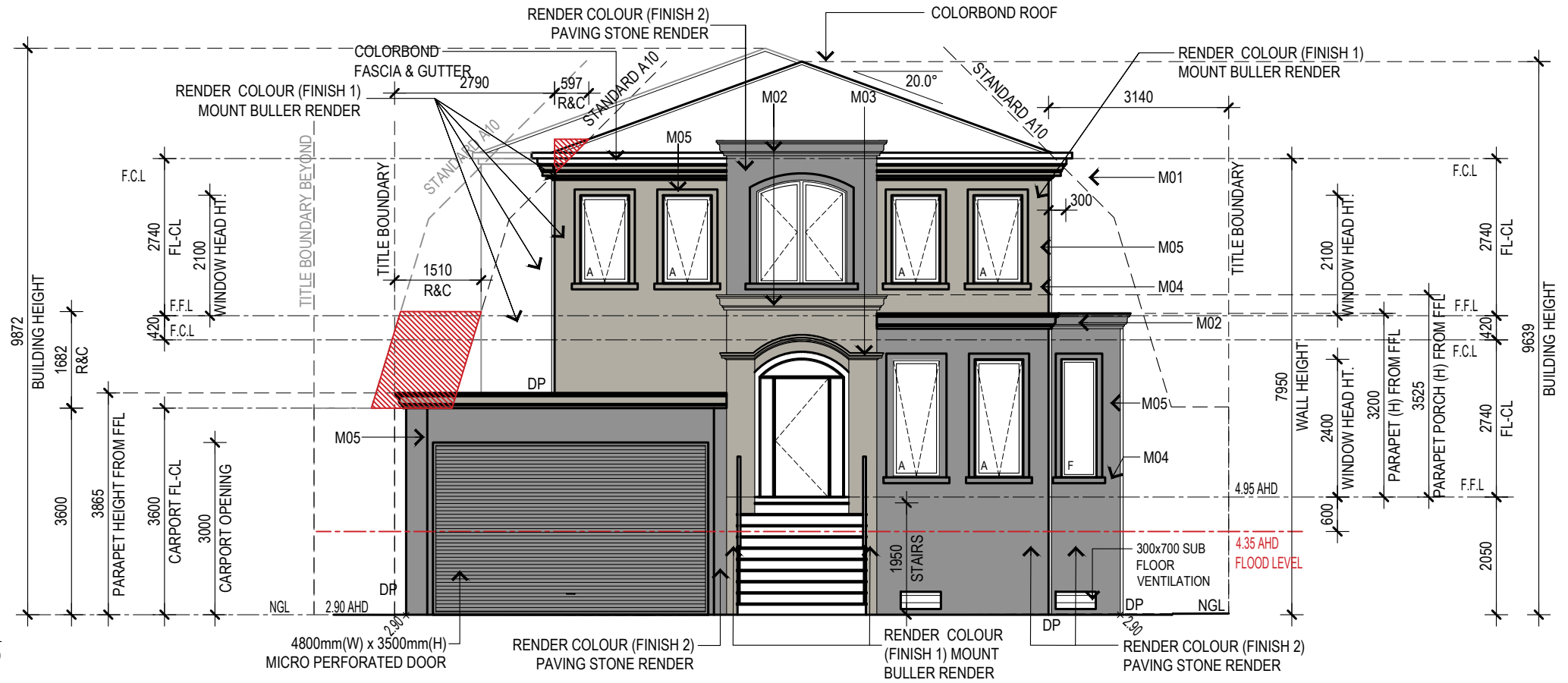
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ROOF PLAN

Scale: 1/100 @A3
Checked By: XX
Melways Ref: TBC

Job No:
300180
Revision No:
R5

Sheet No:
A03.2

ALL GLASS TO COMFORM WITH AS1288-2021: GLASS IN BUILDING
WINDOW SCHEDULE (NOMINAL SIZES) STEGBAR WINDOW SCHEDULE
FOR STUD (FRAMED) OPENINGS: WINDOW WIDTH PLUS 66mm MIN.
WINDOW HEIGHT PLUS 66mm MIN.

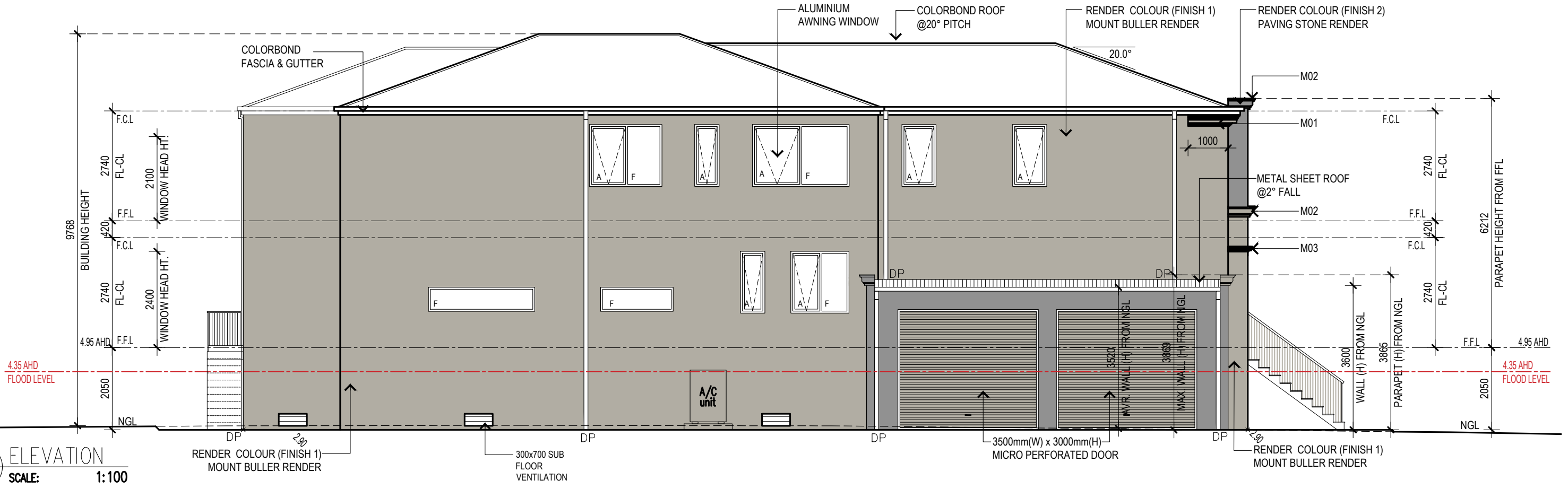


- RENDER COLOUR (FINISH 1)
MOUNT BULLER RENDER
- RENDER COLOUR (FINISH 2)
PAVING STONE RENDER

- M01 - HB - 7003 - EAVE
- M02 - HB - 7001 - PARAPET
- M03 - HB - 5005 - WINDOW HEADER
- M04 - HB - 4003 - WINDOW SILL
- M05 - HB - 4008 - WINDOW ARCHITRAVE

REPORT & CONSENT (R&C) REQUIRED DUE TO
NON-COMPLIANCE OF REGULATION 79(6)
SIDE OR REAR BOUNDARY SETBACKS NOT
COMPLYING (EXCESSIVE HEIGHT WITH
REDUCED SETBACK)

A ELEVATION
SCALE: 1:100



B ELEVATION
SCALE: 1:100



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ACN: 168 181 100

Client Name:
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Nhi Huynh

Job Address:
LOT 3, No.1 CHIFLEY DRIVE,
MARIBYRNONG, Victoria, 3032

House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client:

Rev	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
ELEVATION A & B

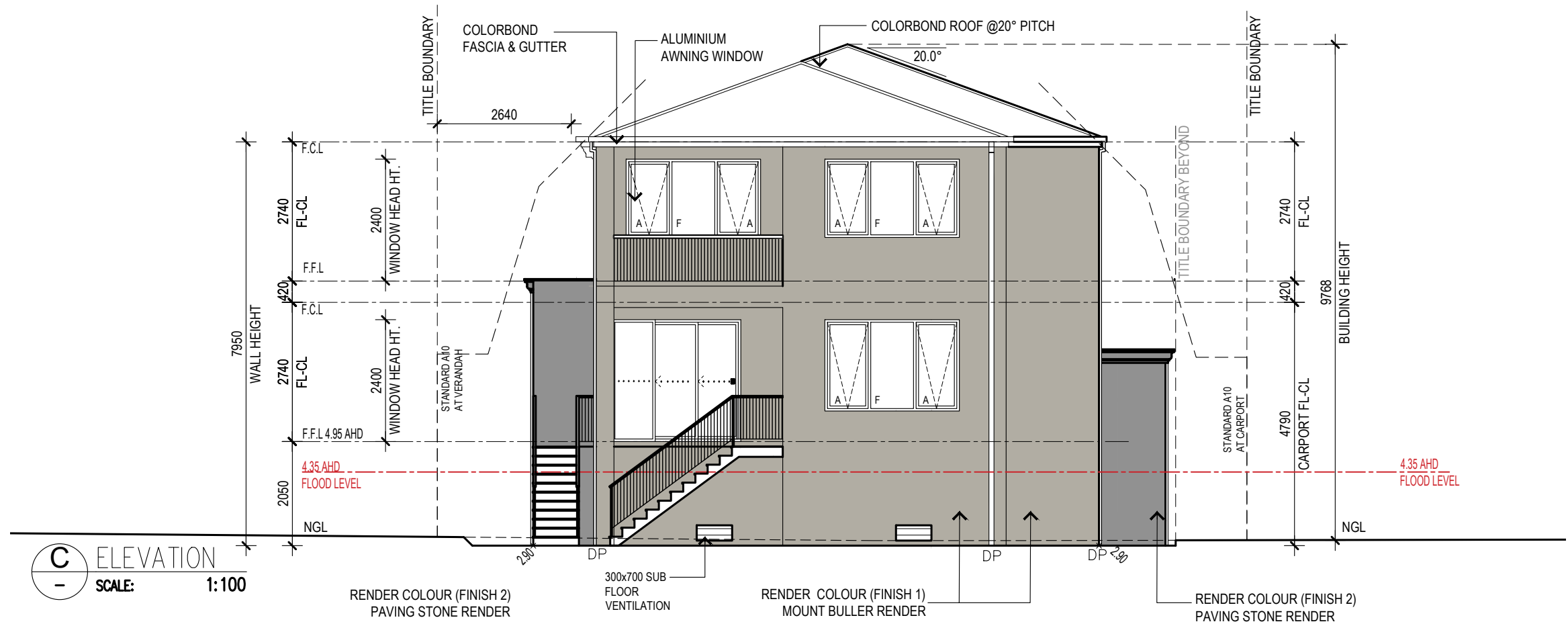
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Checked By: XX
Melways Ref: TBC

Job No:
300180

Revision No:
R5

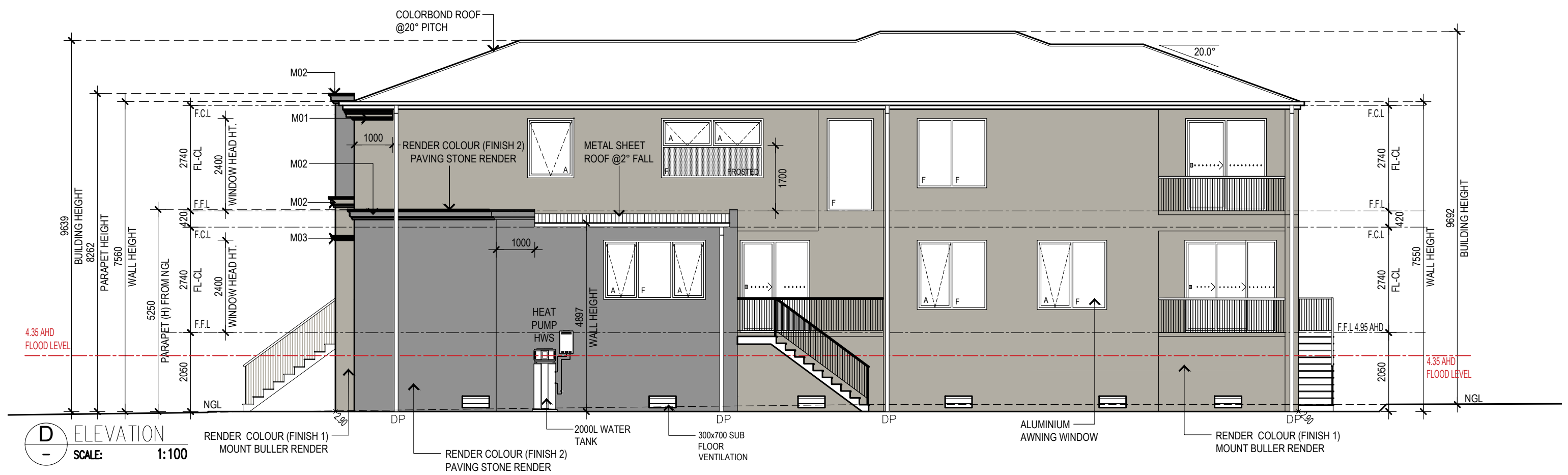
Sheet No:
A04

ALL GLASS TO COMFORM WITH AS1288-2021: GLASS IN BUILDING
WINDOW SCHEDULE (NOMINAL SIZES) STEGBAR WINDOW SCHEDULE
FOR STUD (FRAMED) OPENINGS: WINDOW WIDTH PLUS 66mm MIN.
WINDOW HEIGHT PLUS 66mm MIN.



- RENDER COLOUR (FINISH 1)
MOUNT BULLER RENDER
- RENDER COLOUR (FINISH 2)
PAVING STONE RENDER

- M01 - HB - 7003 - EAVE
- M02 - HB - 7001 - PARAPET
- M03 - HB - 5005 - WINDOW HEADER
- M04 - HB - 4003 - WINDOW SILL
- M05 - HB - 4008 - WINDOW ARCHITRAVE



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House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client:

Rev	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
ELEVATION C & D

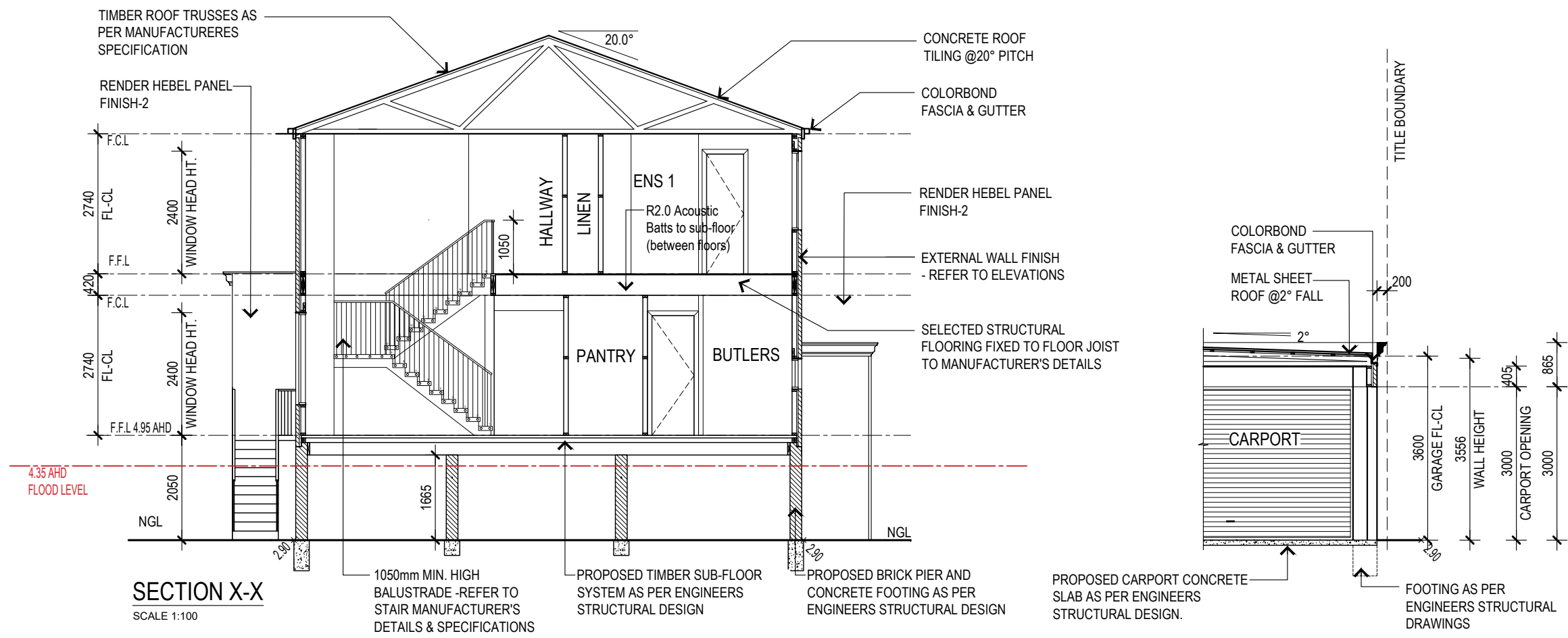
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Melways Ref: TBC

Job No:
300180

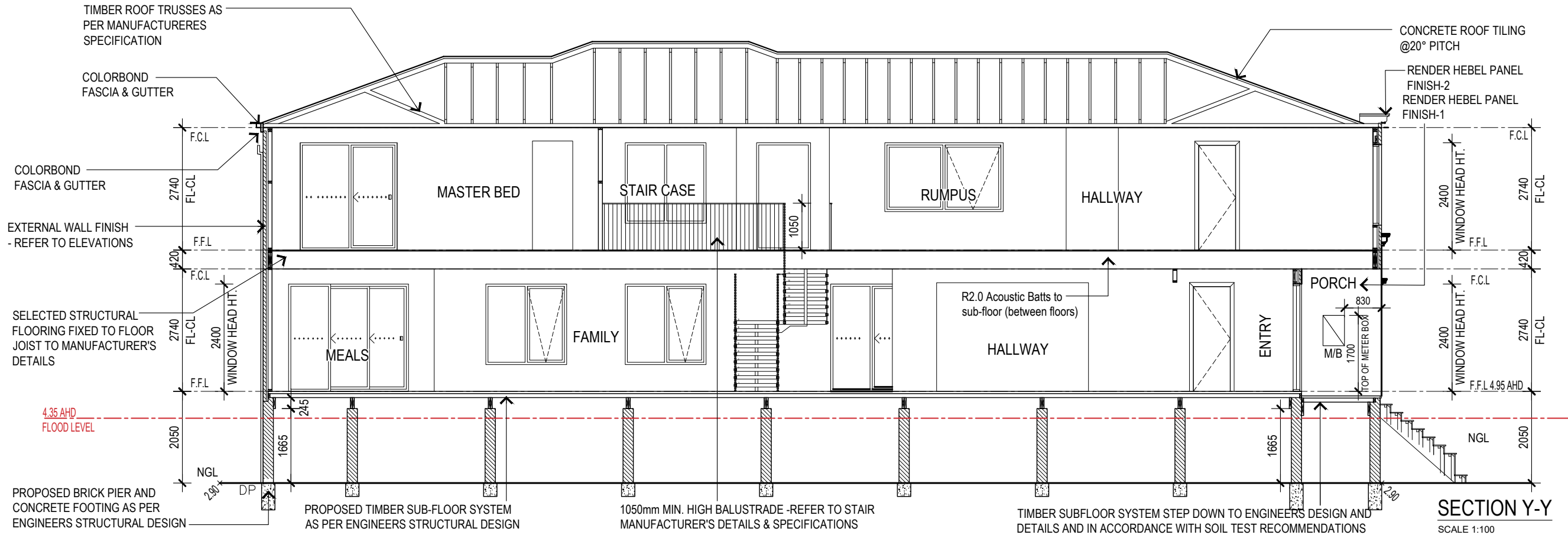
Revision No:
R5

Sheet No:
A04.1

ALL GLASS TO COMFORM WITH AS1288-2021: GLASS IN BUILDING
WINDOW SCHEDULE (NOMINAL SIZES) STEGBAR WINDOW SCHEDULE
FOR STUD (FRAMED) OPENINGS: WINDOW WIDTH PLUS 66mm MIN.
WINDOW HEIGHT PLUS 66mm MIN.



