

CONSTRUCTION OF TWO DOUBLE STOREY DWELLINGS ON A LOT 66 DARNLEY STREET, BRAYBROOK VIC 3019



ARIEL MAP



AT 66 DARNLEY ST, BRAYBROOK VIC 3019



AT 68 DARNLEY ST, BRAYBROOK VIC 3019



AT 12 SKEWES ST, BRAYBROOK VIC 3019

LEGENDS:

- POS PRIVATE OPEN SPACE
- SPOS SECLUDED PRIVATE OPEN SPACE
- CANOPY TREES
- BUILDING SETBACKS TO BOUNDARY FENCE LINE
- POWER POLE
- PIT

NEIGHBOURHOOD & SITE DESCRIPTION  
SCALE 1 : 200

Better Design  
ARCHITECTURE

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Note: All dimensions shown are in millimetres (except as noted), all internal dimensions shown are from frame to frame. DO NOT SCALE. Any changes and special inclusions must be documented in writing. Ensuring the layout and special inclusions are correct, is the responsibility of the owner(s). All dimensions are to be checked and verified by the builder on site before the commencement of any work, all dimensions and levels are the subject to first survey and set-out. Services shown have been derived from visual evidence apparent at the time of survey. The relevant service, authority shall be contacted to verify the existence and position of all services prior to the commencement of any construction or excavation. Note: If the block of drawing is not signed off for construction it may be subject to change, alteration or amendment at the discretion of Better Design Architecture. It is, Better Design Architecture is not liable for any loss, damage, harm, or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing for construction purposes. If agreed dimensions take preference to scale readings. Verify all dimensions on site. Report any discrepancies to the designer for decision before proceeding with the work.

C RFI SUBMISSION  
REV DESCRIPTION

23.03.2025  
DATE

ADD : 66 DARNLEY STREET, BRAYBROOK VIC 3019  
CLIENT : CLIENT

DRW: DH

CHK: LD

REV: No : C

DATE 23.03.2025

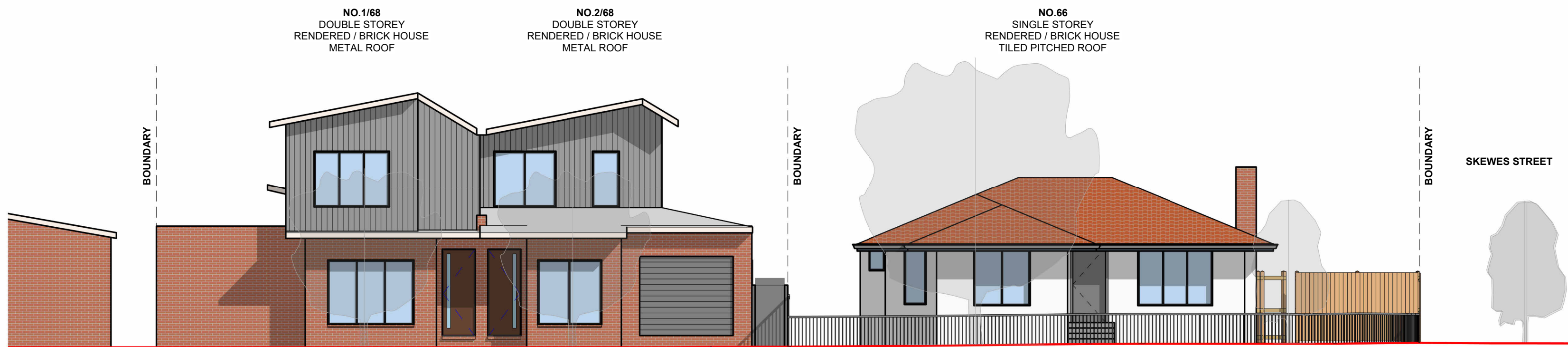
TOWN PLANNING ISSUE

PROJECT: MULTI - UNIT DEVELOPMENT  
PRJ No : RF1660AR.B  
DRW TITLE: NEIGHBOURHOOD & SITE DESCRIPTION  
SCALE: AS INDICATED  
DRW No: TP 01

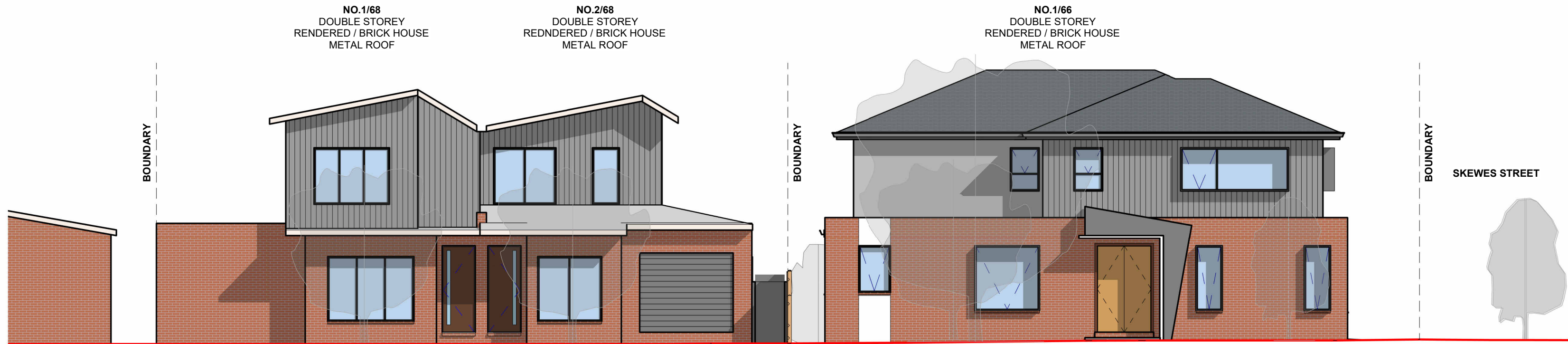


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|---------------------------------------|--|-------------------------------|--|---------------------------|--|
| PRJ No: RF1604R.B                     |  | DRW TITLE: SCALE AS INDICATED |  | DRW No: TP.02             |  |
| 1 - UNIT DEVELOPMENT                  |  | DESIGN RESPONSE               |  |                           |  |
| 66 DARNLEY STREET, BRAYBROOK VIC 3019 |  |                               |  |                           |  |
| CLIENT                                |  | DRW: DH                       |  | CHK: LD                   |  |
|                                       |  |                               |  | REV No: C DATE 23.03.2025 |  |

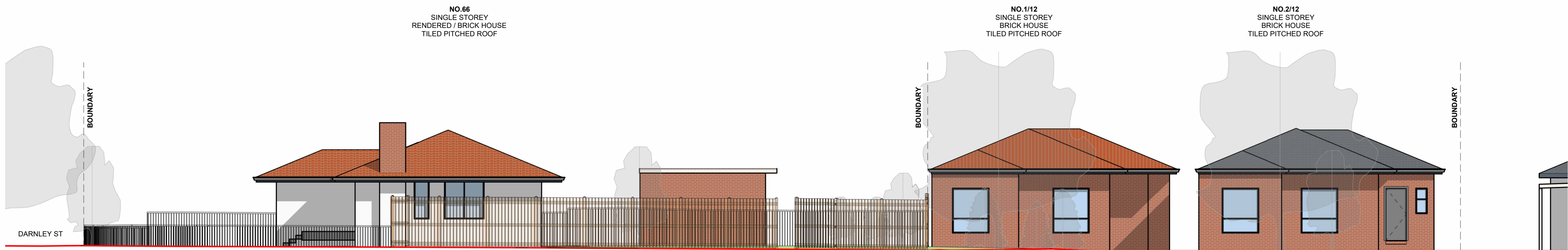




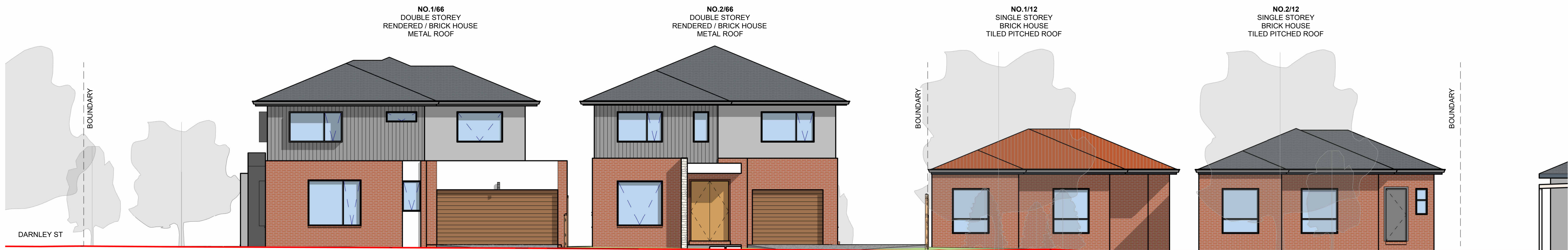
EXISTING STREET ELEVATION - DARNLEY ST  
SCALE 1 : 100