SECTION X-X
SCALE 1:100



SECTION Y-Y
SCALE 1:100



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Options:
STANDARD PLAN

Signatures
Client:

Rev	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
SECTION X-X & Y-Y

Scale: 1/100 @A3
Checked By: XX
Melways Ref: TBC

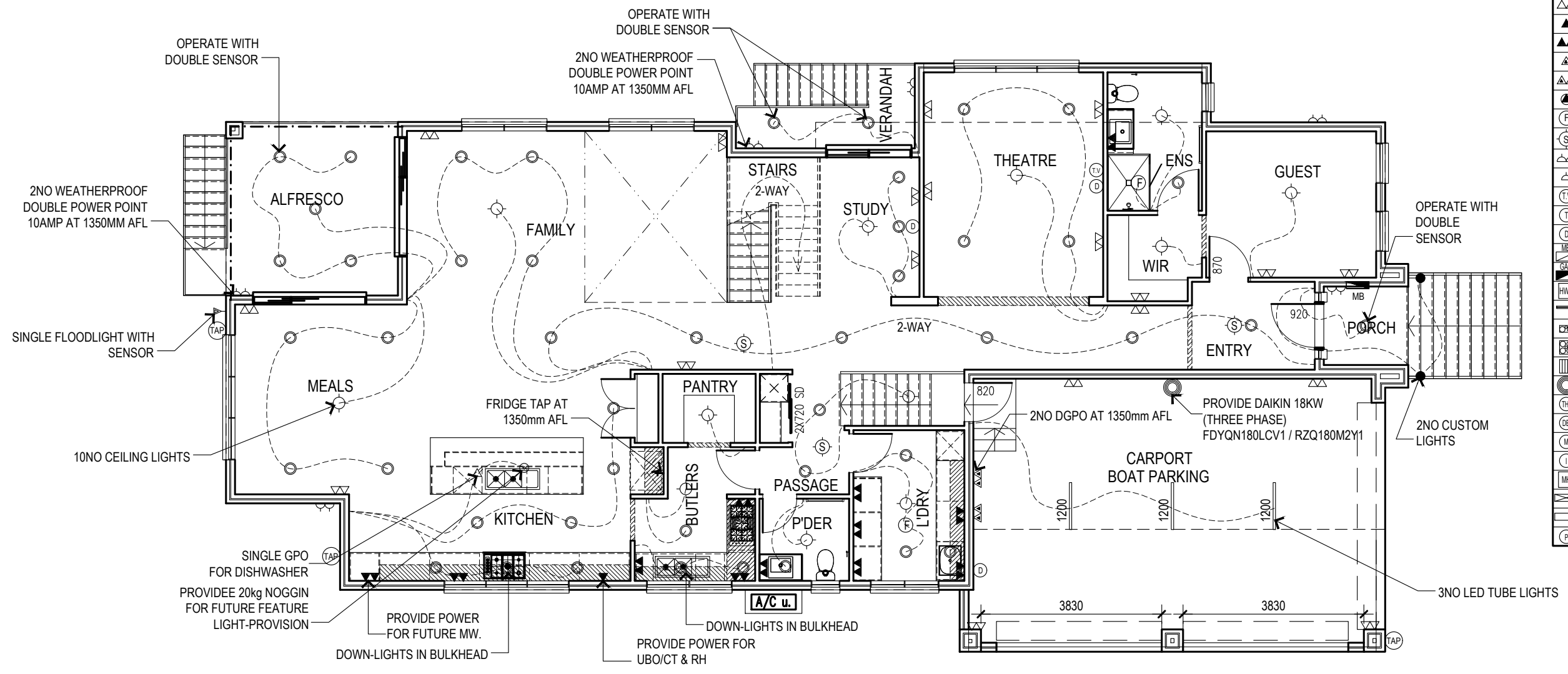
Job No:
300180

Revision No:
R5

Sheet No:
A05

ELECTRICAL LEGEND:

	- CEILING FAN WITH LED DOWNLIGHT
	- CEILING FAN (NO LIGHT)
	- BATTEN HOLDER INTERNAL
	- BATTEN HOLDER EXTERNAL
	- LED DOWNLIGHT
	- LED DOWNLIGHT UPGRADE
	- INT. WALL MOUNTED BATTEN HOLDER
	- EXT. WALL MOUNTED BATTEN HOLDER
	- WALL MOUNTED FLOODLIGHT
	- WALL MOUNTED DBL FLOODLIGHT WITH SENSOR
	- SINGLE POWERPOINT 300mm HIGH
	- DOUBLE POWERPOINT 300mm HIGH
	- SINGLE POWERPOINT 1100mm HIGH
	- DOUBLE POWERPOINT 1100mm HIGH
	- SINGLE POWERPOINT 1500mm HIGH
	- DOUBLE POWERPOINT 1500mm HIGH
	- GARAGE DOOR REMOTE GPO
	- EXHAUST FAN
	- SMOKE DETECTOR - INTERLINKED TO COMPLY WITH NCC & AS3786
	- DOUBLE EXTERNAL GPO
	- SINGLE EXTERNAL GPO
	- TV POINT
	- TELEPHONE POINT
	- DATA POINT
	- METER BOX
	- GAS METER
	- HOT WATER SERVICE
	- 600L DOUBLE FLUORESCENT LIGHT
	- IXL TASTIC 2 GLOBE
	- IXL TASTIC 4 GLOBE
	- EVAPORATIVE COOLER OUTLET (APPROX)
	- DUCTED HEATING OUTLET (APPROX)
	- THERMOSTAT
	- VIDEO INTERCOM EXTERNAL SCREEN LOCATION
	- VIDEO INTERCOM INTERNAL SCREEN LOCATION
	- ISOLATION SWITCH
	- MANHOLE LOCATION
	- OUTDOOR CONDENSER
	- SPLIT SYSTEM HEAD
	- PENDANT LIGHT



PROVISION OF ARTIFICIAL LIGHTING IN ACCORDANCE WITH NCC 3.12.5.5

AREA	AREA (M2)	No OF LIGHTS (10W)	TOTAL PROPOSED WATTAGE (W)	WATTS PER M2
GF DWELLING	187.42	46	460	2.45
GARAGE	51.16	3	30	0.59
PORCH	3.44	1 (5W)	5	1.45
ALFRESCO	13.38	5	50	3.74
VERANDAH	4.32	2 (5W)	10	2.31



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Facade:
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Options:
STANDARD PLAN

Signatures
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Rev	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
ELECTRICAL G.F. LAYOUT

Scale: 1/100 @A3

Checked By: XX

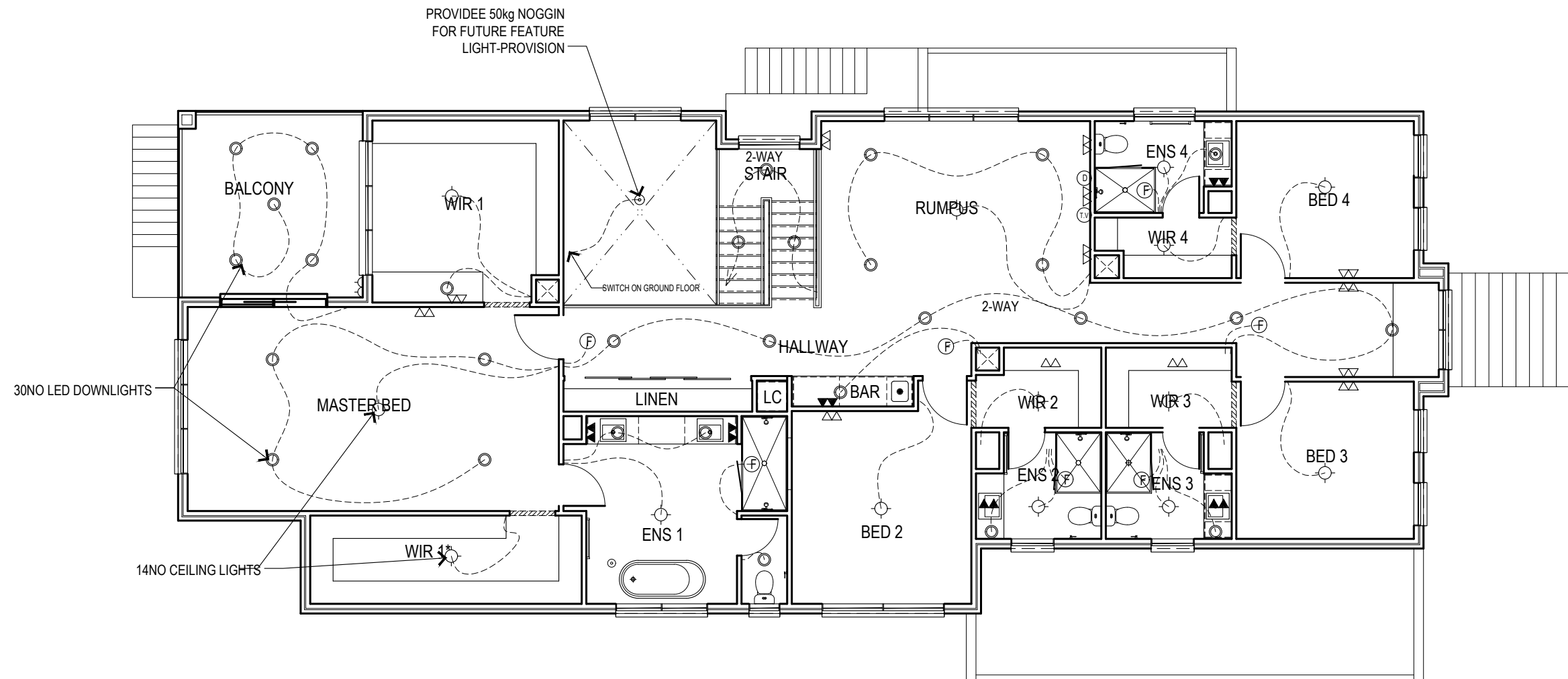
Melways Ref: TBC

Job No:
300180

Revision No:
R5

Sheet No:
A06

	- CEILING FAN WITH LED DOWNLIGHT
	- CEILING FAN (NO LIGHT)
	- BATTEN HOLDER INTERNAL
	- BATTEN HOLDER EXTERNAL
	- LED DOWNLIGHT
	- LED DOWNLIGHT UPGRADE
	- INT. WALL MOUNTED BATTEN HOLDER
	- EXT. WALL MOUNTED BATTEN HOLDER
	- WALL MOUNTED FLOODLIGHT
	- WALL MOUNTED DBL FLOODLIGHT WITH SENSOR
	- SINGLE POWERPOINT 300mm HIGH
	- DOUBLE POWERPOINT 300mm HIGH
	- SINGLE POWERPOINT 1100mm HIGH
	- DOUBLE POWERPOINT 1100mm HIGH
	- SINGLE POWERPOINT 1500mm HIGH
	- DOUBLE POWERPOINT 1500mm HIGH
	- GARAGE DOOR REMOTE GPO
	- EXHAUST FAN
	- SMOKE DETECTOR - INTERLINKED TO COMPLY WITH NCC & AS3786
	- DOUBLE EXTERNAL GPO
	- SINGLE EXTERNAL GPO
	- TV POINT
	- TELEPHONE POINT
	- DATA POINT
	- METER BOX
	- GAS METER
	- HOT WATER SERVICE
	- 600L DOUBLE FLUORESCENT LIGHT
	- IXL TASTIC 2 GLOBE
	- IXL TASTIC 4 GLOBE
	- EVAPORATIVE COOLER OUTLET (APPROX)
	- DUCTED HEATING OUTLET (APPROX)
	- THERMOSTAT
	- VIDEO INTERCOM EXTERNAL SCREEN LOCATION
	- VIDEO INTERCOM INTERNAL SCREEN LOCATION
	- ISOLATION SWITCH
	- MANHOLE LOCATION
	- OUTDOOR CONDENSER
	- SPLIT SYSTEM HEAD
	- PENDANT LIGHT



REFER TO ADAPTO PLAN

PROVISION OF ARTIFICIAL LIGHTING IN ACCORDANCE WITH NCC 3.12.5.5				
AREA	AREA (M2)	No OF LIGHTS (10W)	TOTAL PROPOSED WATTAGE (W)	WATTS PER M2
FF DWELLING	214.38	37	370	1.73
BALCONY	13.38	5	50	3.74



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ACN: 168 181 100

Client Name:
Luke Tran
Nhi Huynh

Job Address:
LOT 3, No.1 CHIFLEY DRIVE,
MARIBYRNONG, Victoria, 3032

House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client: _____

Rev.	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
ELECTRICAL F.F. LAYOUT

Scale: 1/100 @A3
Checked By: XX
Melways Ref: TBC

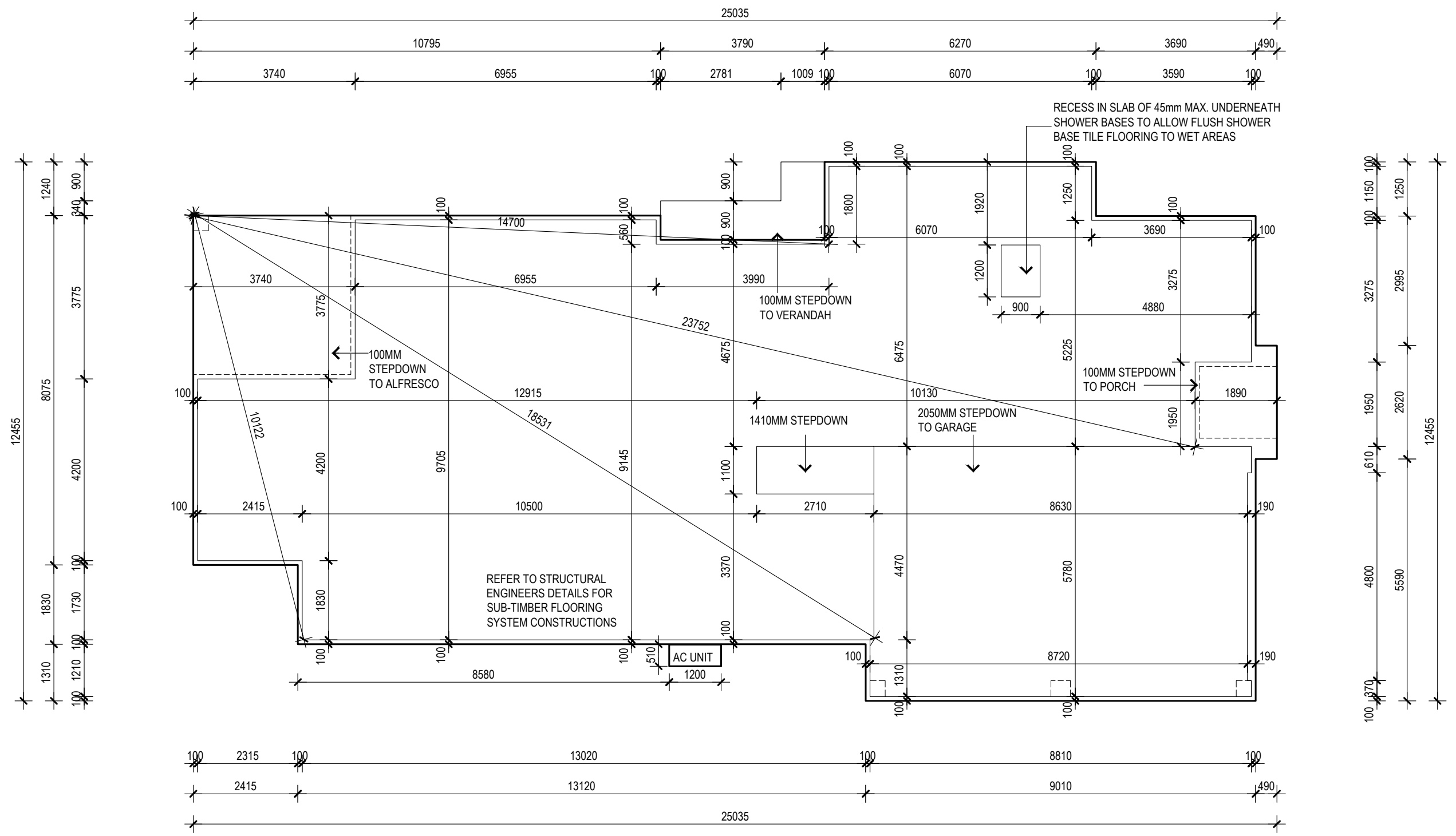
Job No:
300180

Revision No:
R5

Sheet No:
A06.1

PROVISION OF ARTIFICIAL LIGHTING IN ACCORDANCE WITH NCC 3.12.5.5				
AREA	AREA (M2)	No OF LIGHTS (10W)	TOTAL PROPOSED WATTAGE (W)	WATTS PER M2

DIMENSIONS ARE TAKEN FROM
OUTSIDE OF SLAB EDGE



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CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client:

Rev.	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
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R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
SLAB PLAN

Scale: 1/100 @A3

Checked By: XX

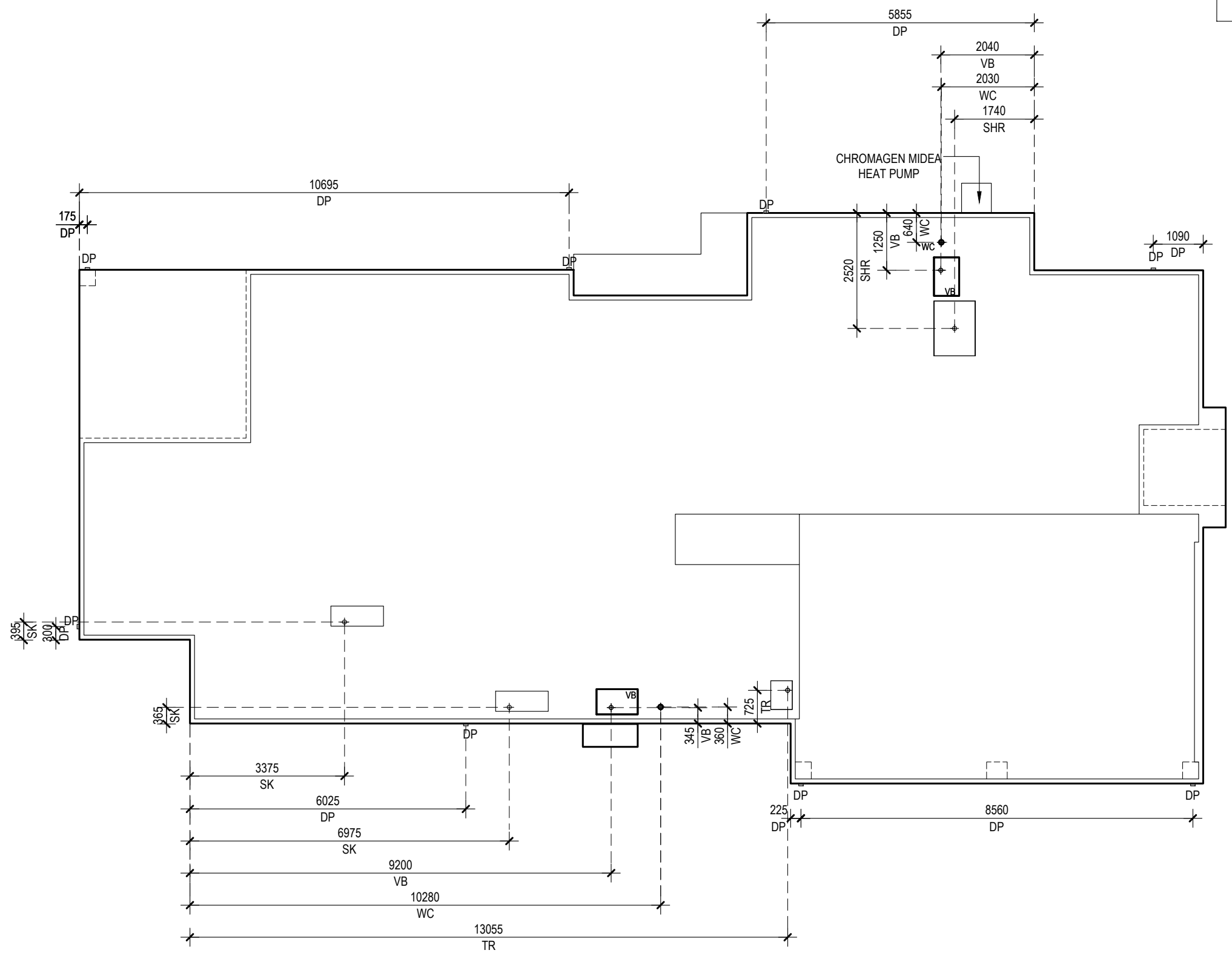
Melways Ref: TBC

Job No:
300180

Revision No:
R5

Sheet No:
A07

DIMENSIONS ARE TAKEN FROM
OUTSIDE OF SLAB EDGE



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House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client: _____

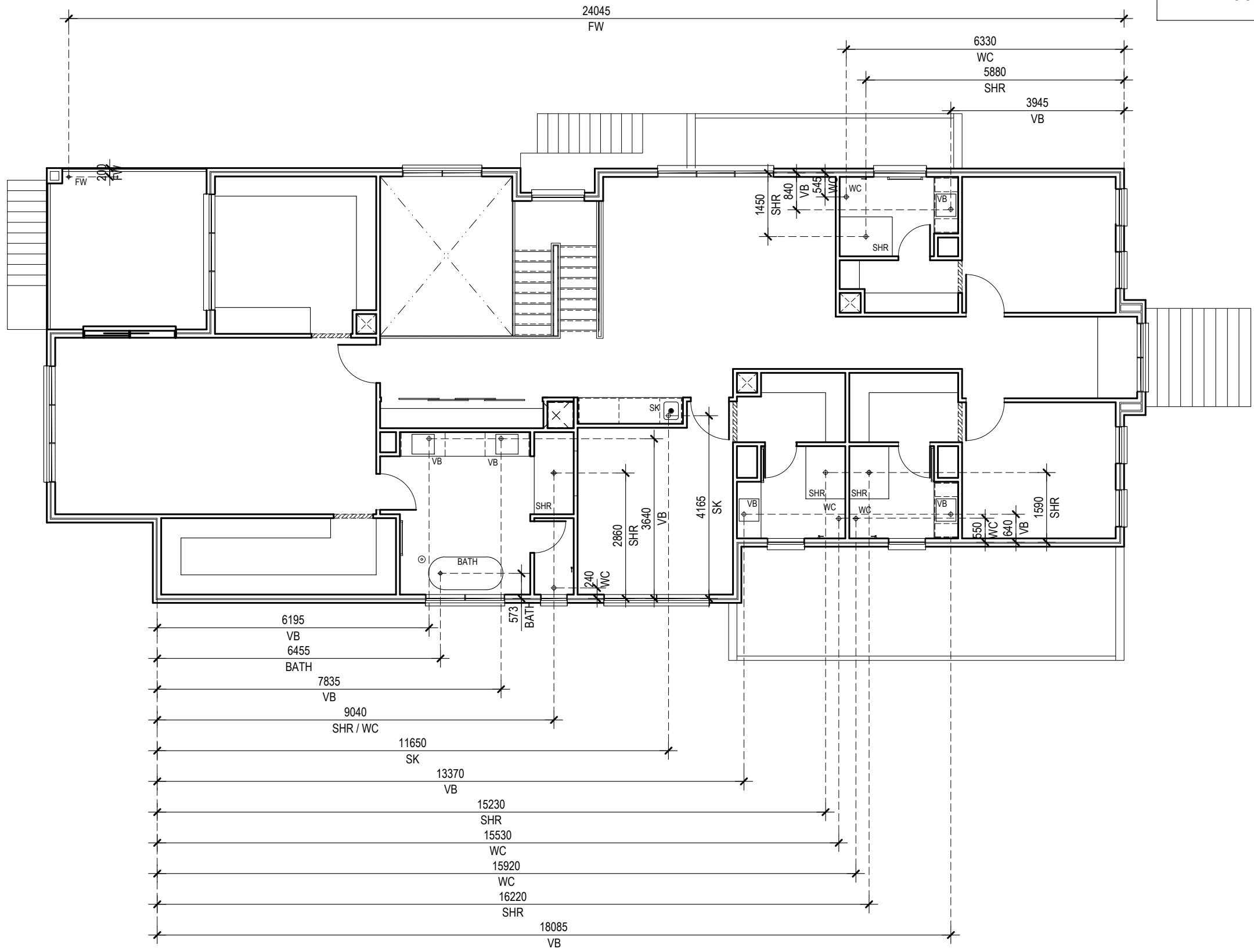
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R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
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R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
GROUND FLOOR
PLUMBING PLAN

Scale: 1/100 @A3
Checked By: XX
Melways Ref: TBC

Job No: 300180
Revision No: **R5**
Sheet No: **A08**

DIMENSIONS ARE TAKEN FROM MARIBYRNONG
OUTSIDE OF SLAB EDGE ADVERTISED PLAN



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House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client: _____

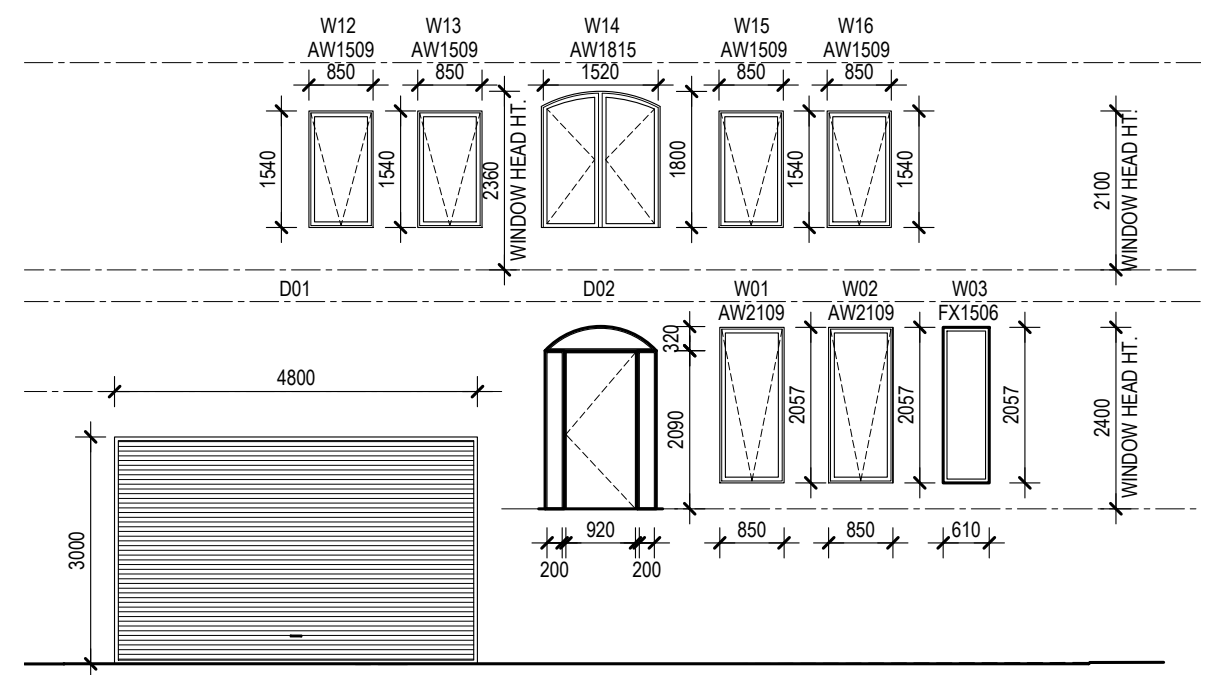
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R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
FIRST FLOOR
PLUMBING PLAN

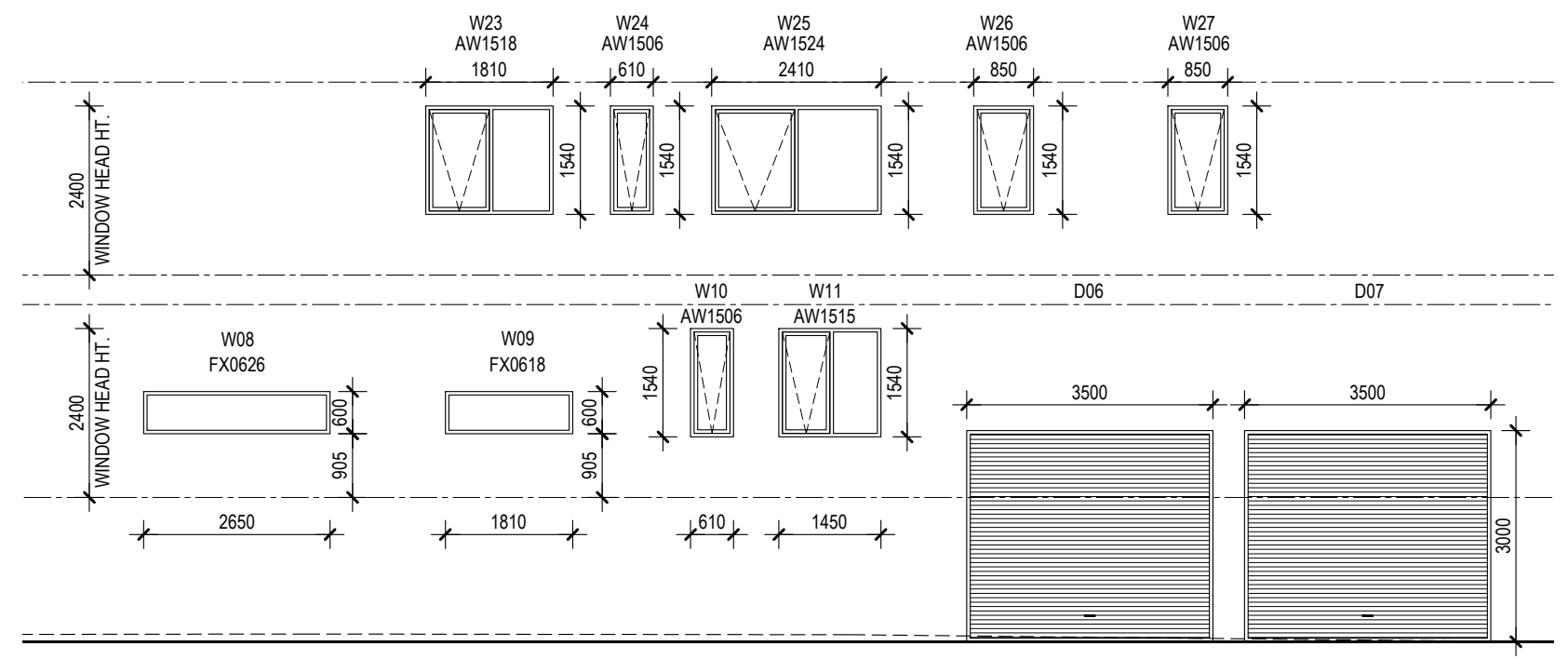
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Melways Ref: TBC

Job No: 300180
Revision No: **R5**
Sheet No: **A08.1**

ALL GLASS TO COMFORM WITH AS1288-2021: GLASS IN BUILDING
WINDOW SCHEDULE (NOMINAL SIZES) STEGBAR WINDOW SCHEDULE
FOR STUD (FRAMED) OPENINGS: WINDOW WIDTH PLUS 66mm MIN.
WINDOW HEIGHT PLUS 66mm MIN.



ELEVATION A
SCALE 1:100



ELEVATION B
SCALE 1:100



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House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client: _____

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R.1	20/02/25	CONTRACT DRAWING	BOB
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R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
WINDOW SCHEDULE 1

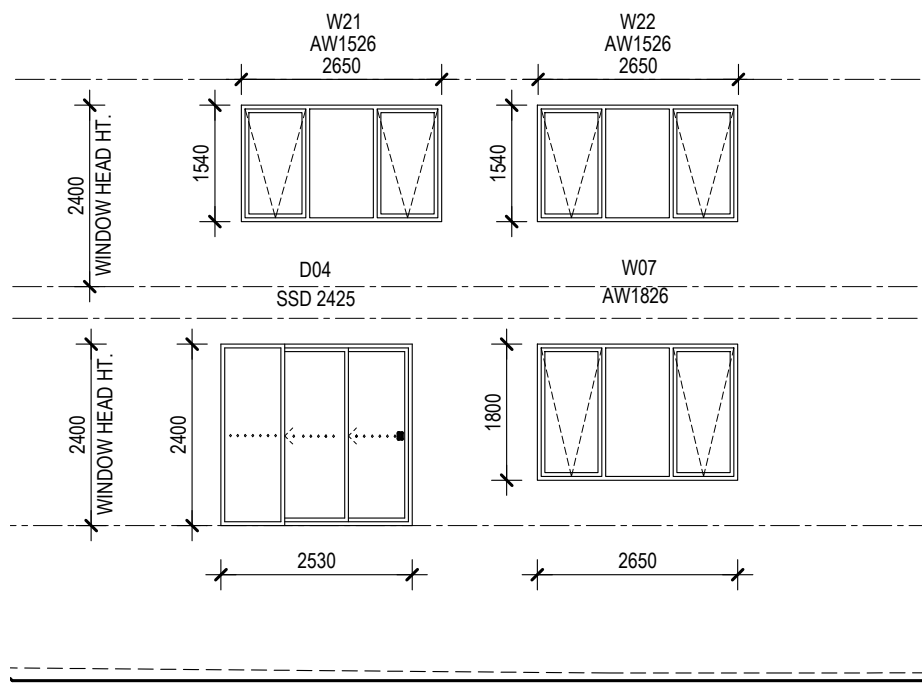
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Melways Ref: TBC

Job No:
300180

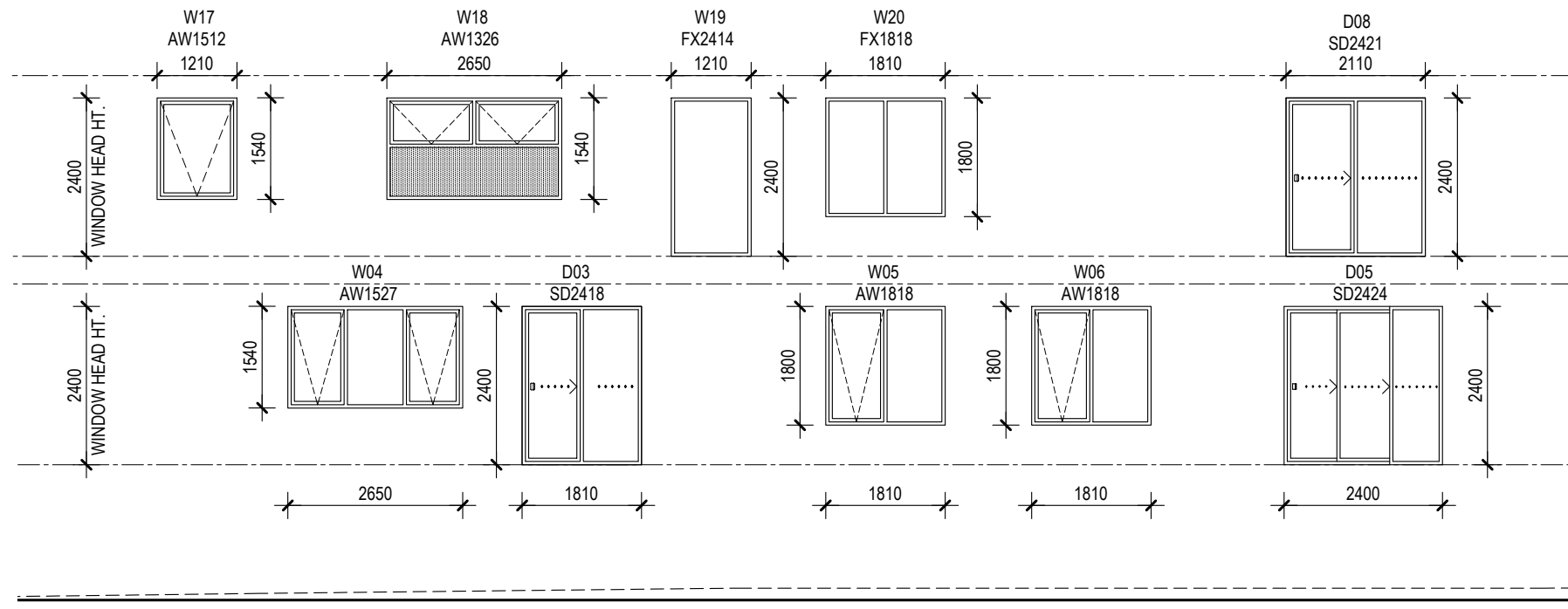
Revision No:
R5

Sheet No:
A09

ALL GLASS TO COMFORM WITH AS1288-2021: GLASS IN BUILDING
WINDOW SCHEDULE (NOMINAL SIZES) STEGBAR WINDOW SCHEDULE
FOR STUD (FRAMED) OPENINGS: WINDOW WIDTH PLUS 66mm MIN.
WINDOW HEIGHT PLUS 66mm MIN.



ELEVATION C
SCALE 1:100



ELEVATION D
SCALE 1:100



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House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client: _____

Rev	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
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R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB




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WINDOW SCHEDULE 2

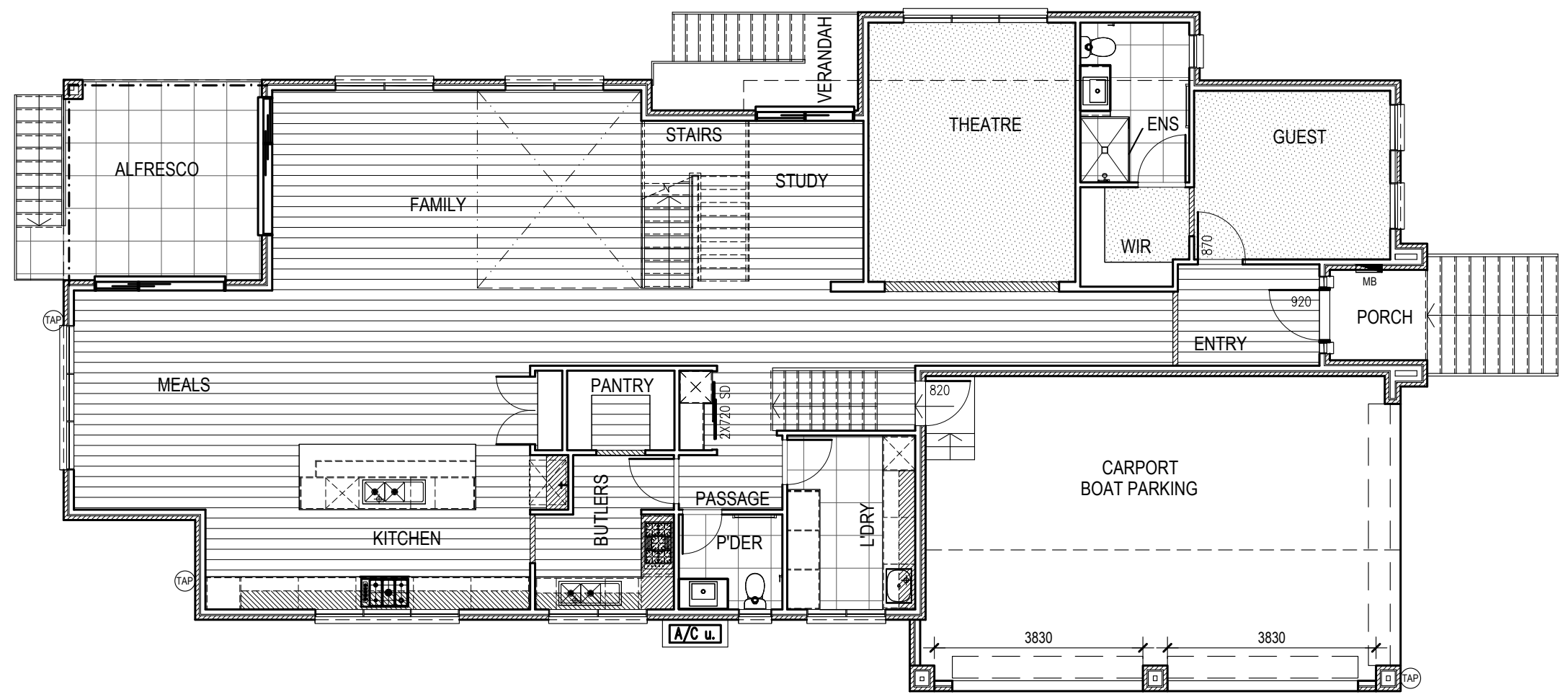
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Melways Ref: TBC

Job No: 300180
Revision No: **R5**
Sheet No: **A09.1**

NOTES

HATCHED PATTERNS ARE INDICATIVE OF FLOORING AREAS AND ARE TO BE USED AS A GUIDE ONLY REFERENCE TO THE STANDARD PLAN FOR INSTALLATION TYPE AND INSTRUCTION.