PROPOSED STREET ELEVATION - DARNLEY ST  
SCALE 1 : 100



EXISTING STREET ELEVATION - SKEWES ST  
SCALE 1 : 100



PROPOSED STREET ELEVATION - SKEWES ST  
SCALE 1 : 100



AREA SCHEDULE						
SITE AREA	SITE COVERAGE		SITE PERMEABILITY		GARDEN AREA	
	AREA	%	AREA	%	AREA	%
582 m²	282 m²	48.4%	267 m²	45.9%	247 m²	42.5%

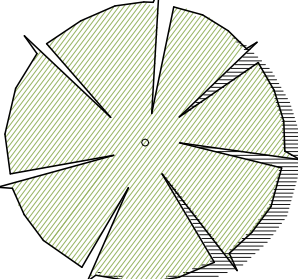
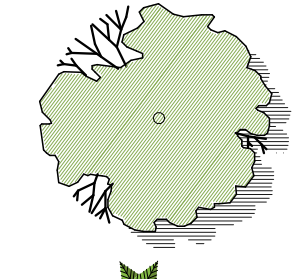
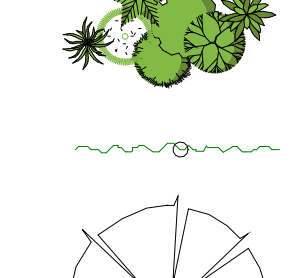
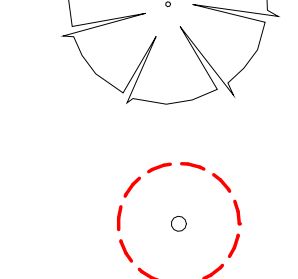
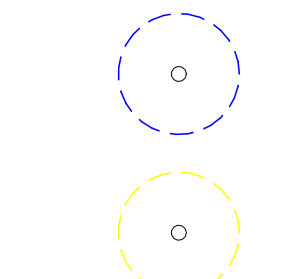
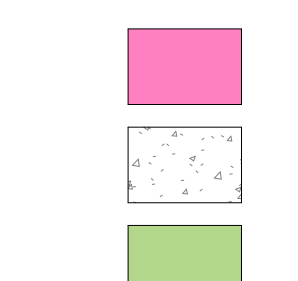
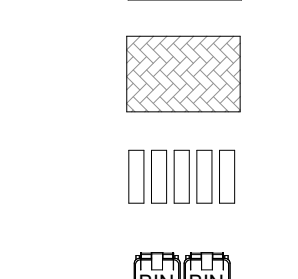
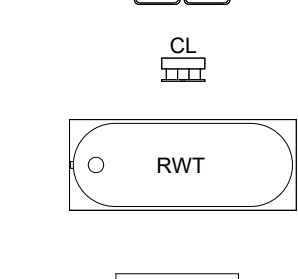
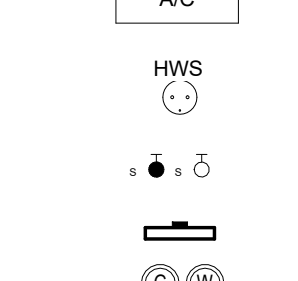
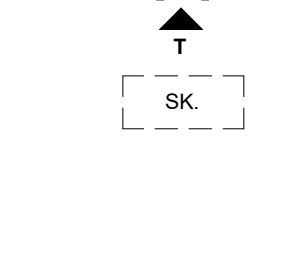



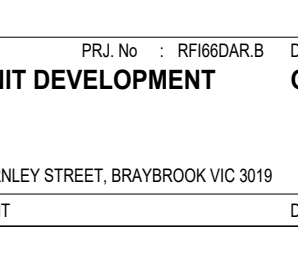
DWELLING 1		
1. GROUND FLOOR	109.7 m²	11.8 SQ
2. FIRST FLOOR	111.9 m²	12.0 SQ
3. GARAGE	35.9 m²	3.9 SQ
4. PORCH	2.1 m²	0.2 SQ
POS	259.6 m²	27.9
SPOS	35.7 m²	
	169.3 m²	

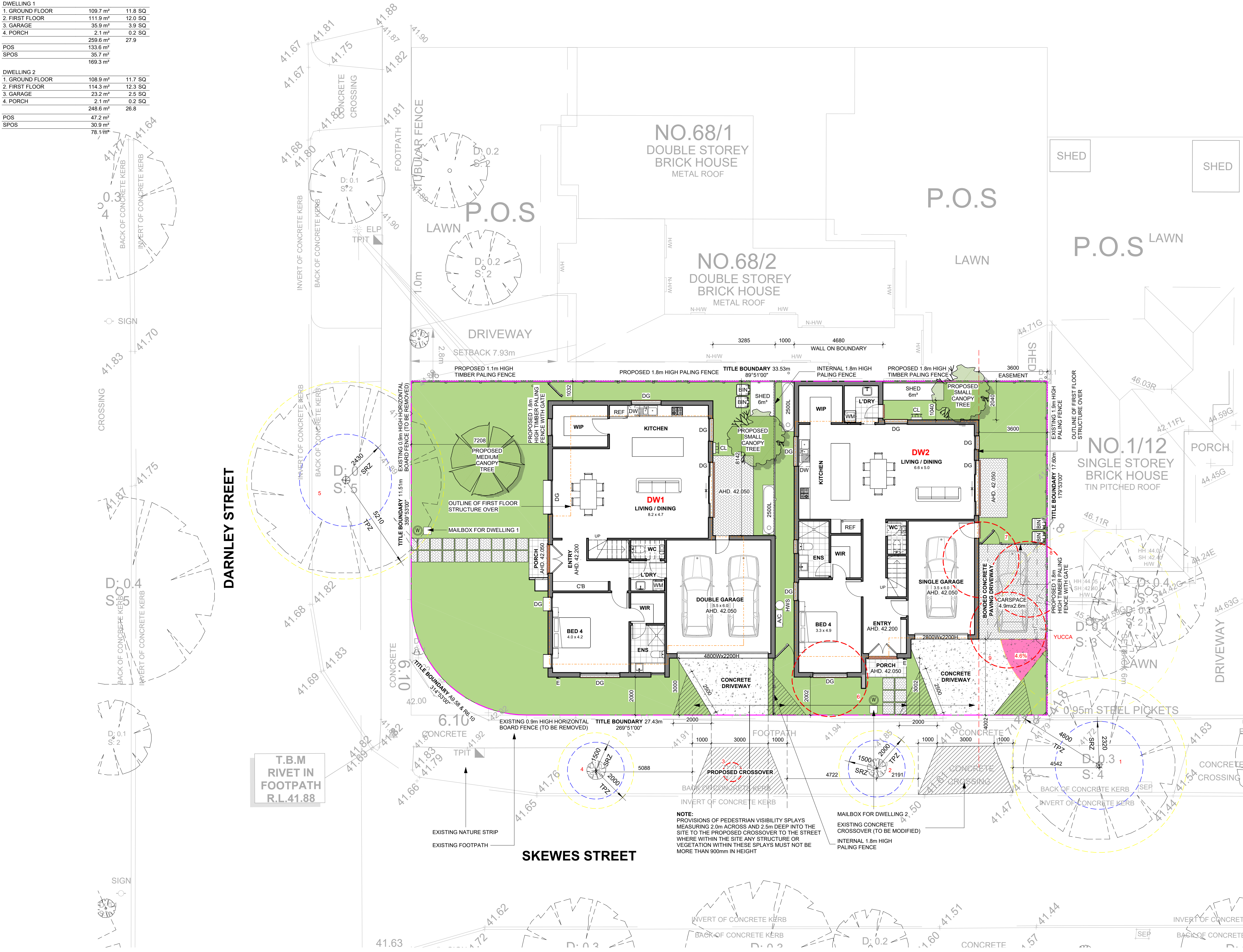
DWELLING 2		
1. GROUND FLOOR	108.9 m²	11.7 SQ
2. FIRST FLOOR	114.3 m²	12.3 SQ
3. GARAGE	23.2 m²	2.5 SQ
4. PORCH	2.1 m²	0.2 SQ
POS	248.6 m²	26.8
SPOS	47.2 m²	
	30.9 m²	
	78.1 m²	

CITY OF MARIBYRNONG

ADVERTISED PLAN

LEGENDS:

- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN TREES
- PROPOSED EVERGREEN SHRUBS
- PROPOSED CLIMBERS
- EXISTING TREE TO BE RETAINED AND PROTECTED
- EXISTING TREE TO BE REMOVED
- STRUCTURE ROOT ZONE (SRZ)
- TREE PROTECTION ZONE (TPZ)
- TPZ ENCROACHMENT
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED LAWN AREAS
- PROPOSED PAVED AREAS
- PROPOSED PAVER STEP STONES
- PROPOSED BIN STORAGE AREA
- PROPOSED CLOTHES LINE
- ALL SANITARY FLUSHING TO BE CONNECTED TO 2500L WATER TANK
- A/C UNIT TO BE LOCATED ON GROUND LEVEL AWAY FROM PUBLIC VIEW, NO SCREENING REQUIRE
- WATER HEATER TANK
- LIGHTING SENSOR ABOVE
- WALL METER BOX
- GAS/WATER METER
- TAP
- SKYLIGHT



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C RFI SUBMISSION  
REV DESCRIPTION

23.03.2025  
DATE

ADD : 66 DARNLEY STREET, BRAYBROOK VIC 3019  
CLIENT : CLIENT

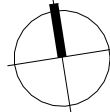
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CHK: LD