-  CARPET FLOORING
-  TILED FLOORING
-  LAMINATE FLOORING



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House Name:
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Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client: _____

Rev	Date	Description	Drawn By
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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
GROUND FLOOR COVERINGS

Scale: 1/100 @A3
Checked By: XX
Melways Ref: TBC




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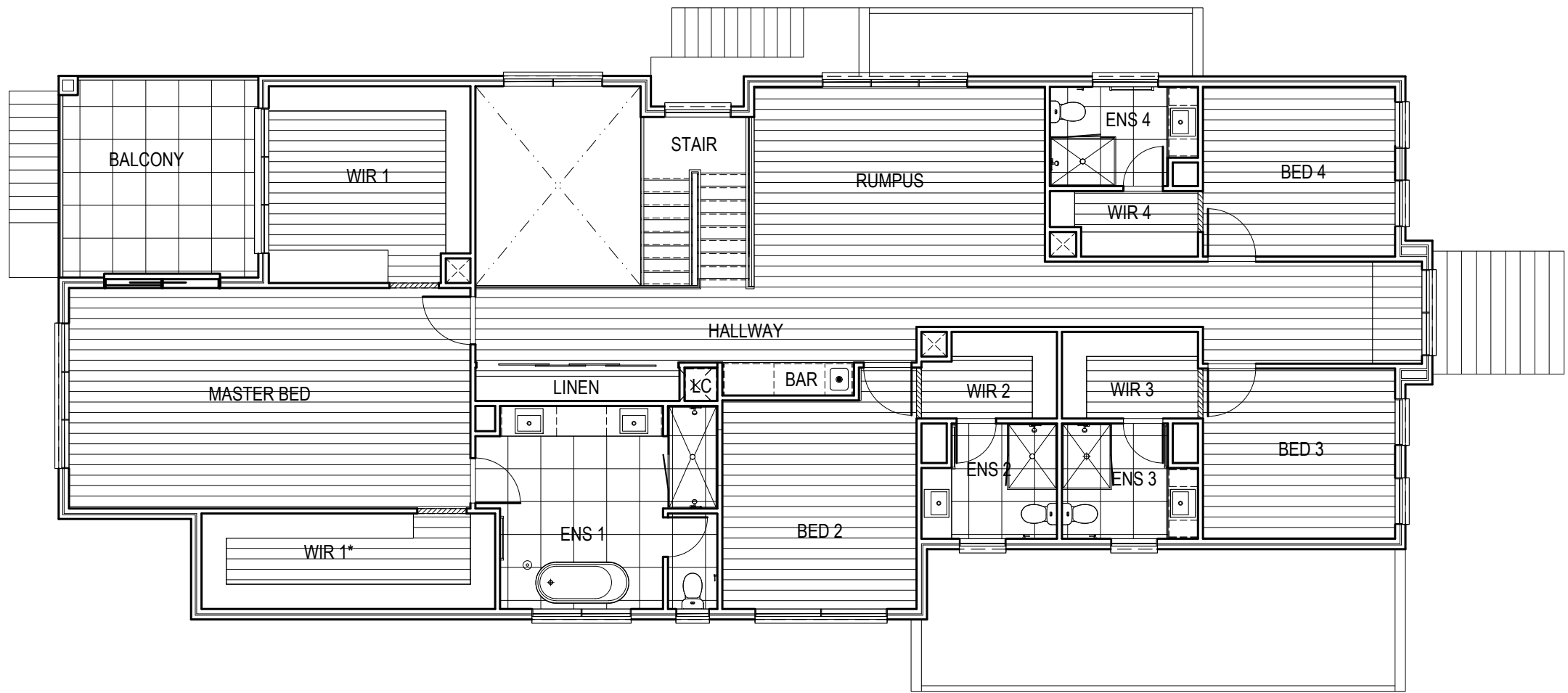
Revision No:
R5

Sheet No:
A10

NOTES

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-  TILED FLOORING
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House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client: _____

Rev.	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
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R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

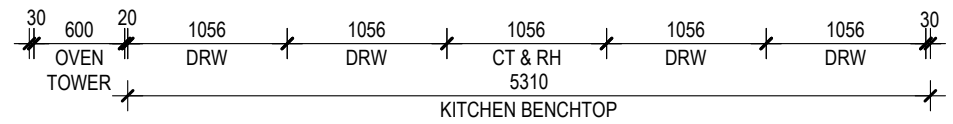
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FIRST FLOOR COVERINGS

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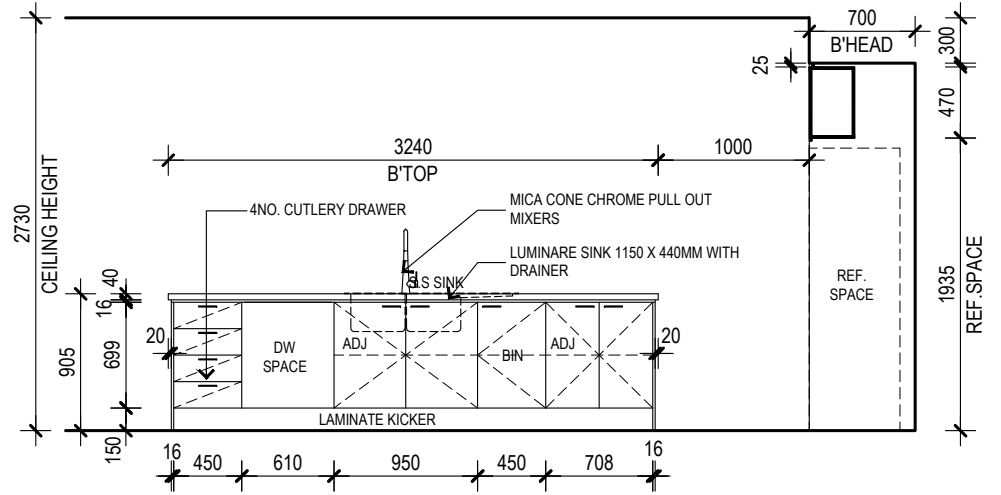
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Revision No:
R5

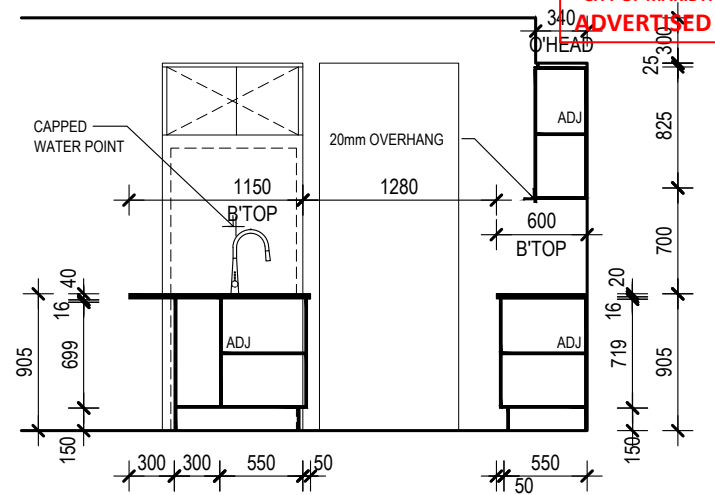
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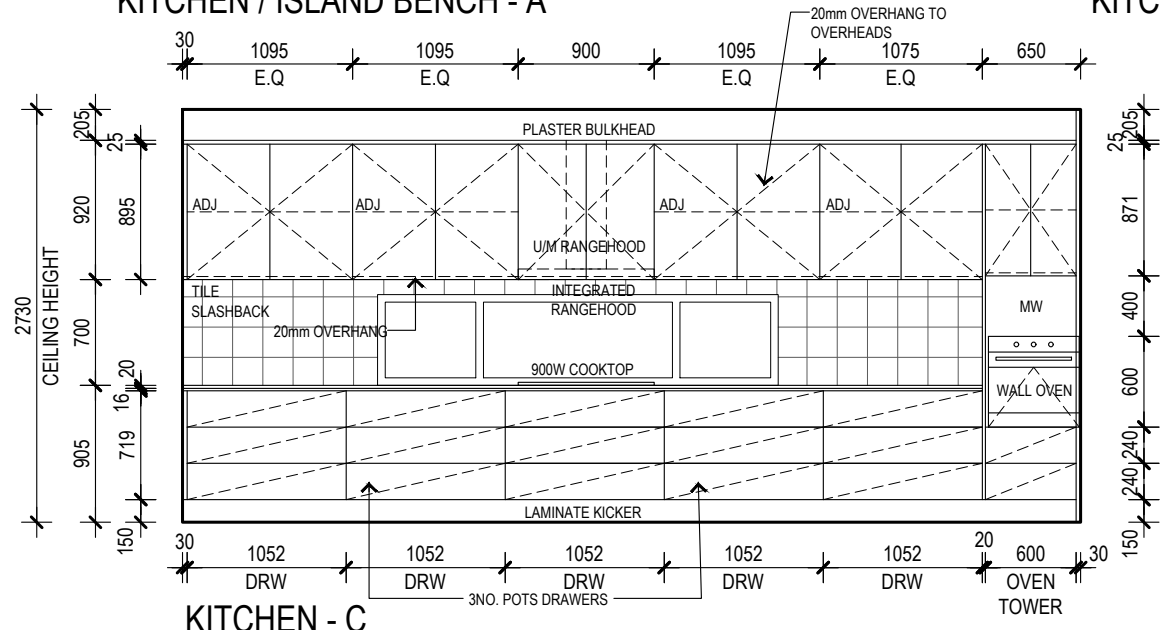
KITCHEN - GF
SCALE 1:50



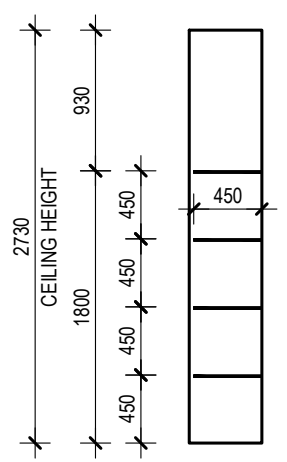
KITCHEN / ISLAND BENCH - A



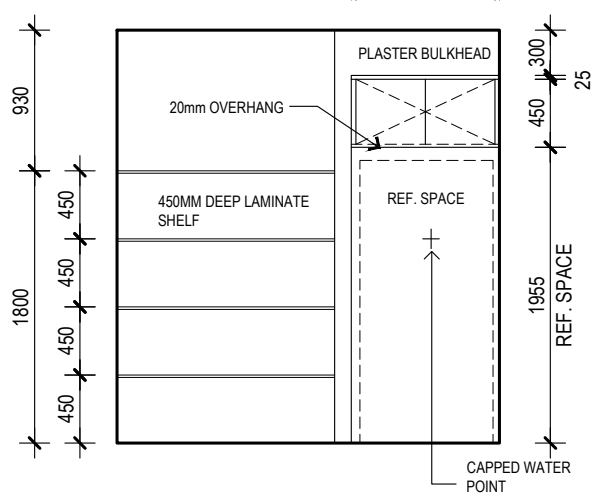
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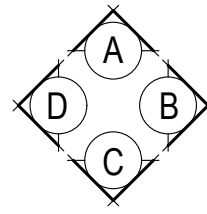
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PTY - A



PTY / REF. - B



INTERNAL ELEVATIONS DRAWN TO PLASTER	
ABBREVIATIONS:	
ADJ	ADJUSTABLE SHELF
DRW	DRAWERS
DW	DISHWASHER
HB	HAND BASIN
MX	MIXER TYPE
OHC	OVERHEAD CUPBOARD
RH	RANGEHOOD
SHR	SHOWER COMPONENT TYPE
SS	SHOWER SHELF TYPE
SK	SINK
TRH	TOILET ROLL HOLDER TYPE
TR	TROUGH
TWR	TOWEL RAIL TYPE
UBO	UNDER BENCH OVEN
VB	VANITY BASIN TYPE
WC	TOILET SUITE TYPE
F.S.B	FREE STANDING BATH

GENERAL NOTES:	
100MM SKIRTING TILES TO WET AREAS, INCL. WC, WALLS.	
ALL INTERNAL DIMENSIONS & ELEVATIONS DRAWN TO FINISHED PLASTER FACE AND MAY VARY ON SITE.	
ALL TILING HEIGHTS SUBJECT TO TILE SELECTION, TO BE CONFIRMED ON SITE.	
DESIGN AND THE POSITION OF DOOR AND DRAWER HANDLES IS INDICATIVE ONLY & USED TO REPRESENT HINGE-SIDE OF DOORS.	
ALL INTERNAL DRAWINGS TO BE READ IN CONJUNCTION WITH COLOUR SELECTION IN CONTRACT.	



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Nhi Huynh

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MARIBYRNONG, Victoria, 3032

House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client:

Rev	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

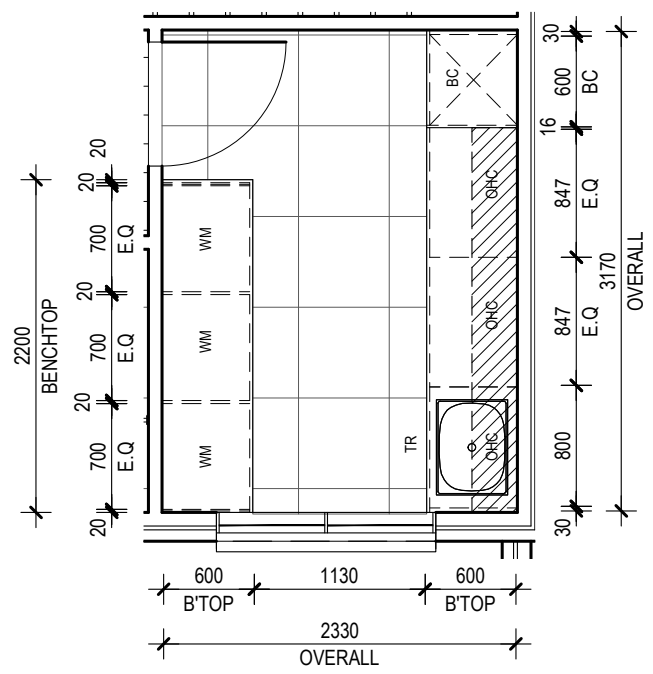
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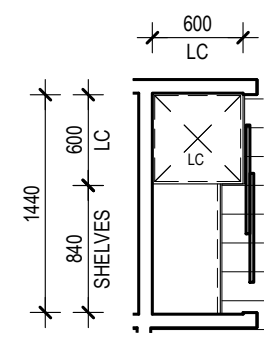
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300180

Revision No:
R5

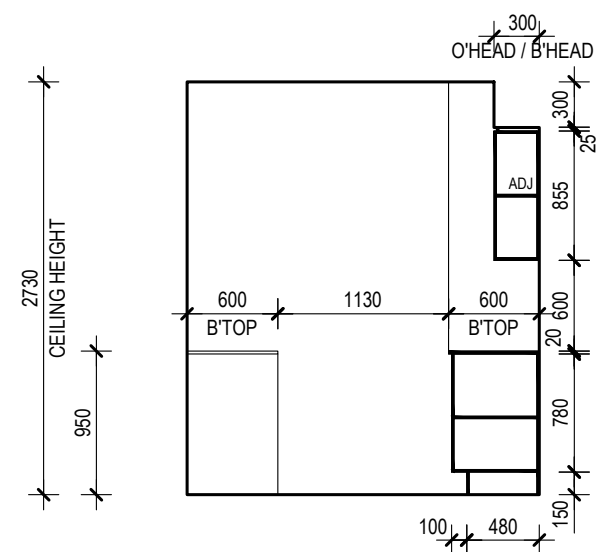
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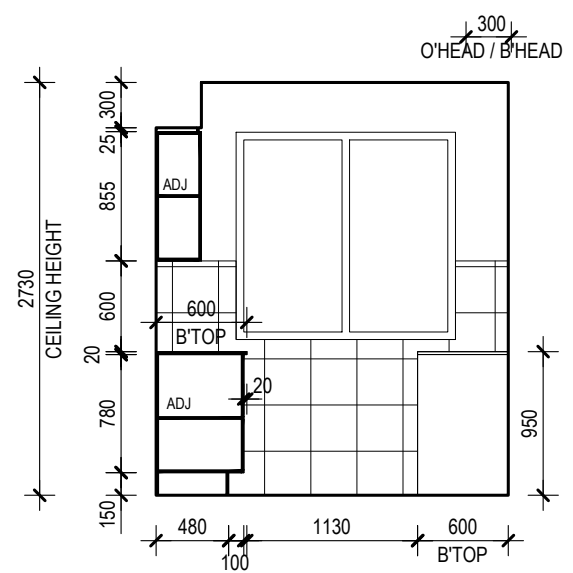
LAUNDRY - GF
SCALE 1:50



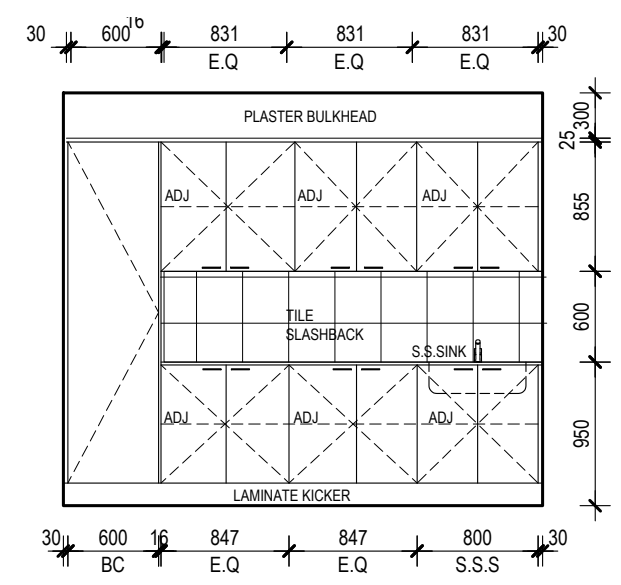
L'DRY CHUTE - GF
SCALE 1:50



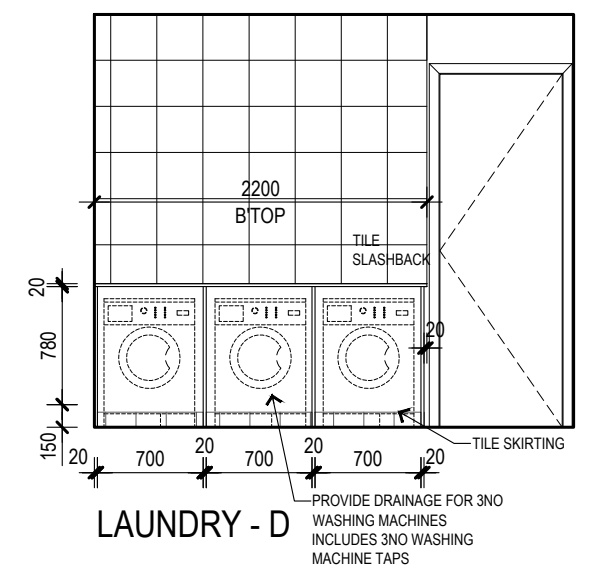
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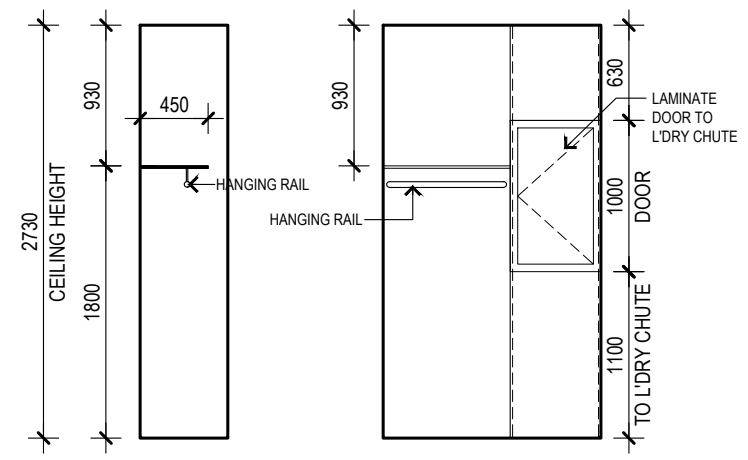
LAUNDRY - C