REV: No : C  
DATE 23.03.2025

TOWN PLANNING ISSUE

PROJECT: PRJ No : RF1660AR.8  
MULTI - UNIT DEVELOPMENT

DRW TITLE: SCALE: AS INDICATED  
GROUND FLOOR PLAN





AREA SCHEDULE						
SITE AREA	SITE COVERAGE		SITE PERMEABILITY		GARDEN AREA	
	AREA	%	AREA	%	AREA	%
582 m <sup>2</sup>	282 m <sup>2</sup>	48.4%	267 m <sup>2</sup>	45.9%	247 m <sup>2</sup>	42.5%

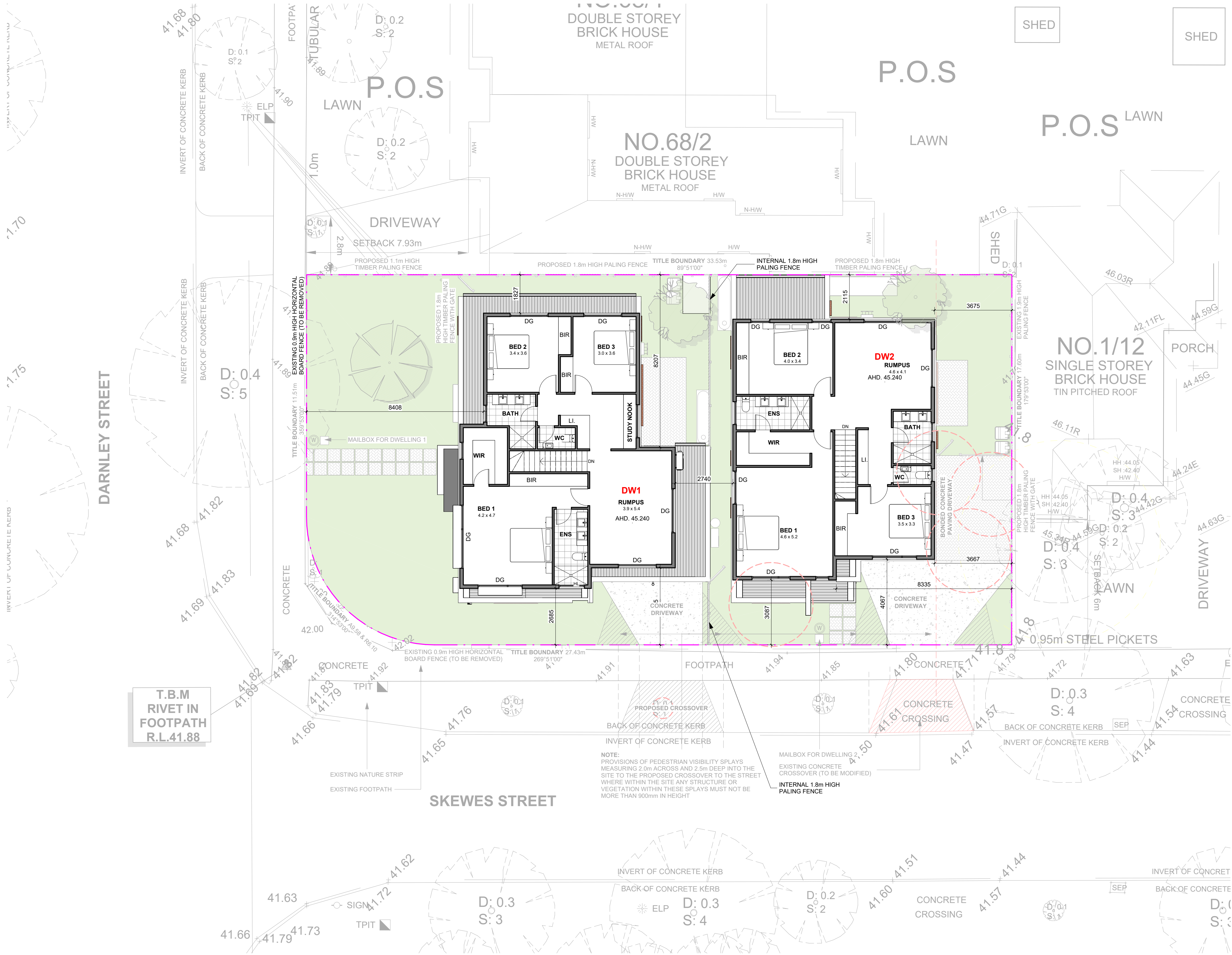
DWELLING 1		
1. GROUND FLOOR	109.7 m <sup>2</sup>	11.8 SQ
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3. GARAGE	35.9 m <sup>2</sup>	3.9 SQ
4. PORCH	2.1 m <sup>2</sup>	0.2 SQ
POS	259.6 m <sup>2</sup>	27.9
SPOS	35.7 m <sup>2</sup>	
	169.3 m <sup>2</sup>	

DWELLING 2		
1. GROUND FLOOR	108.9 m <sup>2</sup>	11.7 SQ
2. FIRST FLOOR	114.3 m <sup>2</sup>	12.3 SQ
3. GARAGE	23.2 m <sup>2</sup>	2.5 SQ
4. PORCH	2.1 m <sup>2</sup>	0.2 SQ
POS	248.6 m <sup>2</sup>	26.8
SPOS	47.2 m <sup>2</sup>	
	30.9 m <sup>2</sup>	
	78.1 m <sup>2</sup>	

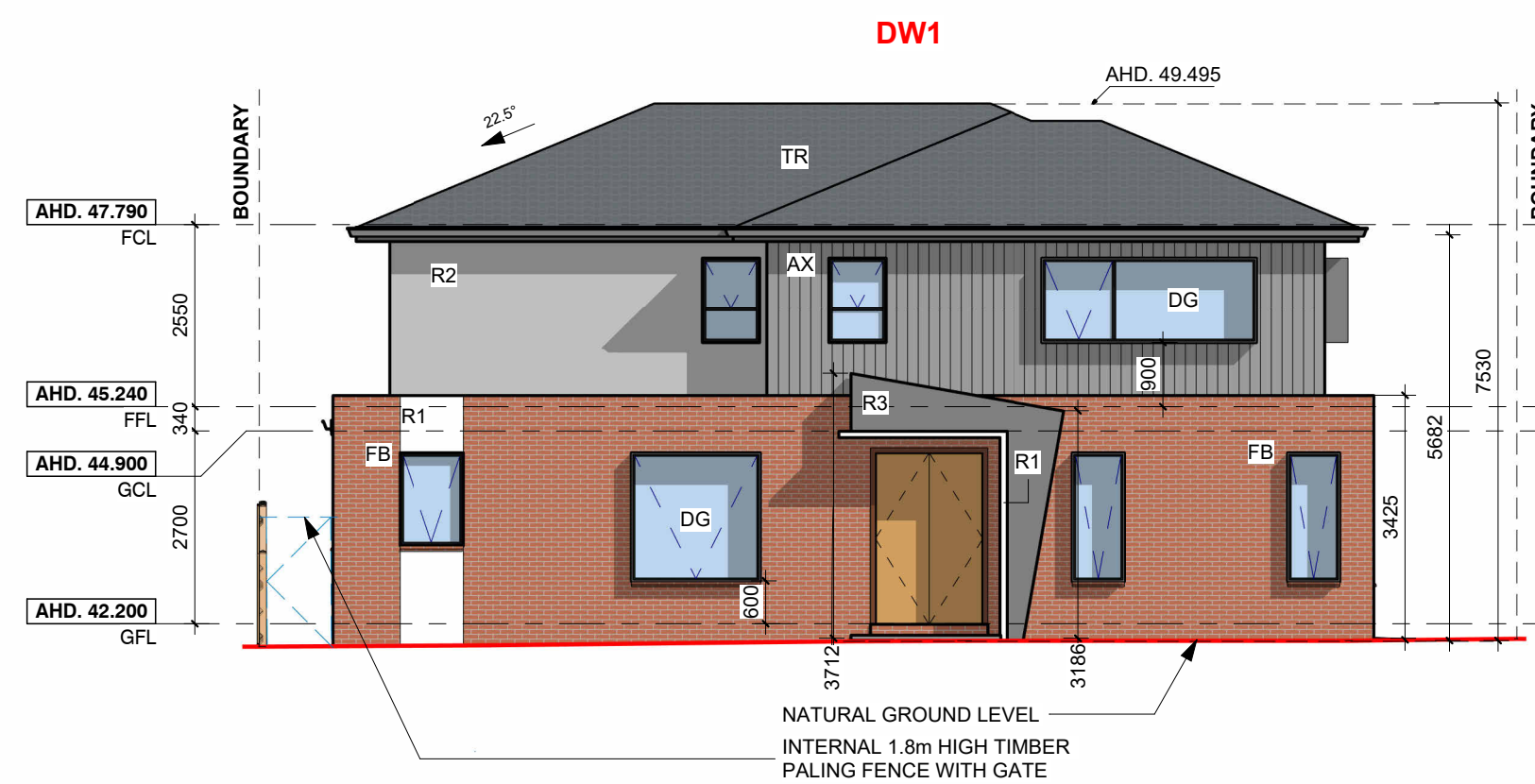
CITY OF MARIBYRNONG  
ADVERTISED PLAN

LEGENDS:

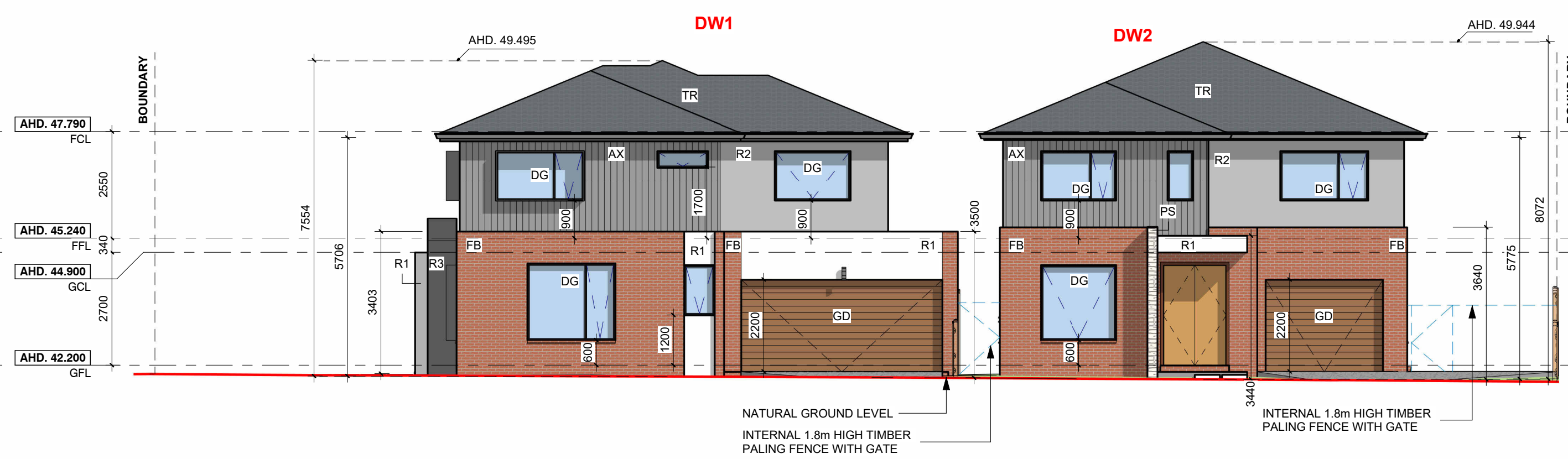
- PROPOSED DICIDUOUS TREES
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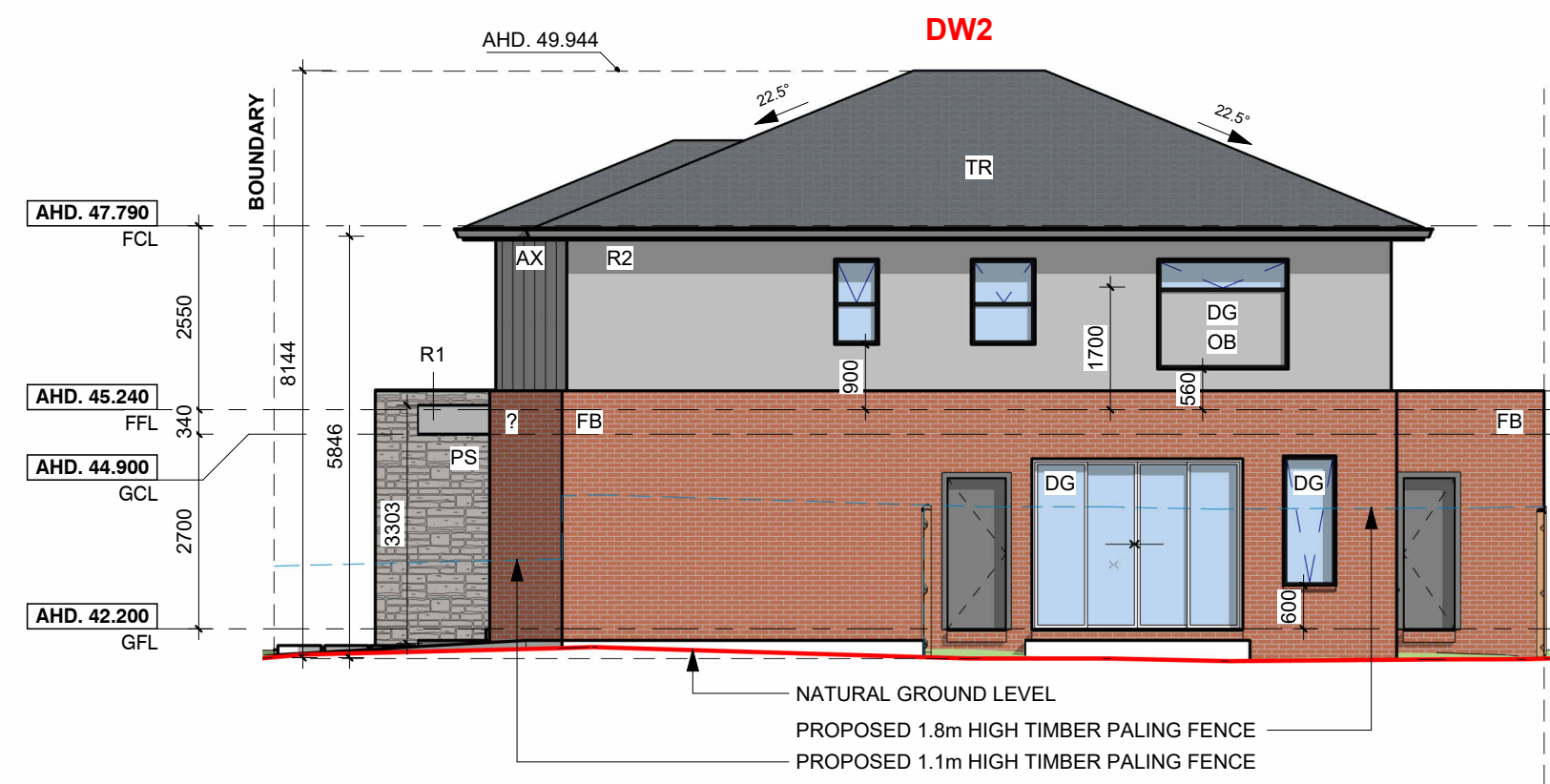




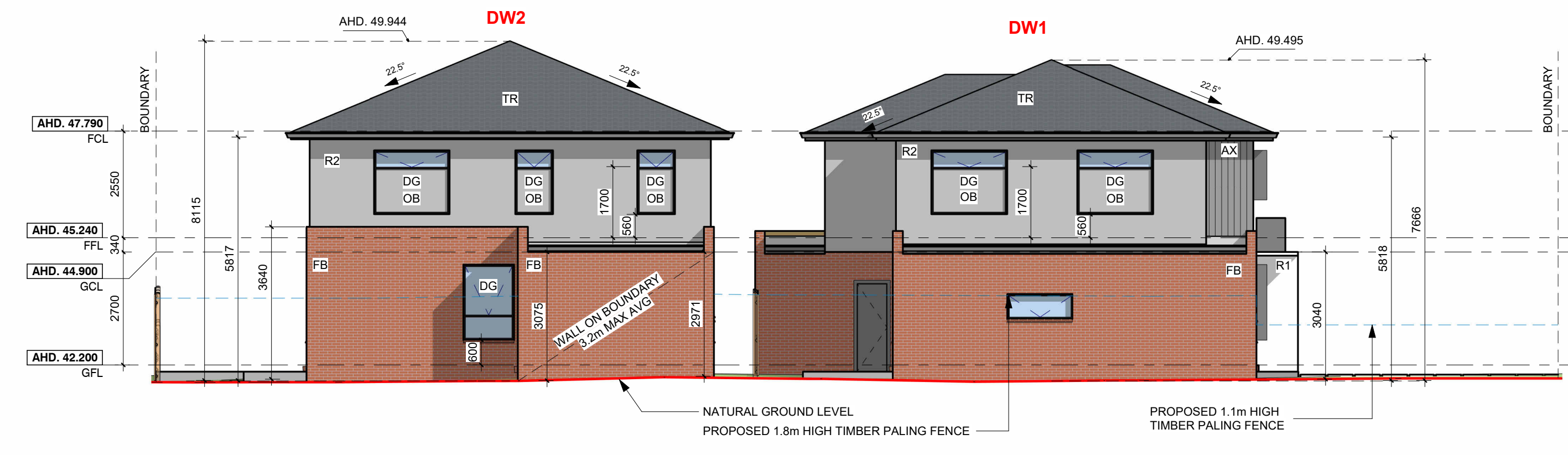
WEST ELEVATION  
SCALE 1 : 100



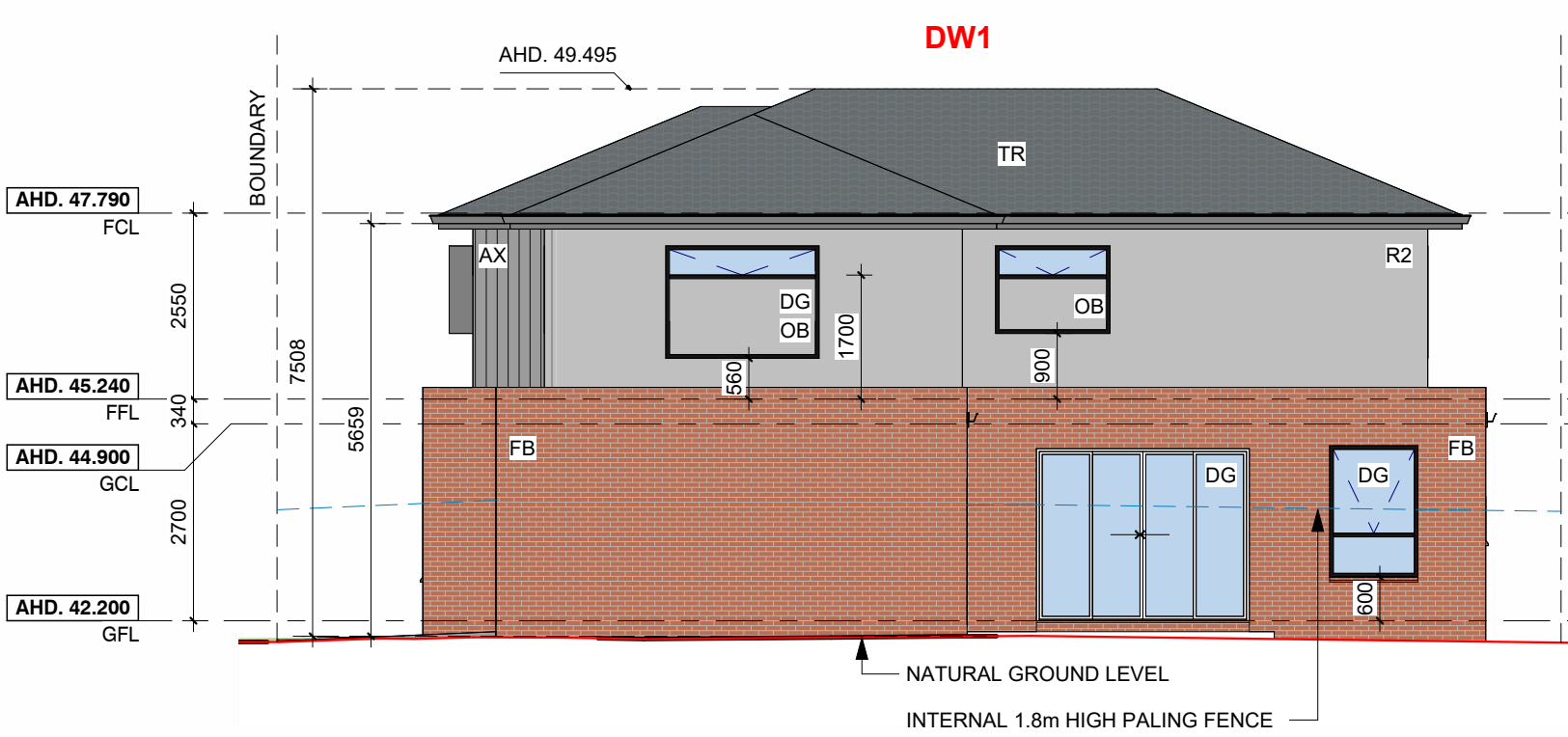
**SOUTH ELEVATION**  
SCALE 1 : 100



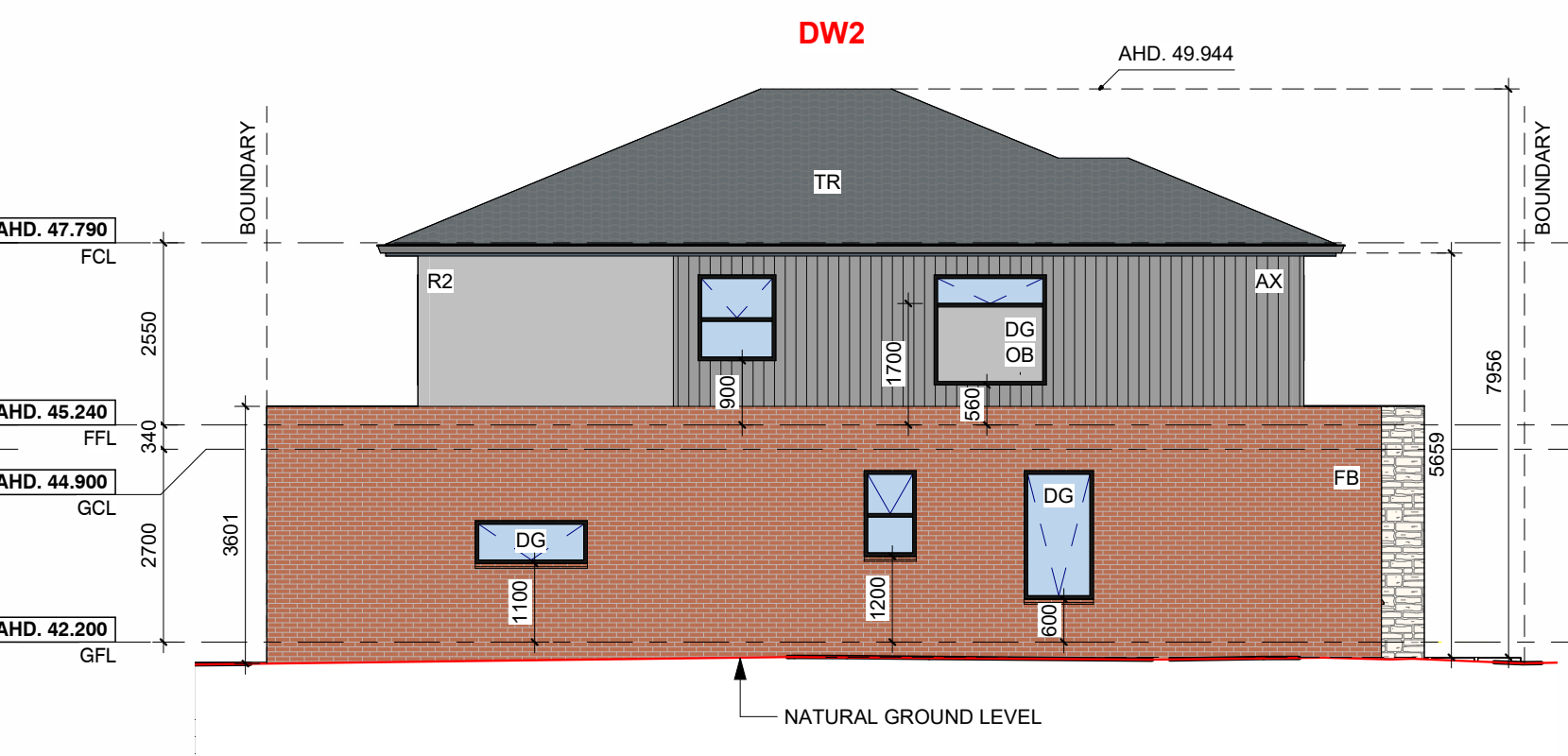
EAST ELEVATION  
SCALE 1 : 100



NORTH ELEVATION  
SCALE 1 : 100

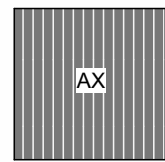
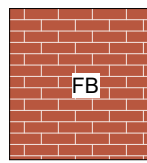
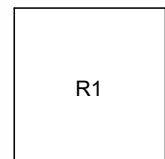
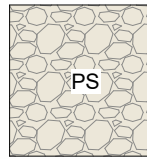
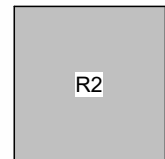

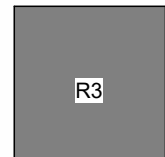
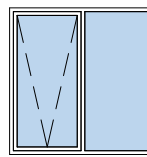
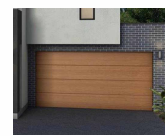
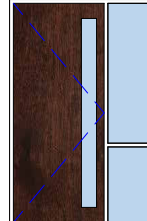