LAUNDRY - B

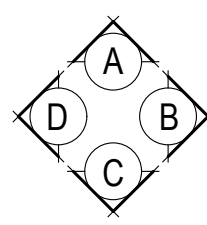


LAUNDRY - D



LC - A

L'DRY CHUTE - D



INTERNAL ELEVATIONS DRAWN TO PLASTER	
ABBREVIATIONS:	
ADJ	ADJUSTABLE SHELF
DRW	DRAWERS
DW	DISHWASHER
HB	HAND BASIN
MX	MIXER TYPE
OHC	OVERHEAD CUPBOARD
RH	RANGEHOOD
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TR	TROUGH
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VB	VANITY BASIN TYPE
WC	TOILET SUITE TYPE
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GENERAL NOTES:

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Website: Aliyahomes.com.au

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ACN: 168 181 100

Client Name:
Luke Tran
Nhi Huynh

Job Address:
LOT 3, No.1 CHIFLEY DRIVE,
MARIBYRNONG, Victoria, 3032

House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client:

Rev	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

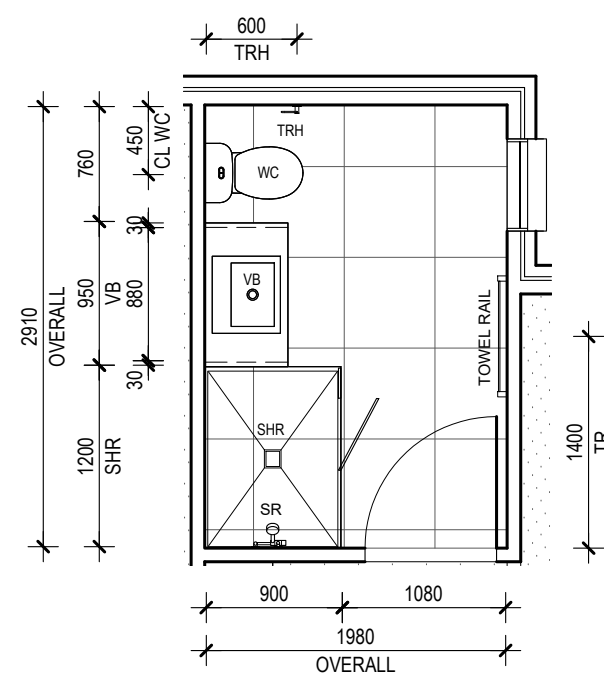
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Checked By: XX
Melways Ref: TBC

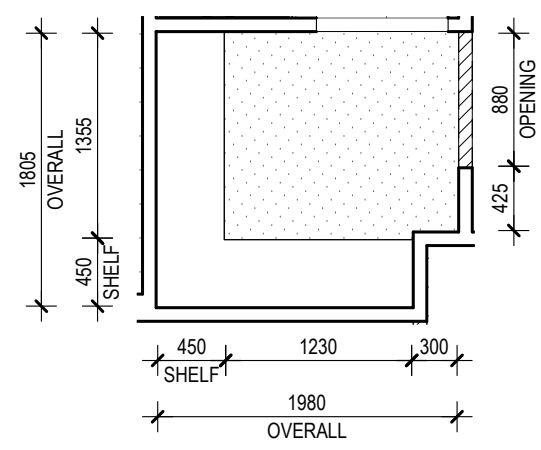
Job No:
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Revision No:
R5

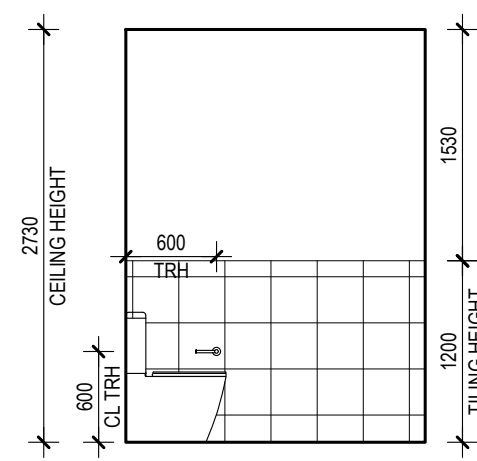
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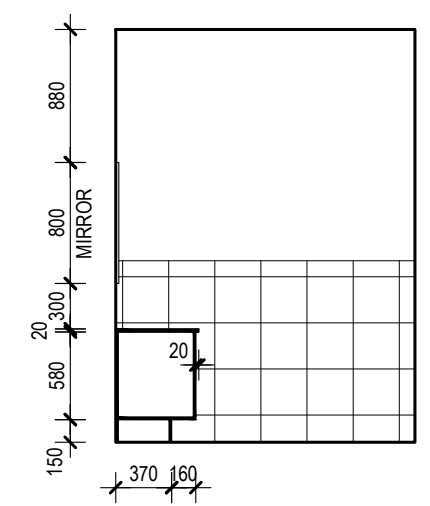
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SCALE 1:50



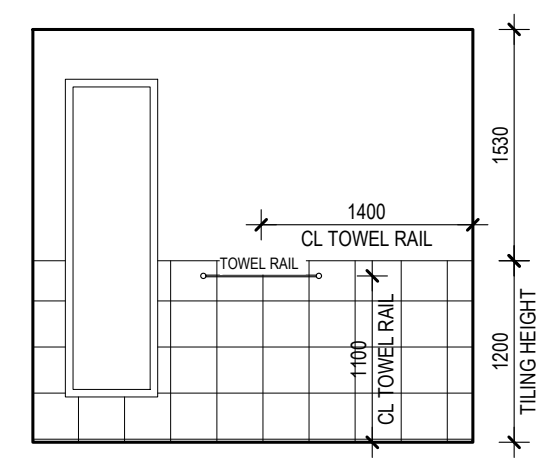
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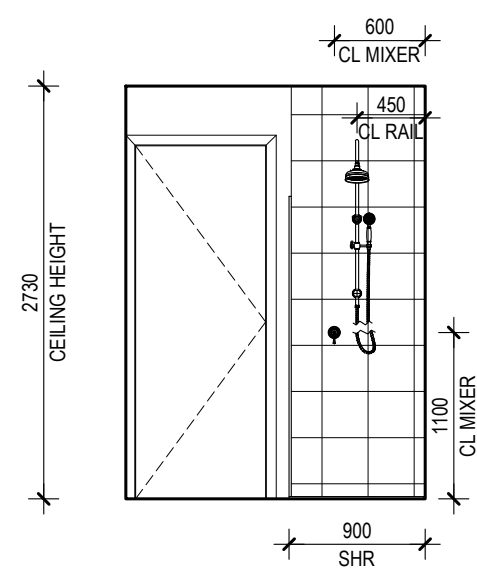
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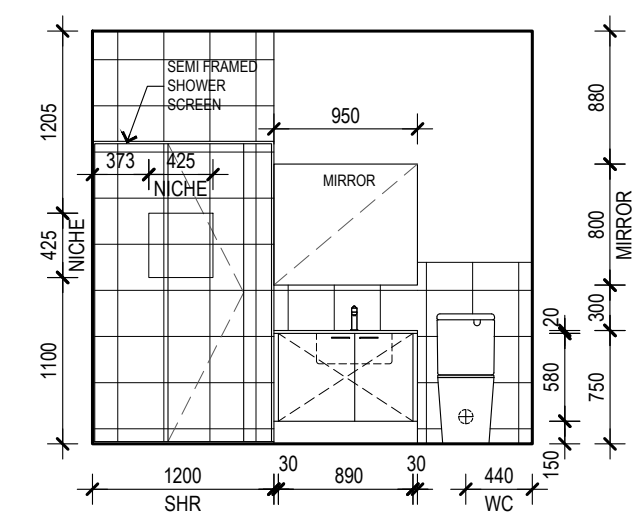
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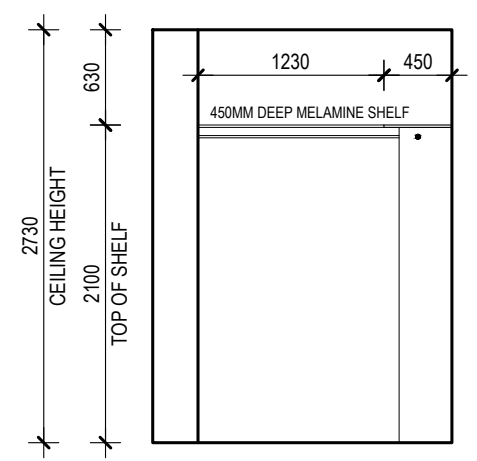
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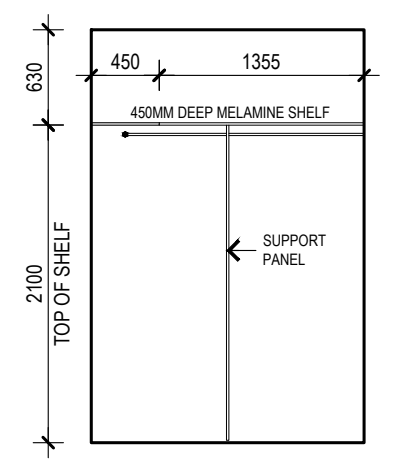
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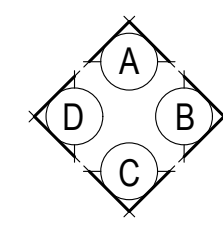
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GUEST WIR - C



GUEST WIR - D



INTERNAL ELEVATIONS DRAWN TO PLASTER

ABBREVIATIONS:

ADJ	ADJUSTABLE SHELF
DRW	DRAWERS
DW	DISHWASHER
HB	HAND BASIN
MX	MIXER TYPE
OHC	OVERHEAD CUPBOARD
RH	RANGEHOOD
SHR	SHOWER COMPONENT TYPE
SS	SHOWER SHELF TYPE
SK	SINK
TRH	TOILET ROLL HOLDER TYPE
TR	TROUGH
TWR	TOWEL RAIL TYPE
UBO	UNDER BENCH OVEN
VB	VANITY BASIN TYPE
WC	TOILET SUITE TYPE
F.S.B	FREE STANDING BATH

GENERAL NOTES:

100MM SKIRTING TILES TO WET AREAS, INCL. WC, WALLS.
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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

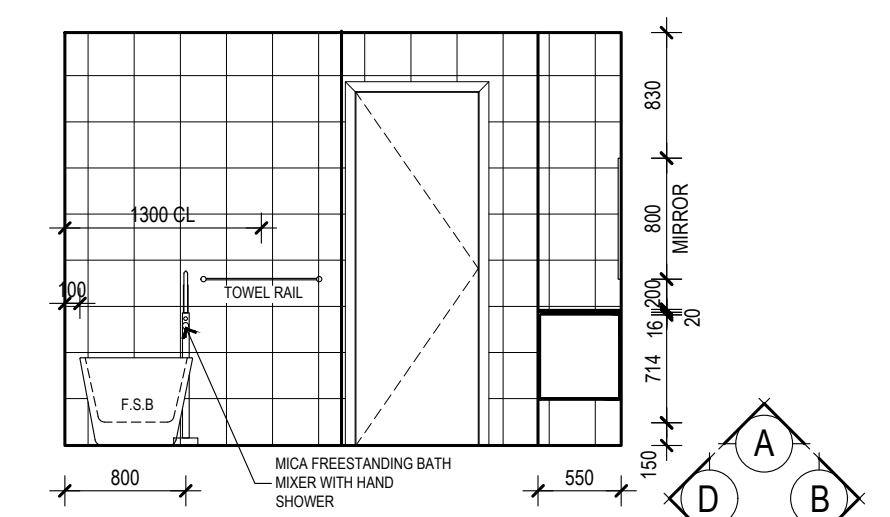
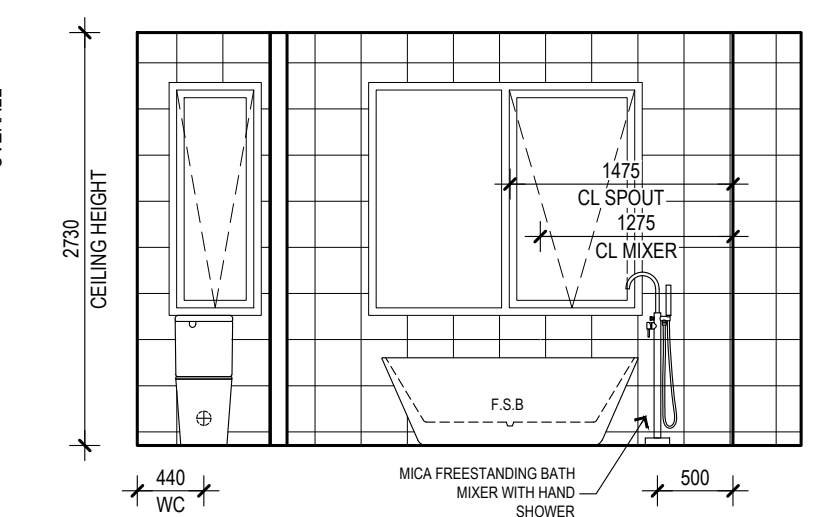
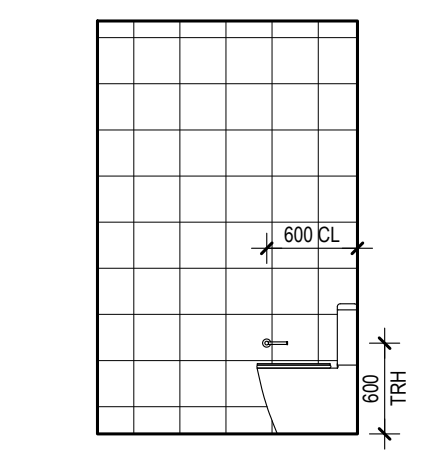
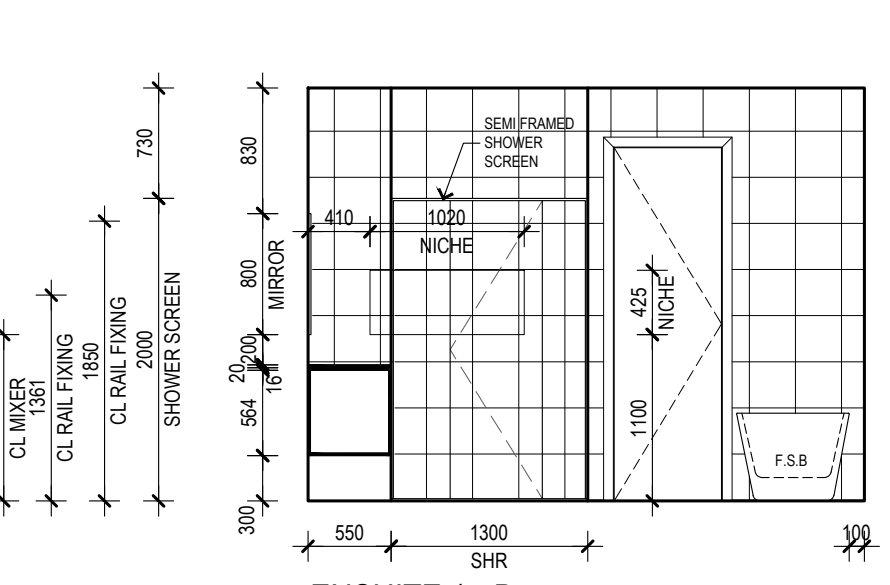
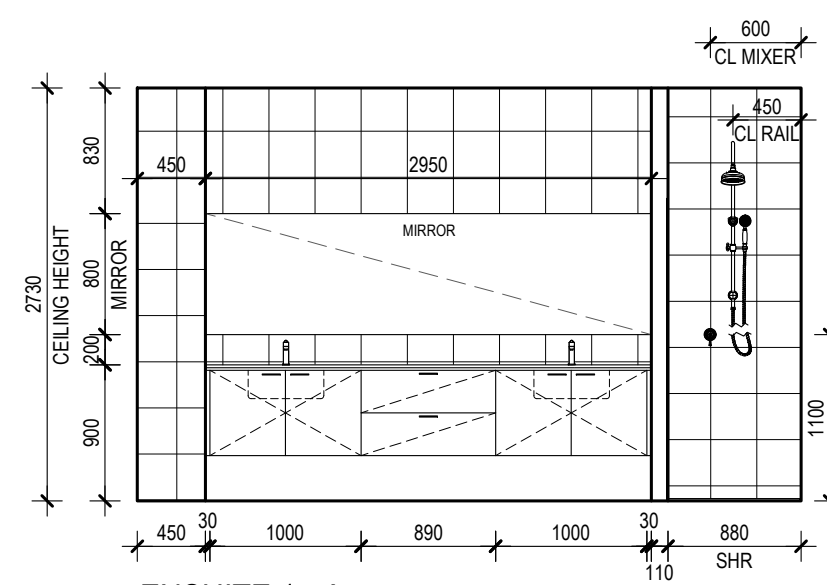
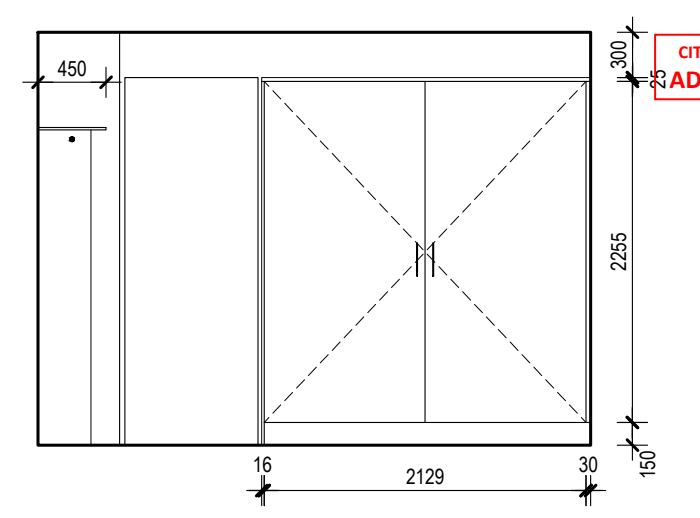
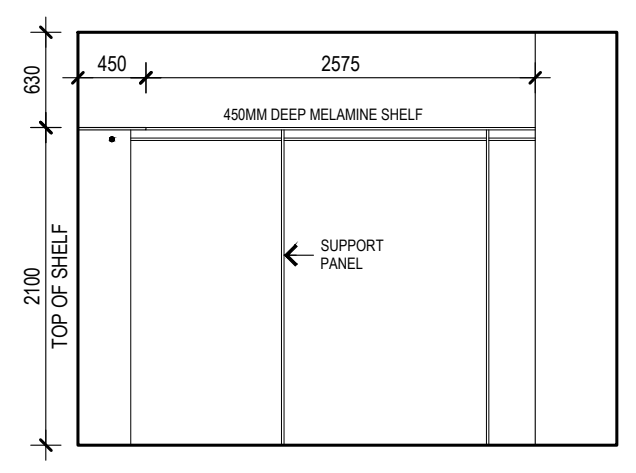
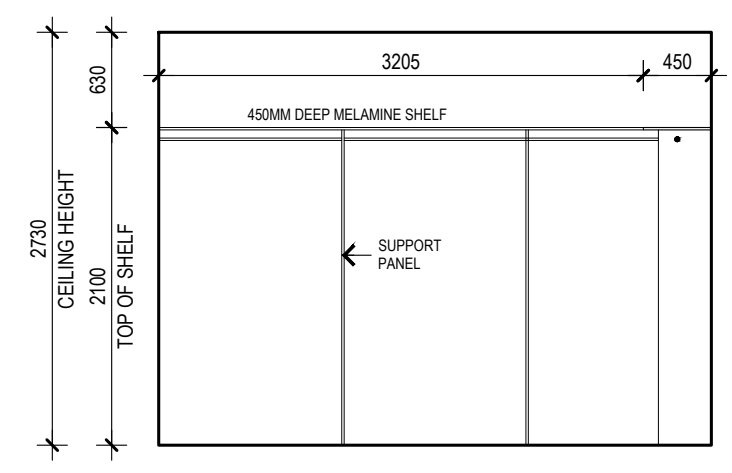
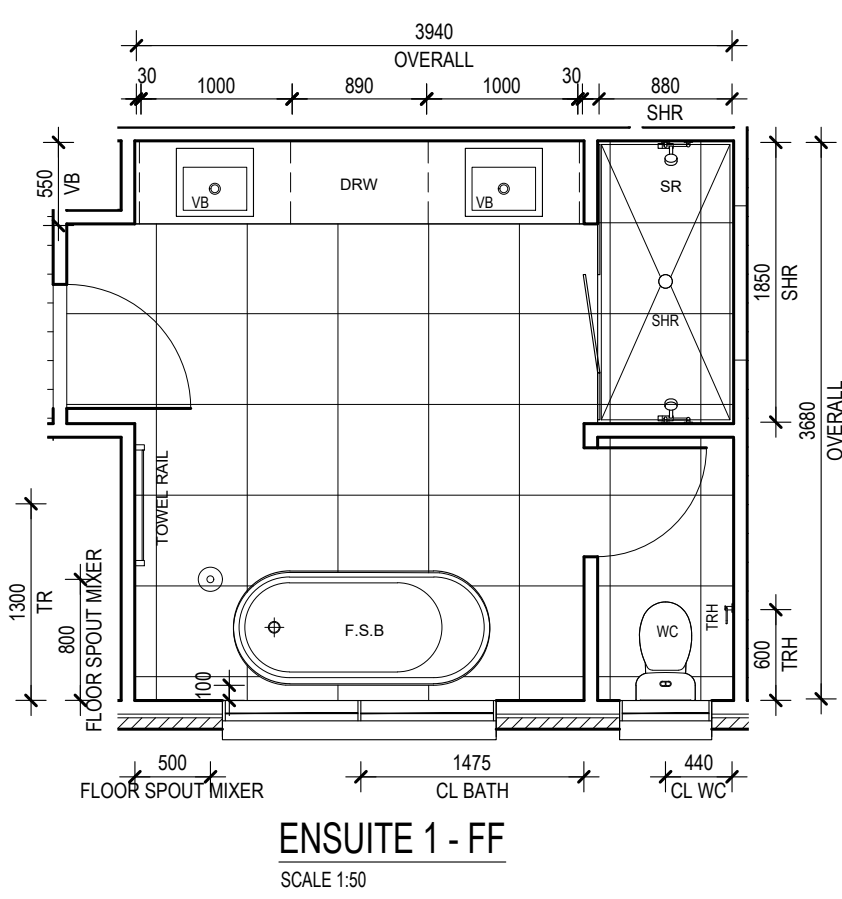
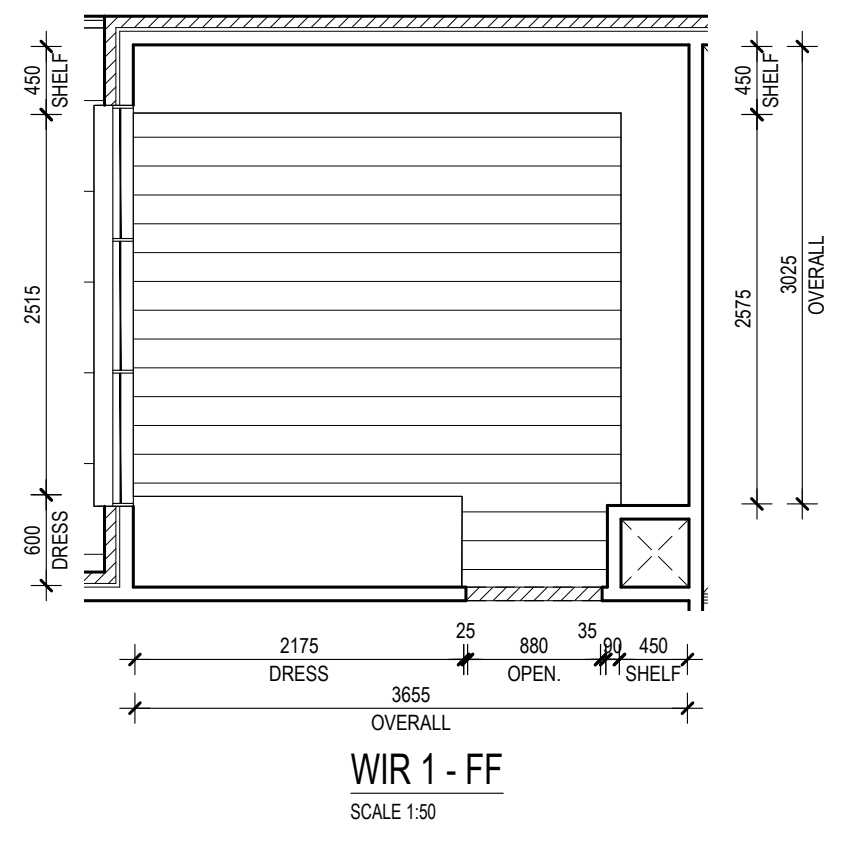
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Checked By: XX
Melways Ref: TBC