INTERNAL EAST ELEVATION  
SCALE 1 : 100



INTERNAL WEST ELEVATION  
SCALE 1 : 100

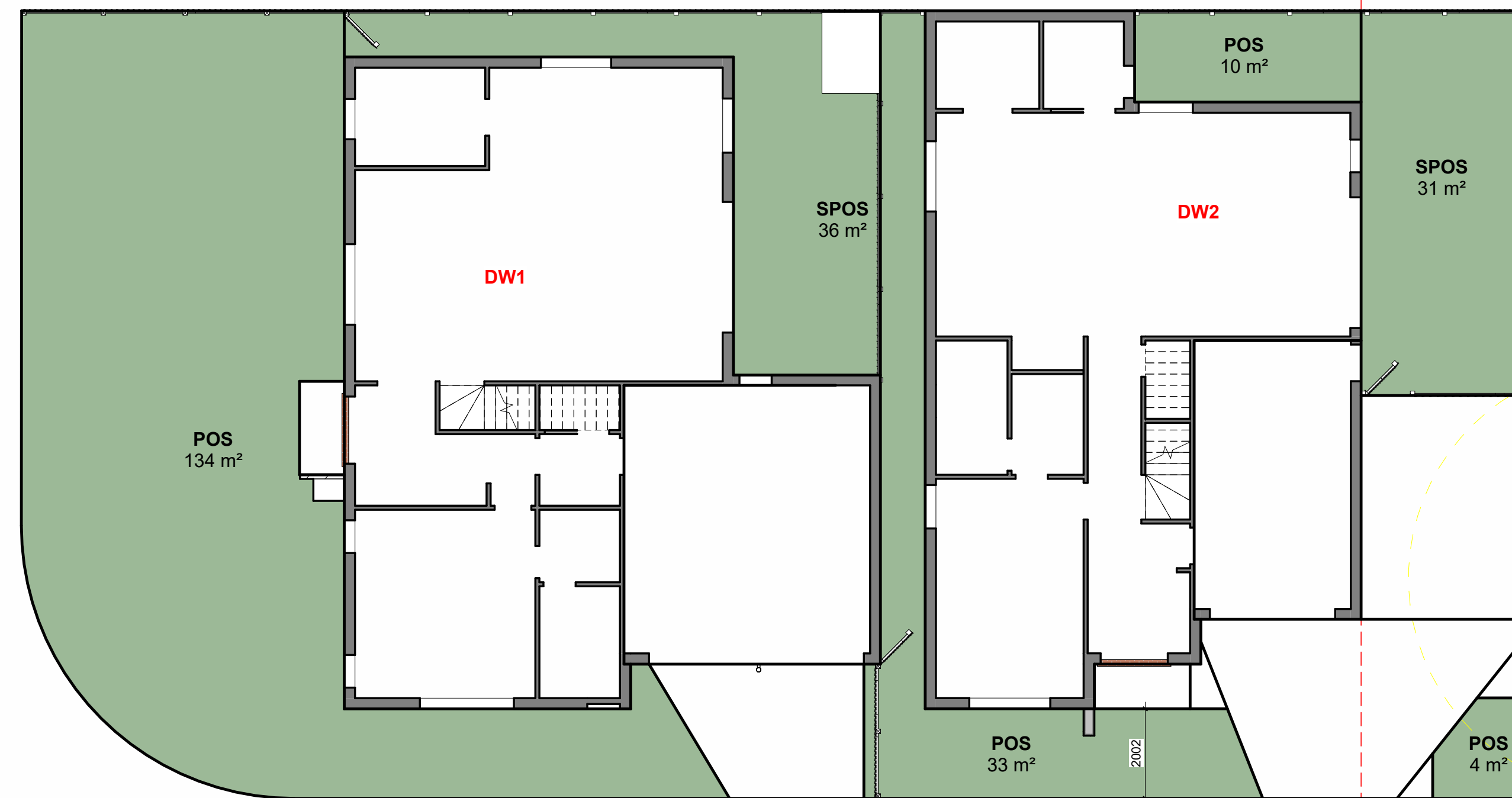
## COLOUR & MATERIAL SCHEDULE

MATERIAL	REF.		
AXON CLADDING GROOVED JAMESHARDIE 133 SMOOTH DARK GREY (OR SIMILAR)		FACE BRICK - PGH BRICK CHAPEL RED (OR SIMILAR)	
RENDER FINISH - DULUX WHITE (OR SIMILAR)		PAVER STEP STONE - DULUX STOWE WHITE	
RENDER FINISH - DULUX SHALE GREY (OR SIMILAR)		FASCIA, GUTTER, METAL CAPPING & DOWNPIPE - COLOURBOND SHALE GREY (OR SIMILAR)	
RENDER FINISH - DULUX DARK GREY (OR SIMILAR)		WINDOW FRAME - MONUMENT COLOR (OR SIMILAR)	
GARAGE DOOR - COLOURBOND TIMBER LOOK		ENTRANCE DOOR - TIMBER DOOR WITH TRANSLUCENT GLASS - STAINED WALNUT (OR SIMILAR)	
DRIVEWAY - GREY CONCRETE			

**NOTE:**  
- ALL WINDOWS CAN BE LOCKED IN OPEN POSITION  
- ALL HABITABLE WINDOWS ARE DOUBLE GLAZING

OB: OBSCURE GLASS  
DG: DOUBLE GLAZING  
HL: HIGHLIGHT WINDOW

**NOTE:**  
OB: OBSCURE GLAZING (NOT FILM) TO 1.7m ABOVE FINISH  
LEVEL & OPENABLE ABOVE IF REQUIRED FOR VENTILATION



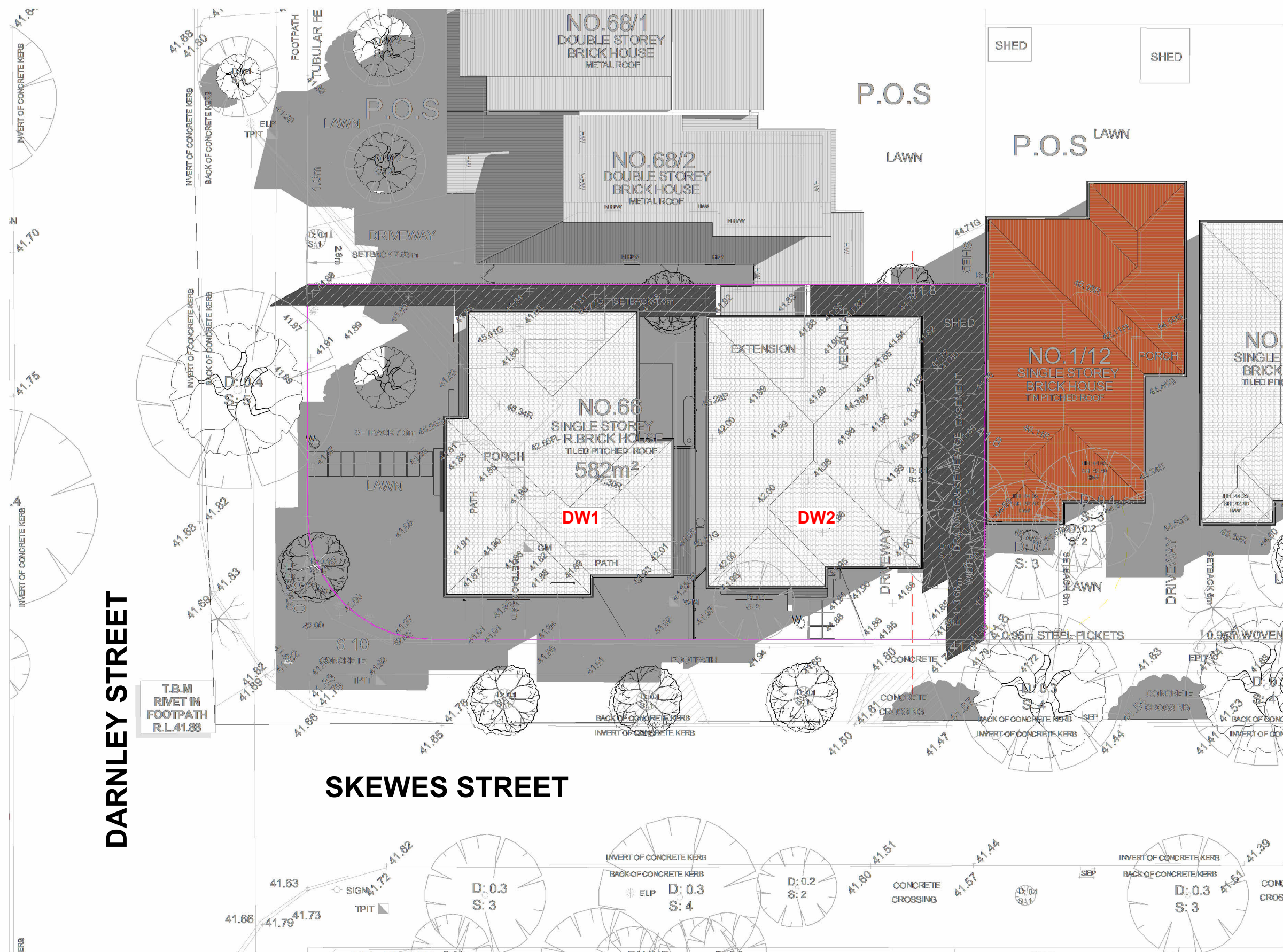
## GARDEN AREA PLAN

SCALE 1 : 100

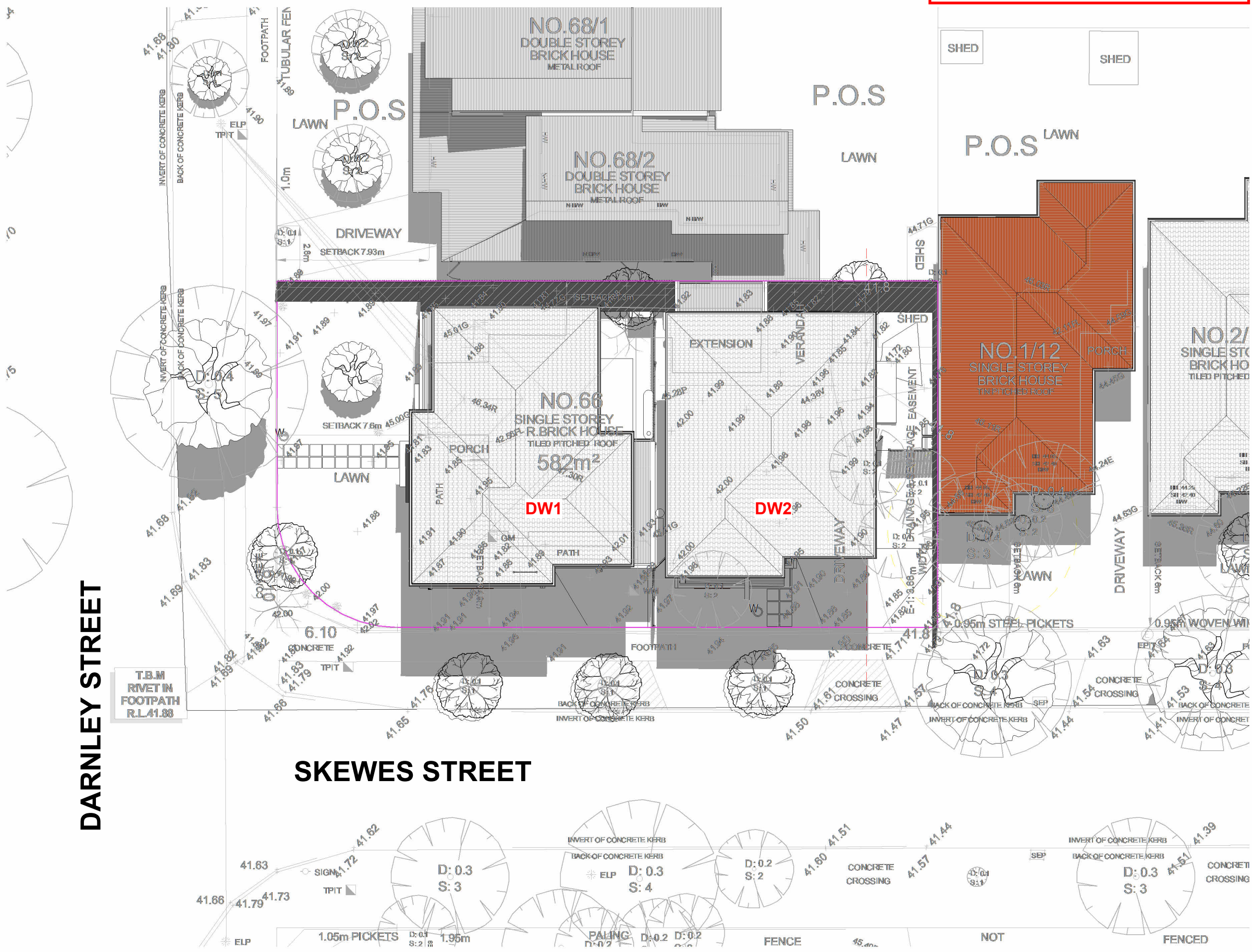
AREA SCHEDULE						
SITE AREA	SITE COVERAGE		SITE PERMEABILITY		GARDEN AREA	
	AREA	%	AREA	%	AREA	%
582 m <sup>2</sup>	282 m <sup>2</sup>	48.4%	267 m <sup>2</sup>	45.9%	247 m <sup>2</sup>	42.5%

 GARDEN AREA

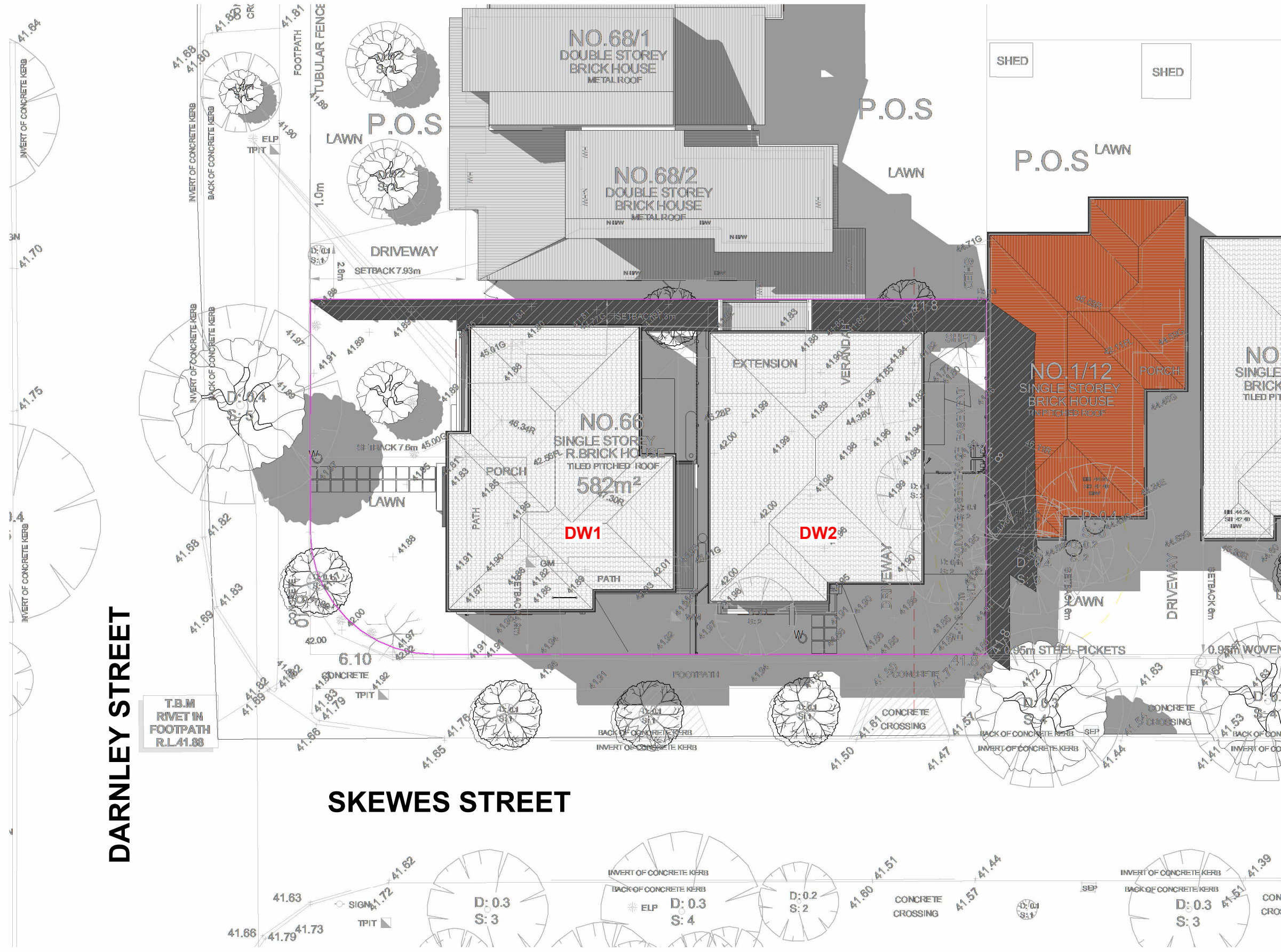




SHADOW DIAGRAM 9AM (22 SEPT)  
SCALE 1 : 200



SHADOW DIAGRAM 12PM (22 SEPT)  
SCALE 1 : 200



SHADOW DIAGRAM 3PM (22 SEPT)  
SCALE 1 : 200

- LEGENDS:**
- SHADOW CAUSED BY EXISTING FENCE
  - SHADOW CAUSED BY PROPOSED DWELLINGS



**SUBGRADE PREPARATION**

SITE TO BE PREPARED IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICE AND UNDER THE CLOSEST SUPERVISOR. DISTURBANCE TO LIVE SOIL STRUCTURE IS TO BE MINIMISED. THE USE OF MACHINERY THAT MAY DAMAGE SOIL STRUCTURE OR PROFILE IS NOT ACCEPTABLE. ALL LAWN AND PLANTED AREAS SUB-GRADE TO IS TO BE CULTIVATED TO A MINIMUM DEPTH OF 150MM. DRAINAGE FALLS TO BE SHAPED PRIOR TO TOP SOLING. TEST SUB GRADE TO BE TO 100MM. GYPSUM SHALL BE USED TO STABILISE SALINITY AND SOIL pH TO SUIT PLANTING AND CONDITIONING. ANY GYPSUM REQUIRED IS TO BE DISTRIBUTED ACCORDING TO MANUFACTURERS RECOMMENDED RATE AND CULTIVATED INTO THE SUB-GRADE AT A MINIMUM OF 75MM. ALL AREAS TO BE GRADED / DRAINED TO AVOID WATER DISCHARGE INTO ADJOINING PROPERTIES.

ENVIRONMENTAL WEEDS TO BE REMOVED AND DISPOSED OFF OF SITE PRIOR TO SUB GRADE PREPARATION, TOPSOILING AND PLANTING WORKS.