Job No:
300180

Revision No:
R5

Sheet No:
A11.3



INTERNAL ELEVATIONS DRAWN TO PLASTER

ABBREVIATIONS:

ADJ	ADJUSTABLE SHELF
DRW	DRAWERS
DW	DISHWASHER
HB	HAND BASIN
MX	MIXER TYPE
OHC	OVERHEAD CUPBOARD
RH	RANGEHOOD
SHR	SHOWER COMPONENT TYPE
SS	SHOWER SHELF TYPE
SK	SINK
TRH	TOILET ROLL HOLDER TYPE
TR	TROUGH
TWR	TOWEL RAIL TYPE
UBO	UNDER BENCH OVEN
VB	VANITY BASIN TYPE
WC	TOILET SUITE TYPE
F.S.B	FREE STANDING BATH

GENERAL NOTES:

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MARIBYRNONG, Victoria, 3032**

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Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client:

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R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

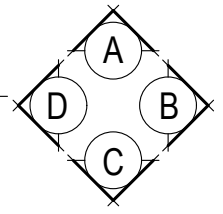
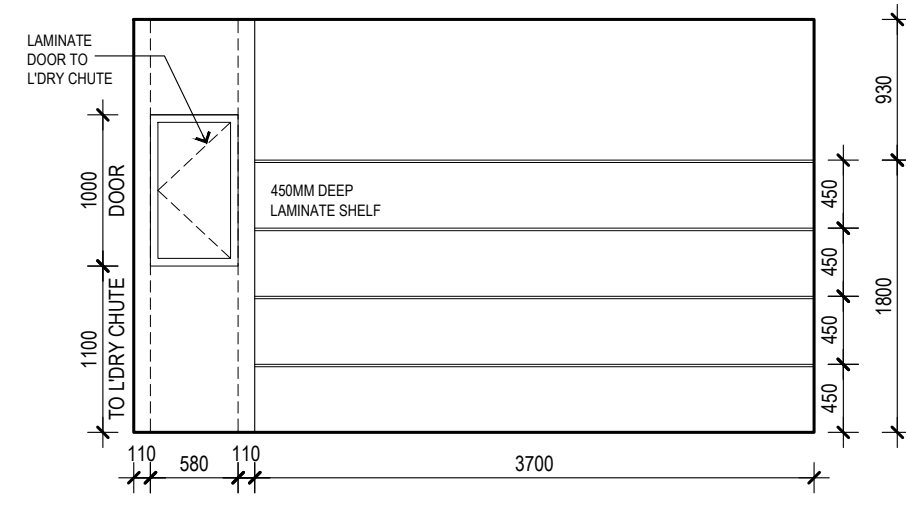
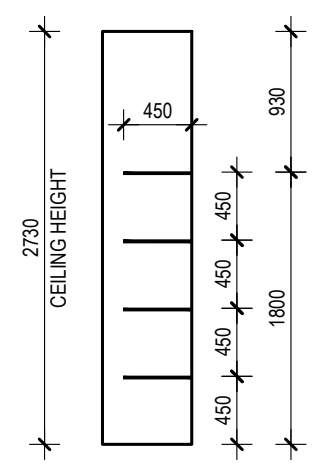
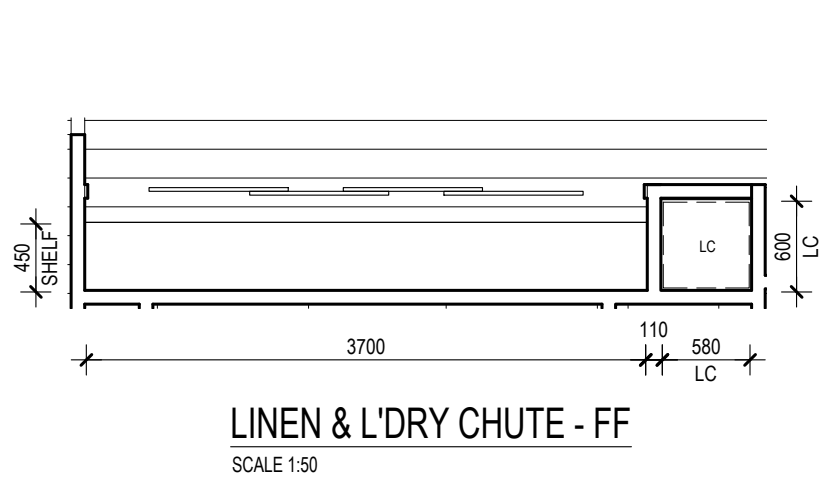
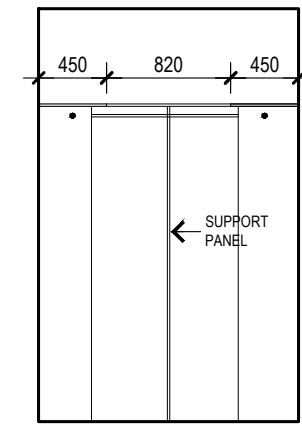
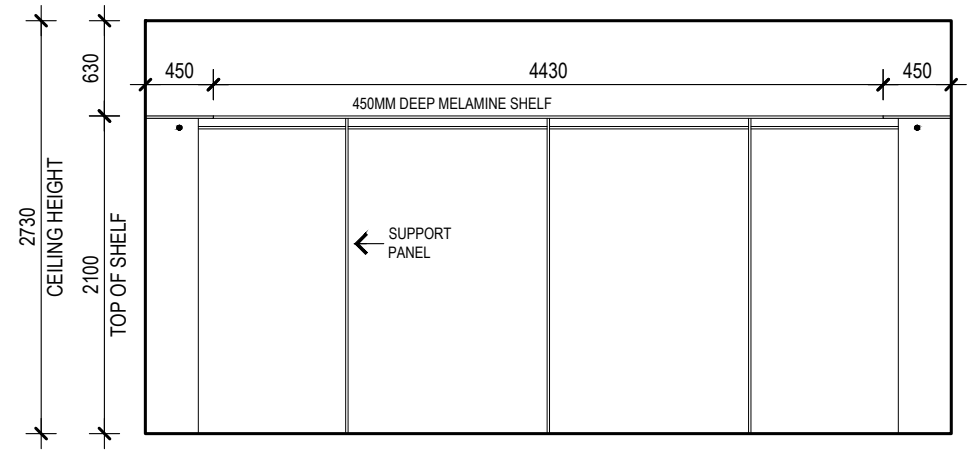
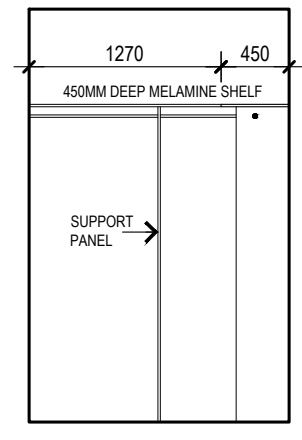
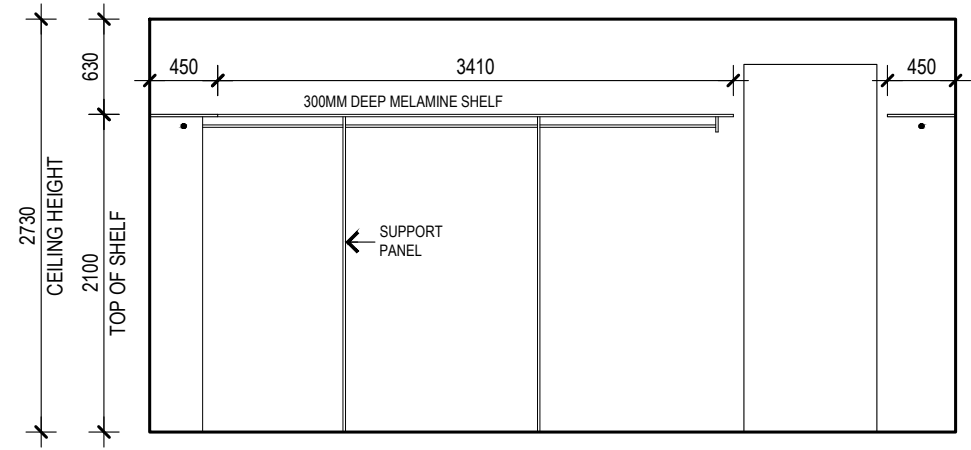
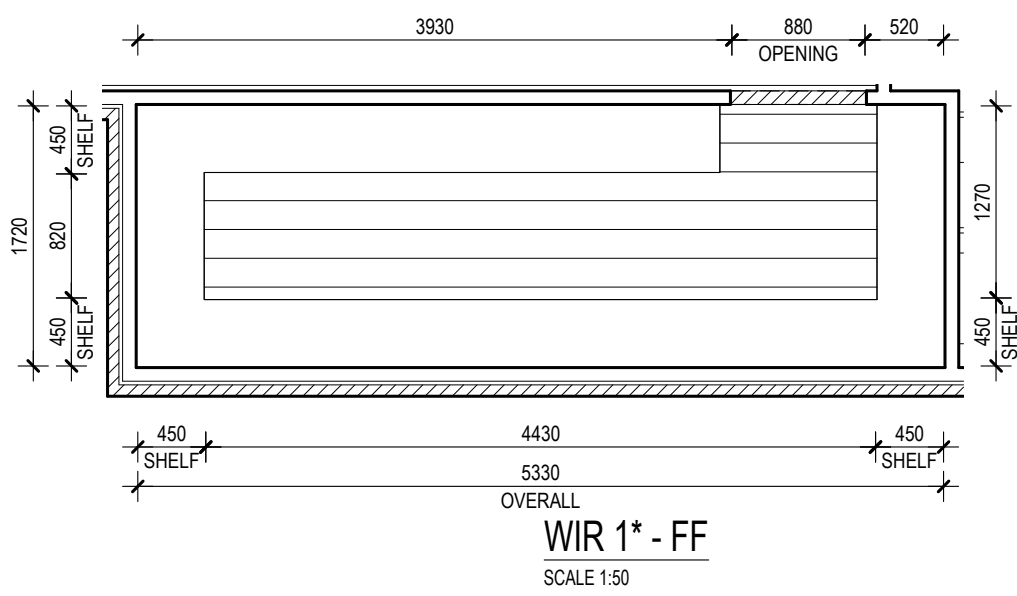
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Scale: 1/50 @A3
Checked By: XX
Melways Ref: TBC

Job No:
300180

Revision No:
R5

Sheet No:
A11.4



INTERNAL ELEVATIONS DRAWN TO PLASTER

ABBREVIATIONS:

ADJ	ADJUSTABLE SHELF
DRW	DRAWERS
DW	DISHWASHER
HB	HAND BASIN
MX	MIXER TYPE
OHC	OVERHEAD CUPBOARD
RH	RANGEHOOD
SHR	SHOWER COMPONENT TYPE
SS	SHOWER SHELF TYPE
SK	SINK
TRH	TOILET ROLL HOLDER TYPE
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Options:
STANDARD PLAN

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Client:

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R.3	28/03/25	AMENDED AS PER TV. 2 TO TV. 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

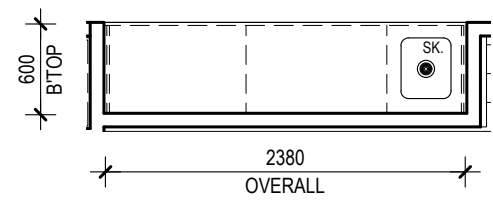
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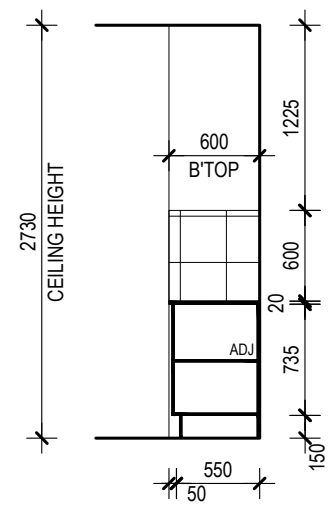
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Revision No:
R5

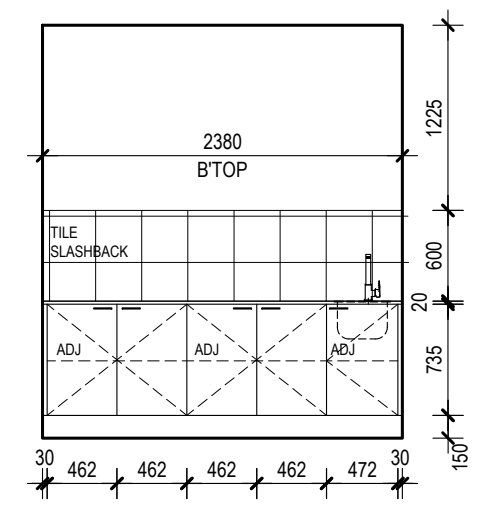
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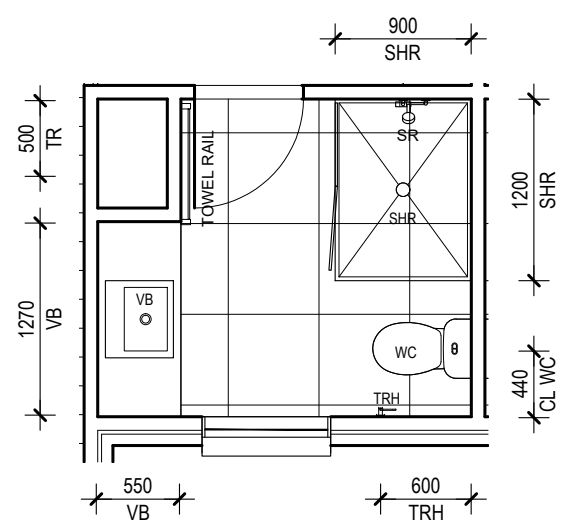
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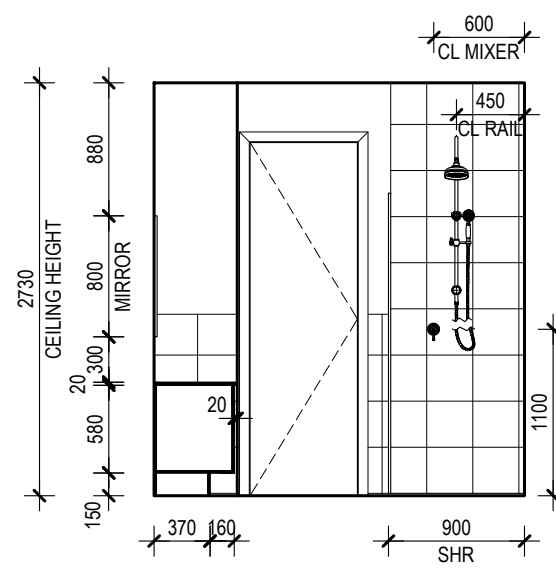
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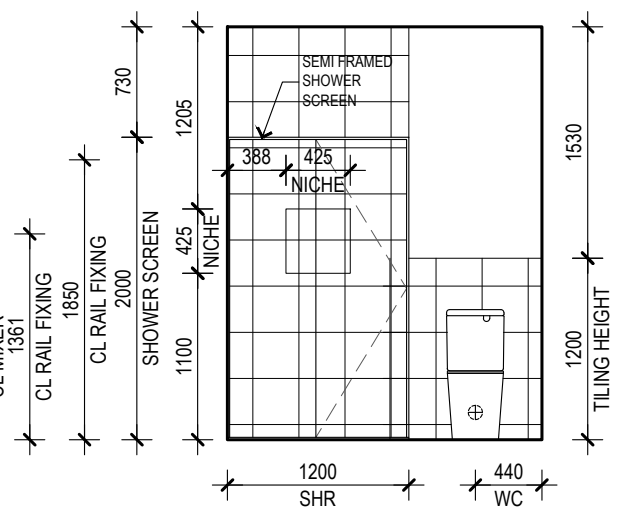
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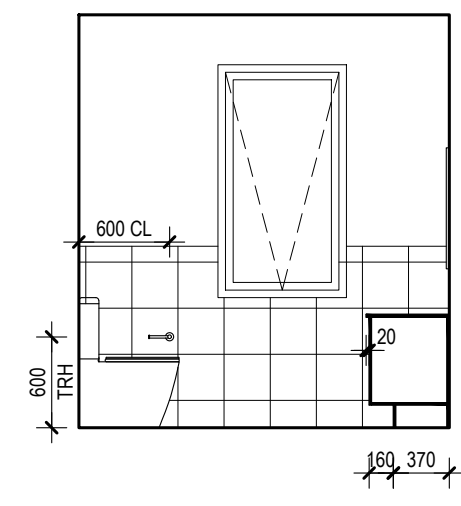
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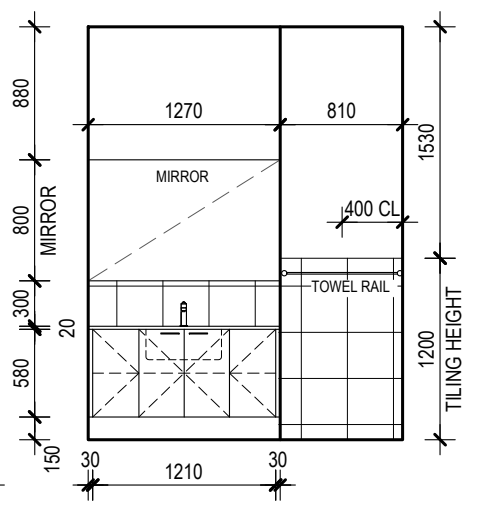
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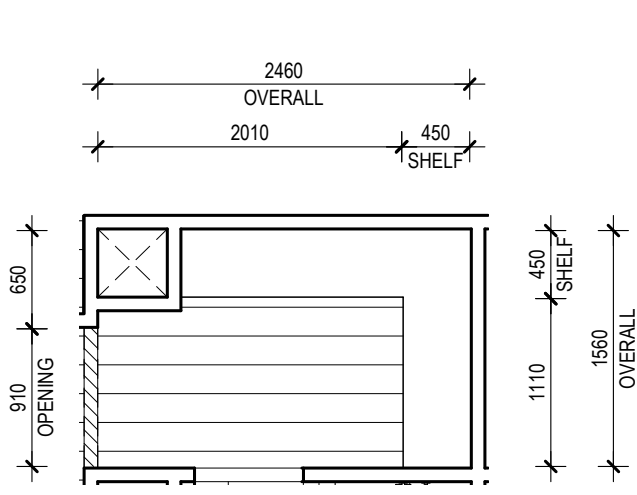
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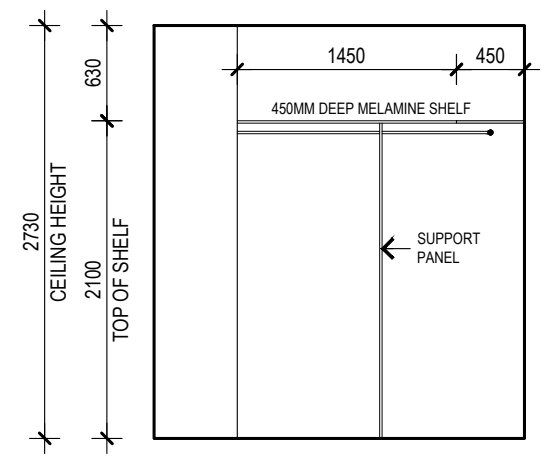
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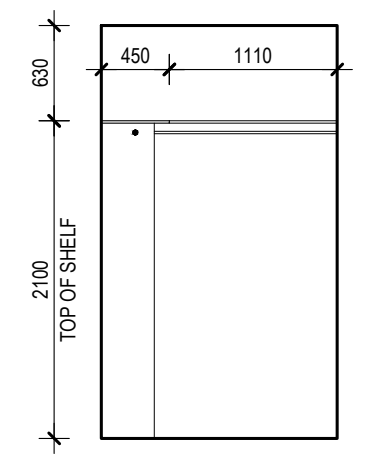
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WIR 2 - FF
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WIR 2 - A



WIR 2 - B

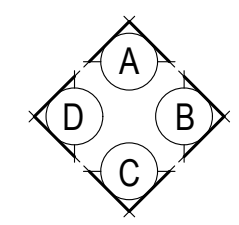
INTERNAL ELEVATIONS DRAWN TO PLASTER

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ALIYA HOMES

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R.6	23/06/25	UPDATE FLOOD ZONE	CSE
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R.8	29/10/25	RFI	MJ
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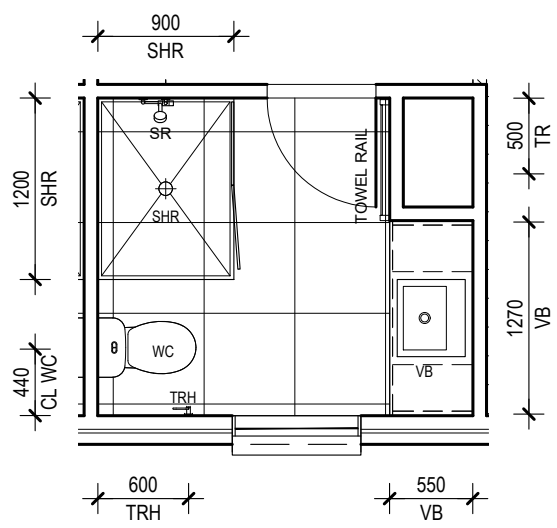
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Melways Ref: TBC

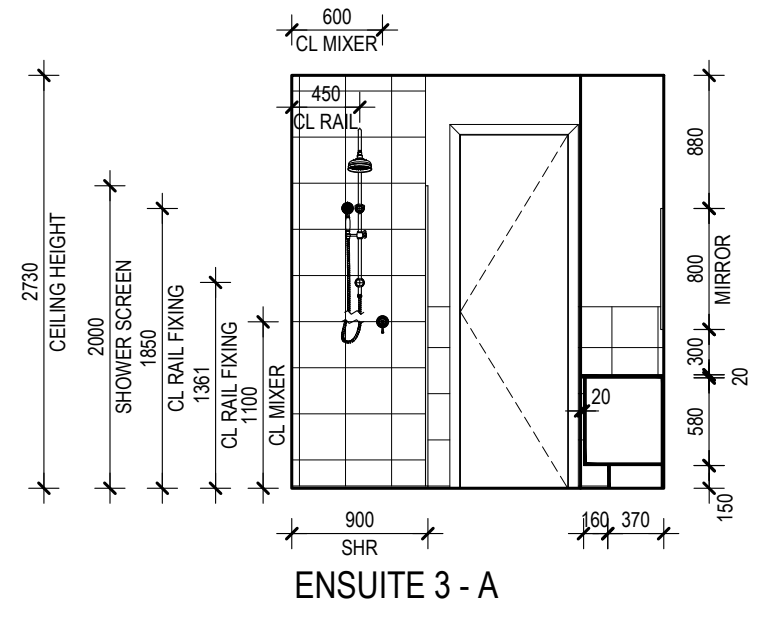
Job No:
300180

Revision No:
R5

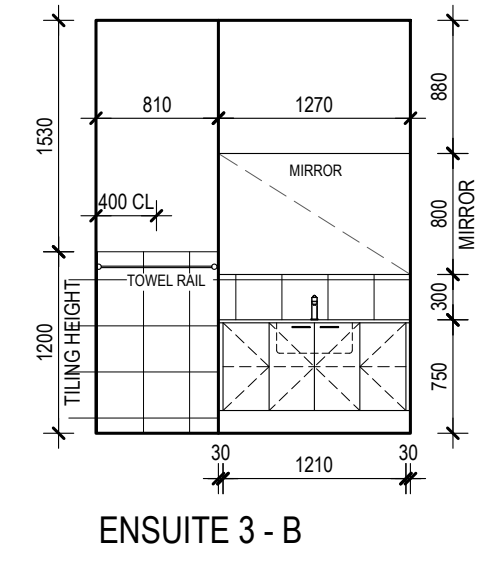
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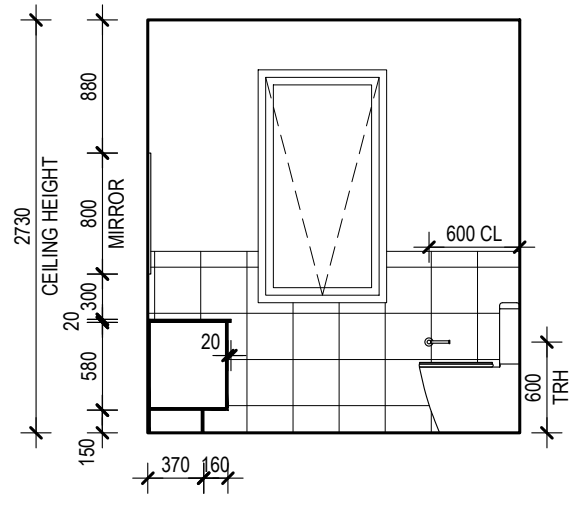
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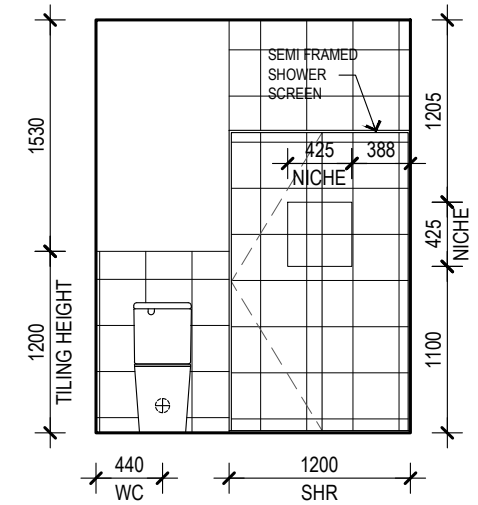
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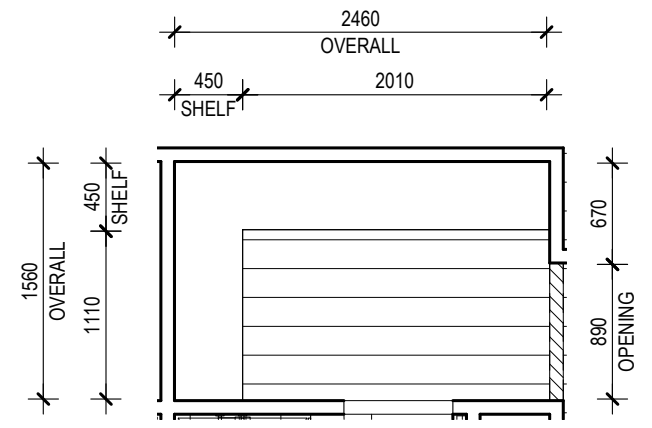
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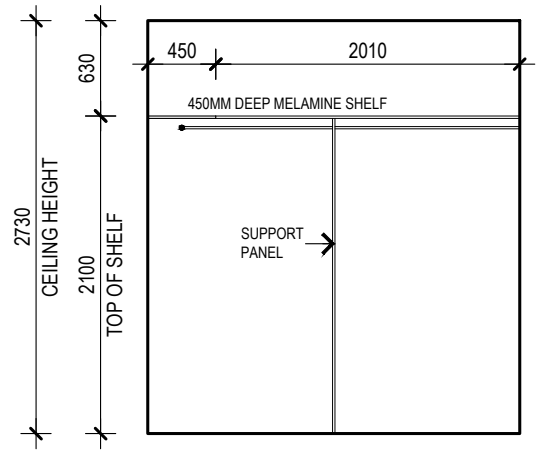
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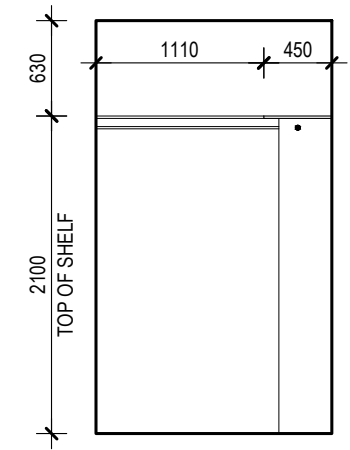
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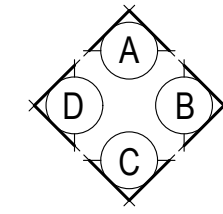
WIR 3 - FF
SCALE 1:50



WIR 3 - A



WIR 3 - D



INTERNAL ELEVATIONS DRAWN TO PLASTER

ABBREVIATIONS:

ADJ	ADJUSTABLE SHELF
DRW	DRAWERS
DW	DISHWASHER
HB	HAND BASIN
MX	MIXER TYPE
OHC	OVERHEAD CUPBOARD
RH	RANGEHOOD
SHR	SHOWER COMPONENT TYPE
SS	SHOWER SHELF TYPE
SK	SINK
TRH	TOILET ROLL HOLDER TYPE
TR	TROUGH
TWR	TOWEL RAIL TYPE
UBO	UNDER BENCH OVEN
VB	VANITY BASIN TYPE
WC	TOILET SUITE TYPE
F.S.B	FREE STANDING BATH

GENERAL NOTES:

100MM SKIRTING TILES TO WET AREAS, INCL. WC, WALLS.
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ALL TILING HEIGHTS SUBJECT TO TILE SELECTION, TO BE CONFIRMED ON SITE.
DESIGN AND THE POSITION OF DOOR AND DRAWER HANDLES IS INDICATIVE ONLY & USED TO REPRESENT HINGE-SIDE OF DOORS.
ALL INTERNAL DRAWINGS TO BE READ IN CONJUNCTION WITH COLOUR SELECTION IN CONTRACT.



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ACN: 168 181 100

Client Name:
Luke Tran
Nhi Huynh

Job Address:
LOT 3, No.1 CHIFLEY DRIVE,
MARIBYRNONG, Victoria, 3032

House Name:
CUSTOM

Facade:
CUSTOM

Options:
STANDARD PLAN

Signatures
Client:

Rev	Date	Description	Drawn By
R.1	20/02/25	CONTRACT DRAWING	BOB
R.2	06/03/25	AMENDED AS PER TENDER VARIATION-2	SN
R.3	28/03/25	AMENDED AS PER TV 2 TO TV 6	AR
R.4	07/05/25	UPDATE PLANS - CARPORT	AR
R.5	13/06/25	UPDATE FLOOD ZONE	AR
R.6	23/06/25	UPDATE FLOOD ZONE	CSE
R.7	18/09/25	RFI	MJ
R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

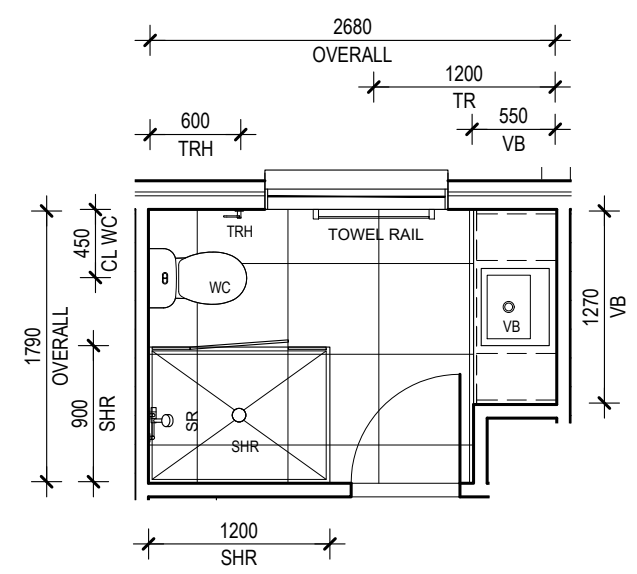
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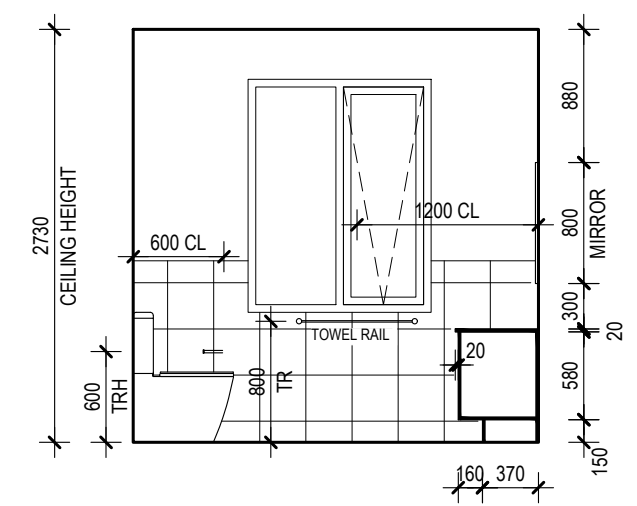
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Revision No:
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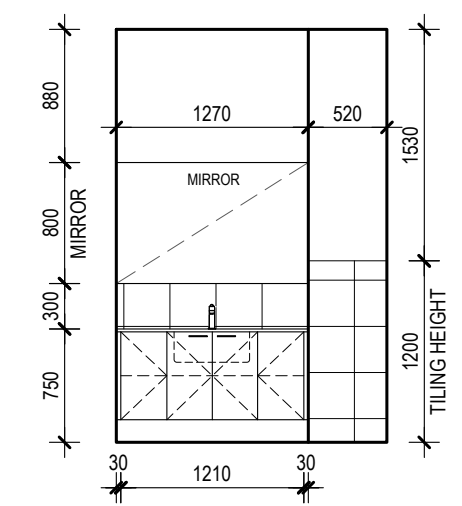
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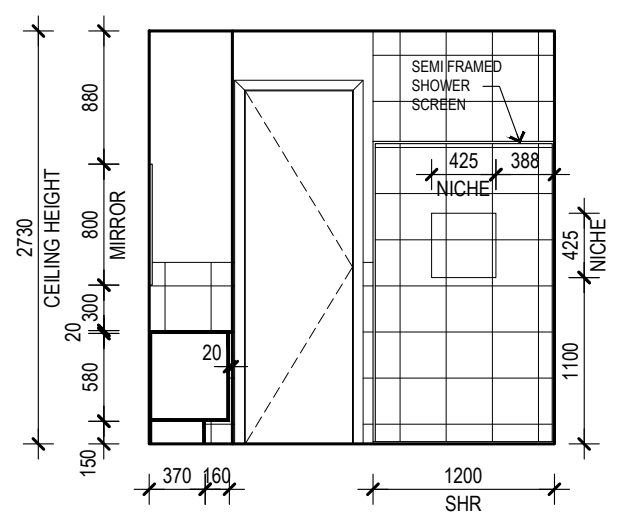
ENSUITE 4 - FF
SCALE 1:50



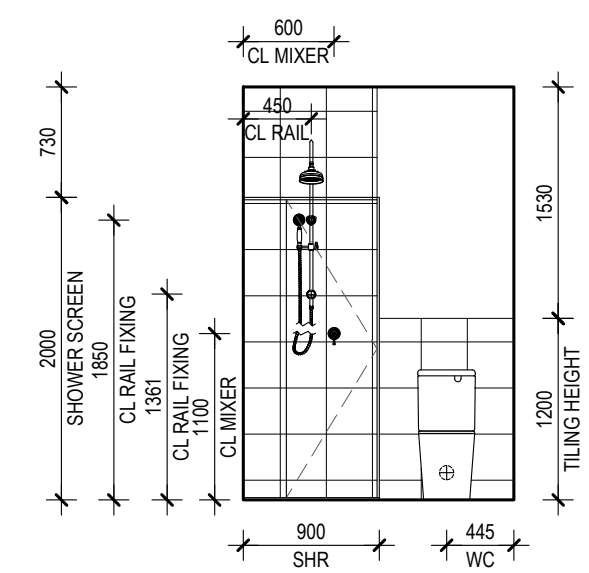
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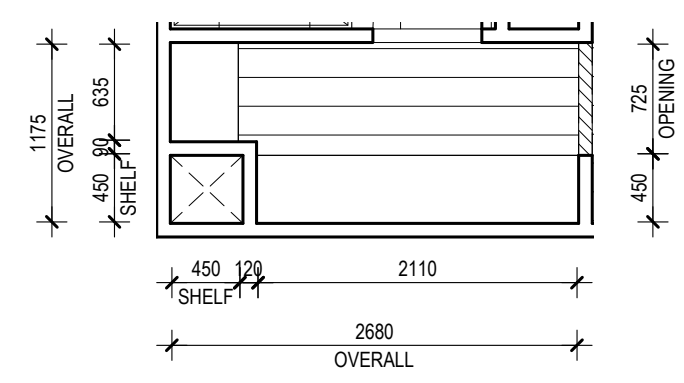
ENSUITE 4 - B



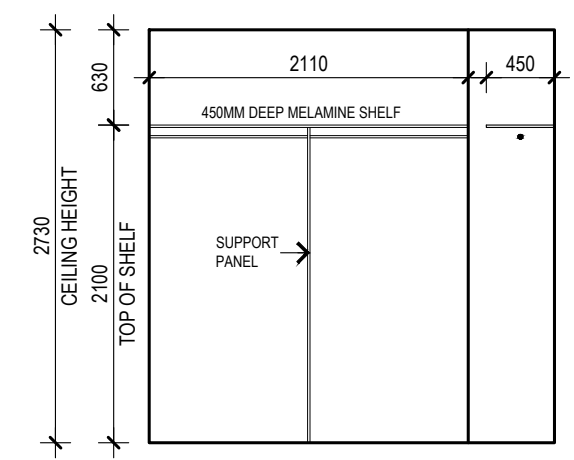
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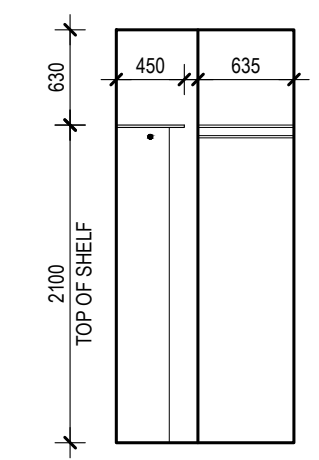
ENSUITE 4 - D



WIR 4 - FF
SCALE 1:50



WIR 4 - C



WIR 4 - D

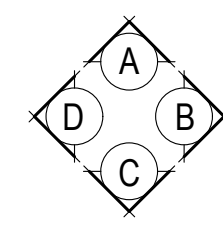
INTERNAL ELEVATIONS DRAWN TO PLASTER

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Facade:
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STANDARD PLAN

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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

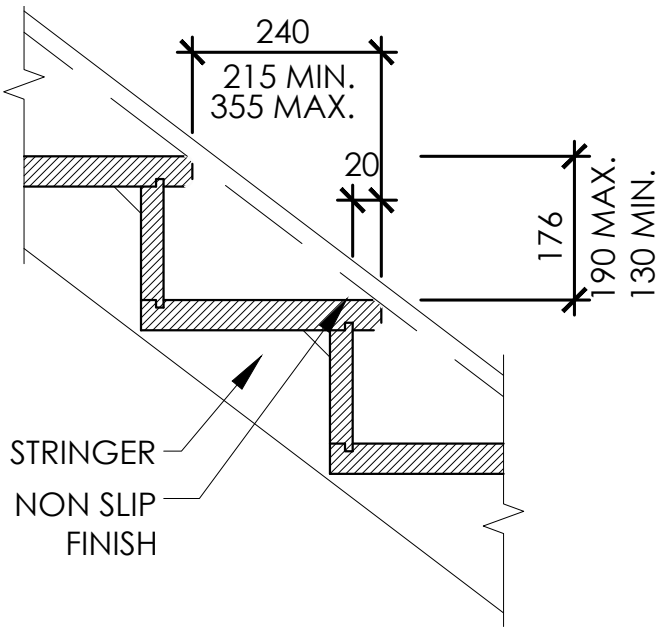
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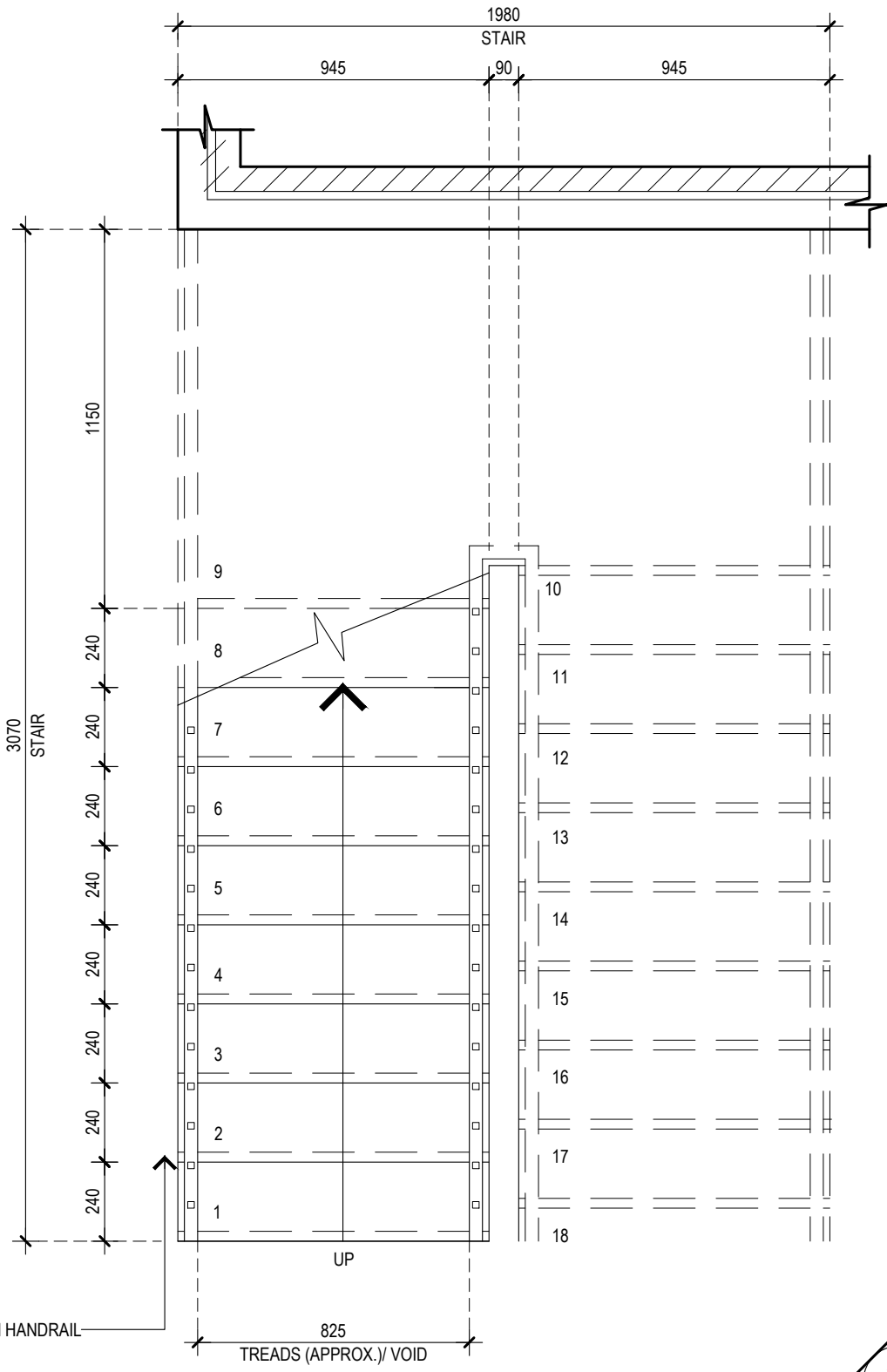
Job No:
300180

Revision No:
R5

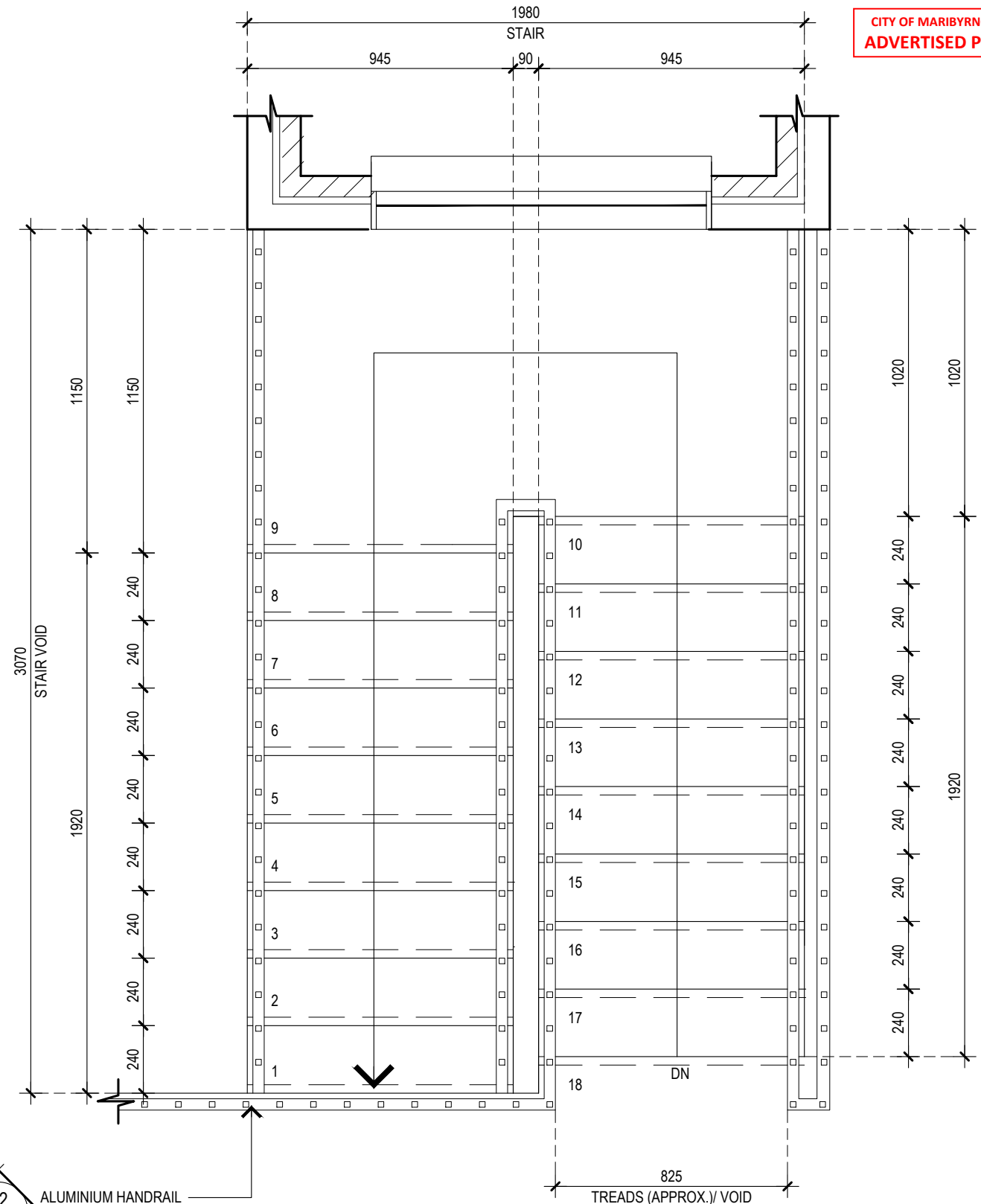
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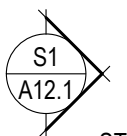
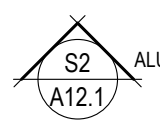
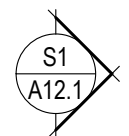
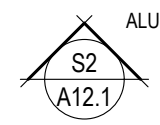
NOTE
STAIR TREAD SURFACE OR NOSING STRIP MUST BE PROVIDED WITH A MINIMUM SLIP RESISTANT CLASSIFICATION NOMINATED IN BCA TABLE 3.9.1.3 WHEN TESTED IN ACCORDANCE WITH AS4586. NOTE, A MINIMUM SLIP RESISTANCE CLASSIFICATION OF P3 OR R10 IS REQUIRED FOR INTERNAL AND P4 OR R11 FOR EXTERNAL STAIR TREADS.



STAIRCASE GROUND FLOOR
FLOOR PLAN
SCALE 1:20



STAIRCASE FIRST FLOOR
FLOOR PLAN
SCALE 1:20



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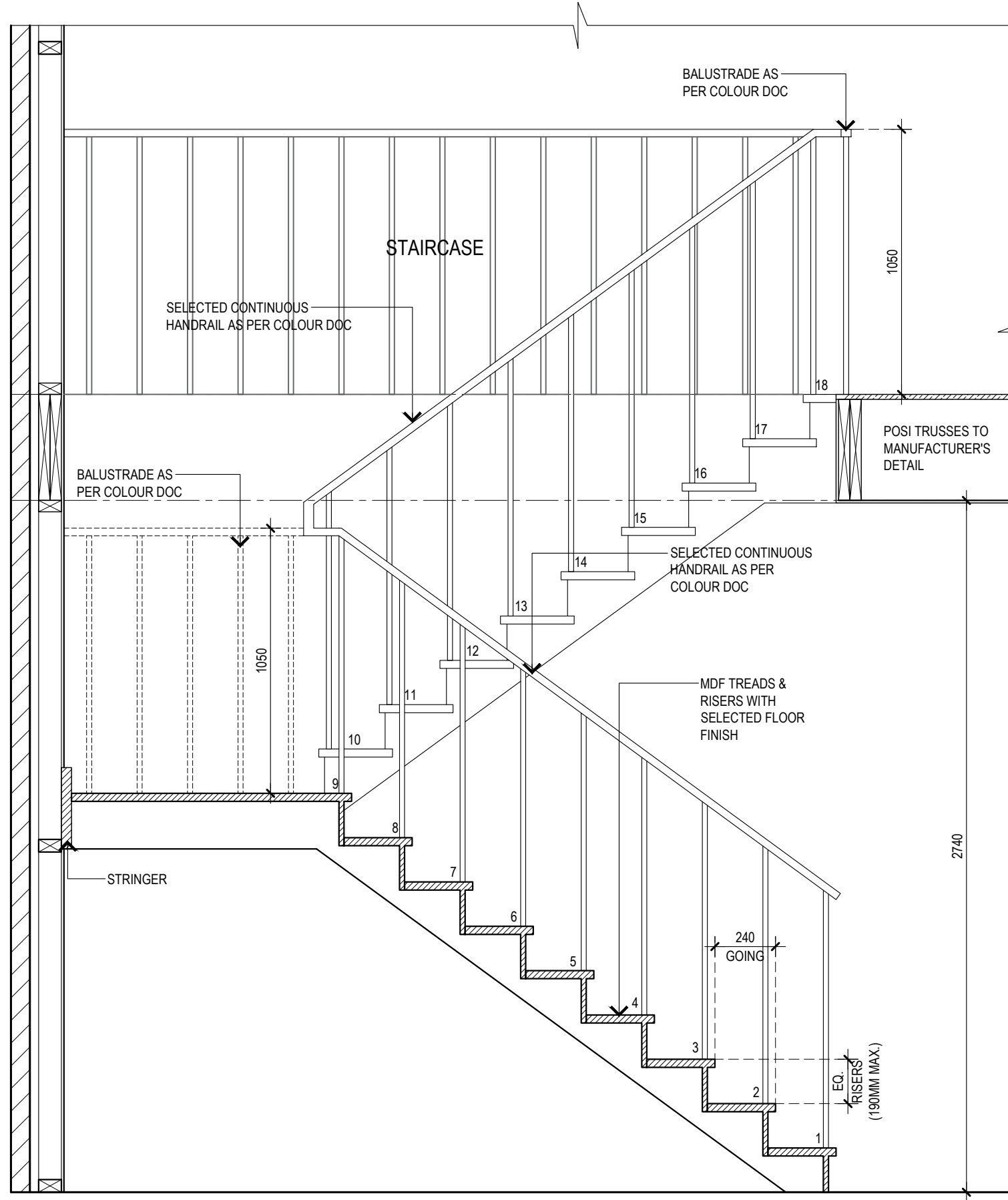
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R.10	07/04/26	RFI	BOB

Drawing Title:
STAIRCASE DETAILS

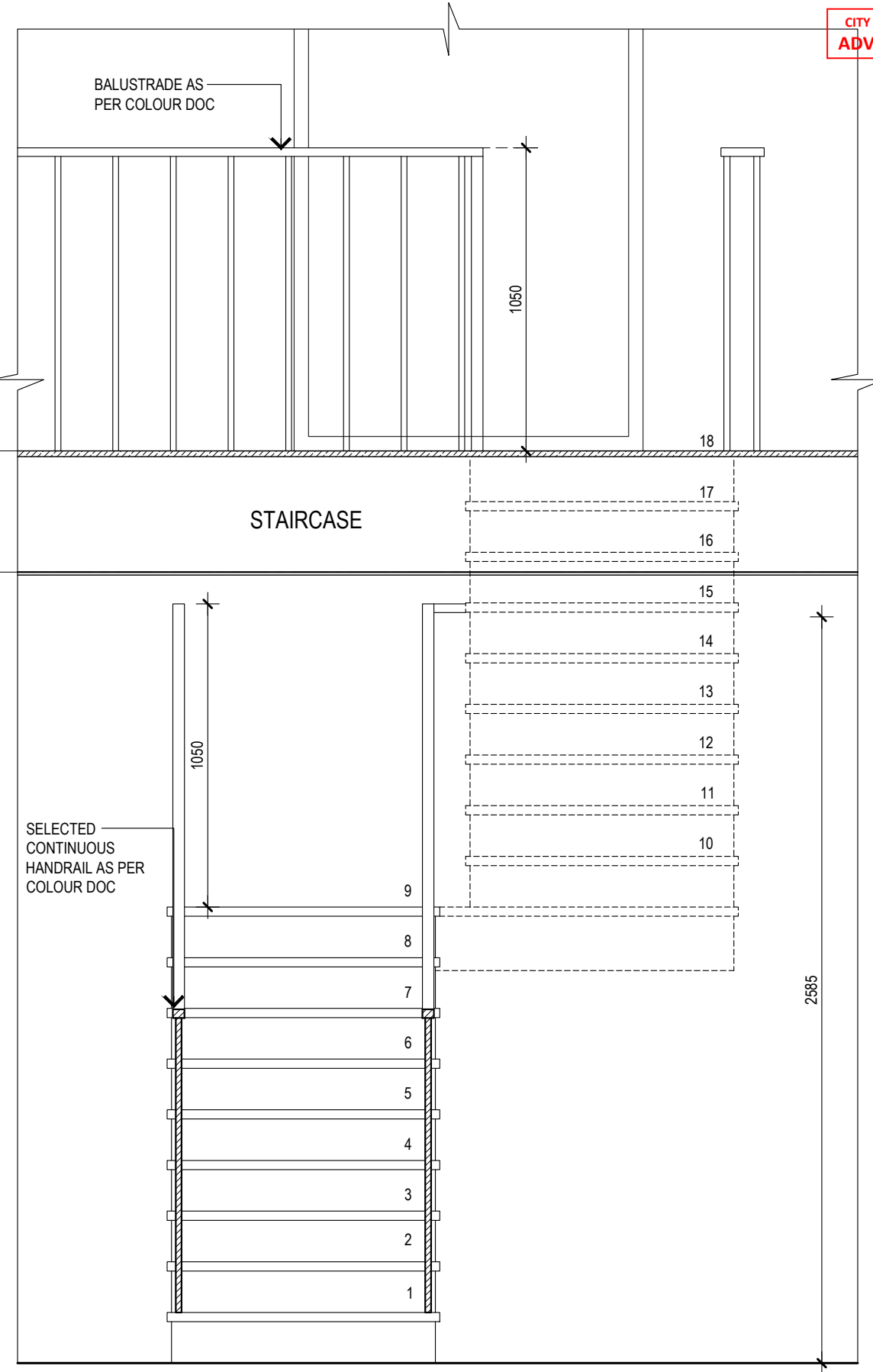
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Melways Ref: TBC

Job No:
300180
Revision No:
R5

Sheet No:
A12



SECTION S1
SCALE 1:20



SECTION S2
SCALE 1:20

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R.8	29/10/25	RFI	MJ
R.9	28/11/25	RFI	MJ
R.10	07/04/26	RFI	BOB

Drawing Title:
STAIRCASE DETAILS

Scale: 1/20 @A3
Checked By: XX
Melways Ref: TBC

Job No:
300180
Revision No:
R5

Sheet No:
A12.1