SPREAD TOPSOIL IN MAXIMUM 150MM LAYERS, LIGHTLY COMPACTED BY USE OF A 150 - 200KG ROLLER, OR BY CAREFULLY WALKING UNTIL IT IS SETTLED AT FINISHED KERB LEVELS OR TO WITHIN 75MM BELOW EDGING LEVELS TO ACCOMMODATE MULCH. IMPORTED TOPSOIL FOR GARDEN BEDS IS TO BE MEDIUM TEXTURE GENERAL PURPOSE GARDEN SOIL AND LIGHTLY COMPACTED TO MINIMUM 300MM DEPTH TO GARDEN BEDS. SOIL IS TO COMPLY WITH AS

• FREE FROM PERENNIAL WEEDS AND THEIR ROOTS, BULBS AND RHIZOMES  
• FREE FROM BUILDING RUBBLE AND ANY OTHER MATTER DELETERIOUS TO PLANT GROWTH  
• PH TO BE 6.0-7.0  
• TEXTURE TO BE LIGHT TO MEDIUM FRIABLE LOAM  
• FREE FROM SILT MATERIAL

IMPORTED TOPSOIL FOR LAWN REJUVENATION / ESTABLISHMENT SHALL HAVE THE ABOVE CHARACTERISTICS, BUT SHALL BE A FREE DRAINING SANDY LOAM. LIGHTLY COMPACT TO MINIMUM DEPTH OF 100MM.

MULCH FOR GARDEN BEDS IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT WOOD CHIPS PARTICLES IN A SIZE RANGE OF 25 - 50 MM MAXIMUM BY VOLUME. SPREAD MULCH AT A CONSOLIDATED DEPTH OF 75MM.

FILL PLANTING HOLES WITH WATER AND ALLOW TO DRAIN COMPLETELY IF SOIL IS DRY. TREE ROOTS ARE TO BE TEASED OUTWARDS IF MATTED OR CIRCLING CLOSES TO PRIOR DIRT. PLANTING HOLES MUST BE 100MM DEEPER THAN THE TREE TRUNK TO ENSURE THE TOP OF THE ROOTBALL IS FLUSH WITH THE SURROUNDING SOIL SURFACE AND THE TRUNK IS VERTICAL. BACKFILL MATERIAL IS TO BE IN A LOOSE, FRIABLE STATE, WITH NO BRICKS, ROCKS OR FOREIGN MATERIAL - IF SUFFICIENT MATERIAL IS NOT AVAILABLE FORM THE ORIGINAL HOLE, FILL WITH A MIXTURE OF 10% TYPE 1 CRUSHED BRICKS AND 90% TOPSOIL. CHECK FOR POCKETS IN SOIL FROM OCCURRING BY FIRMLY BACKFILLING SOIL IN LAYERS THEN THOROUGHLY WATERING IN. TREES TO BE STAKED WITH TWO 2500MM X 70MM HARDWOOD STAKES DRIVEN FIRMLY INTO THE GROUND, DO NOT BE PLACE STAKE THROUGH THE ROOTBALL. STAKES TO BE REMOVED IMMEDIATELY AFTER PLANTING. BACKFILL MATERIAL MUST BE TIGHT ENOUGH TO SUPPORT THE TREE IN WINDY CONDITIONS BUT FLEXIBLE ENOUGH TO STIMULATE DEVELOPMENT OF A GOOD SUPPORTIVE ROOT SYSTEM. TREE MATERIAL MUST NOT DAMAGE TREE BARK OR RESTRICT TRUNK GROWTH FOR A MINIMUM OF 10 YEARS. BACKFILL MATERIAL MUST BE PLACED TO A MINIMUM OF 100MM FROM THE TRUNK - "OSMOCOTE" IS TO BE APPLIED TO THE TOP OF THE ROOTBALL AREA AWAY FROM THE TRUNK / STEM TO MANUFACTURERS SPECIFICATIONS AND WATERED IN IMMEDIATELY. ALL TREES TO BE MULCHED TO A DIAMETER OF 1200MM WIDE AND TO A DEPTH OF 100MM BUT MUST NOT BE IN CONTACT WITH THE TRUNK. MULCH IS TO BE 100MM DEEP AND TO BE 10% - 80% PERCENT OF ITS VOLUME BEING WOOD CHIP PARTICLES IN A SIZE RANGE OF 25 - 50MM MAXIMUM. MULCH IS TO BE SPREAD AT A CONSOLIDATED DEPTH OF 75MM. THE PLANTING HOLE SURFACE IS TO BE SHAPED TO MINIMIZE WATER LOGGING EXCESSIVE WATER RETENTION BUT NOT TO HOLD MULCH MATERIAL NEAR THE SITE MUST BE LEFT AS A CLEAN AND SAFE CONDITION.

[illegible]

IF APPLICABLE, INSTALL IN-GROUND AUTOMATIC DRIP IRRIGATION SYSTEM TO ALL GARDEN AREAS AND PLANTER BOXES IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS

TIMBER EDGING TO BE 75MM X 25MM TREATED PINE SECURED TO 300MM LONG TREATED PINE STAKES AT NOM. MIN 1000MM SPACINGS WITH GALVANISED SCREWS AND INSTALLED TO ALL JUNCTIONS BETWEEN GARDEN BEDS, LAWN AND TOPPING / PEBBLE AREAS

LANDSCAPE AND / OR BUILDING CONTRACTOR(S) ARE RESPONSIBLE FOR CIVIL AND HYDRAULIC COMPUTATIONS FOR LANDSCAPE BUILDING WORKS INCLUDING, BUT NOT LIMITED TO SURFACE AND SUB SURFACE DRAINAGE FOR ALL LANDSCAPE AREAS PRIOR TO COMMENCEMENT OF WORKS

WHILE CARE HAS BEEN TAKEN TO SELECT TREE SPECIES WITH NON-INVASIVE ROOT SYSTEMS IT IS RECOMMENDED THAT ROOT CONTROL BARRIERS BE INSTALLED FOR ANY TREES LOCATED WITHIN TWO METRES OF ANY BUILDING LINES.

CLIMBING PLANTS (IF APPLICABLE) ARE TO BE TRAINED TO SUPPORTIVE MESH, WIRE OR LATTICE FIXED OVER ENTIRE FENCE SECTION FROM BASE TO TOP

DO NOT SCALE FROM PLAN - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION

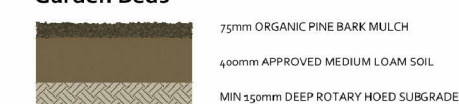
PROVIDE PLANTS AT SPECIFIED PLANT HEIGHTS AND POT SIZES. AT MINIMUM, PROVIDE LARGER STOCK FOR PLANT MATERIAL IS UNAVAILABLE IN THESE SIZES, TREES AND SHRUBS SHALL BE HEALTHY NURSERY STOCK FREE FROM PESTS, INSECTS, DISEASES AND WEEDS. SUBSTITUTE PLANTS SHALL BE OF THE SAME OR BETTER QUALITY AND SPECIES. PLANTS MUST BE AVAILABLE IN WRITING, SEMI MATURE TREES TO BE SUPPLIED TO MEET THE FOLLOWING CRITERIA, HAVE A MINIMUM PLANTED HEIGHT TO SIZES AS INDICATED IN THE PLANT SCHEDULE, HAVE A MINIMUM TRUNK CALLIPER OF 50MM AT GROUND LEVEL, BE UN Damaged AND FREE OF DISEASES AND INJURIES, PESTS, NOOT BE ROOT BOLE AND HAVE NO BRACING OR GIRDLING ROOTS, HAVE NOT GROWN IN SHADY PATTERN, HAVE A CONTOUR SHOW THE SINGLE, BOUNG, STRONG, STRONG BRANCHING PATTERN, AND FULL CANOPY, SHOW HEALTHY, VIGOROUS GROWTH

ALL EXISTING VEGETATION SHOWN ON THE ENDORSED PLAN ON BOTH SUBJECT SITE AND NEIGHBOURING PROPERTIES TO BE RETAINED MUST BE SUITABLY MARKED AND PROTECTED (IF REQUIRED) PRIOR TO COMMENCEMENT OF DEVELOPMENT ON SITE INCLUDING DEMOLITION OF EXISTING BUILDINGS. THE ABOVE REQUIREMENTS SHALL BE COMPLIED WITH TO THE CONSENT OF THE RESPONSIBLE AUTHORITY, BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION. TREE PROTECTION BARRIERS MUST BE ERECTED AROUND TREES ON BOTH SUBJECT SITE AND ADJOINING PROPERTIES TO FORM A DEFINED TREE PROTECTION ZONE. THE PROTECTION BARRIERS SHALL BE ERECTED IN ACCORDANCE WITH THE REQUIREMENTS OF AS PER AS 4970-2009. ANY REQUIRED PRUNING MUST BE CARRIED OUT BY A TRAINED AND COMPETENT ARBORIST WITH A THOROUGH KNOWLEDGE OF TREE PHYSIOLOGY AND PRUNING METHODS. PRUNING TO BE CARRIED OUT AS PER AS 4973-2007. ALL TREE PROTECTION BARRIERS SHALL BE REGULARLY MAINTAINED BY A CONSULTING ARBORIST AND / OR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

TO ALL GARDEN BEDS AND LAWN / TOPPINGS EDGE



## Garden Beds



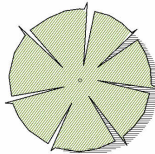
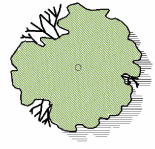
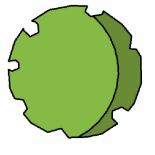




DATA COLLECTED DEBORAH TOROQUE



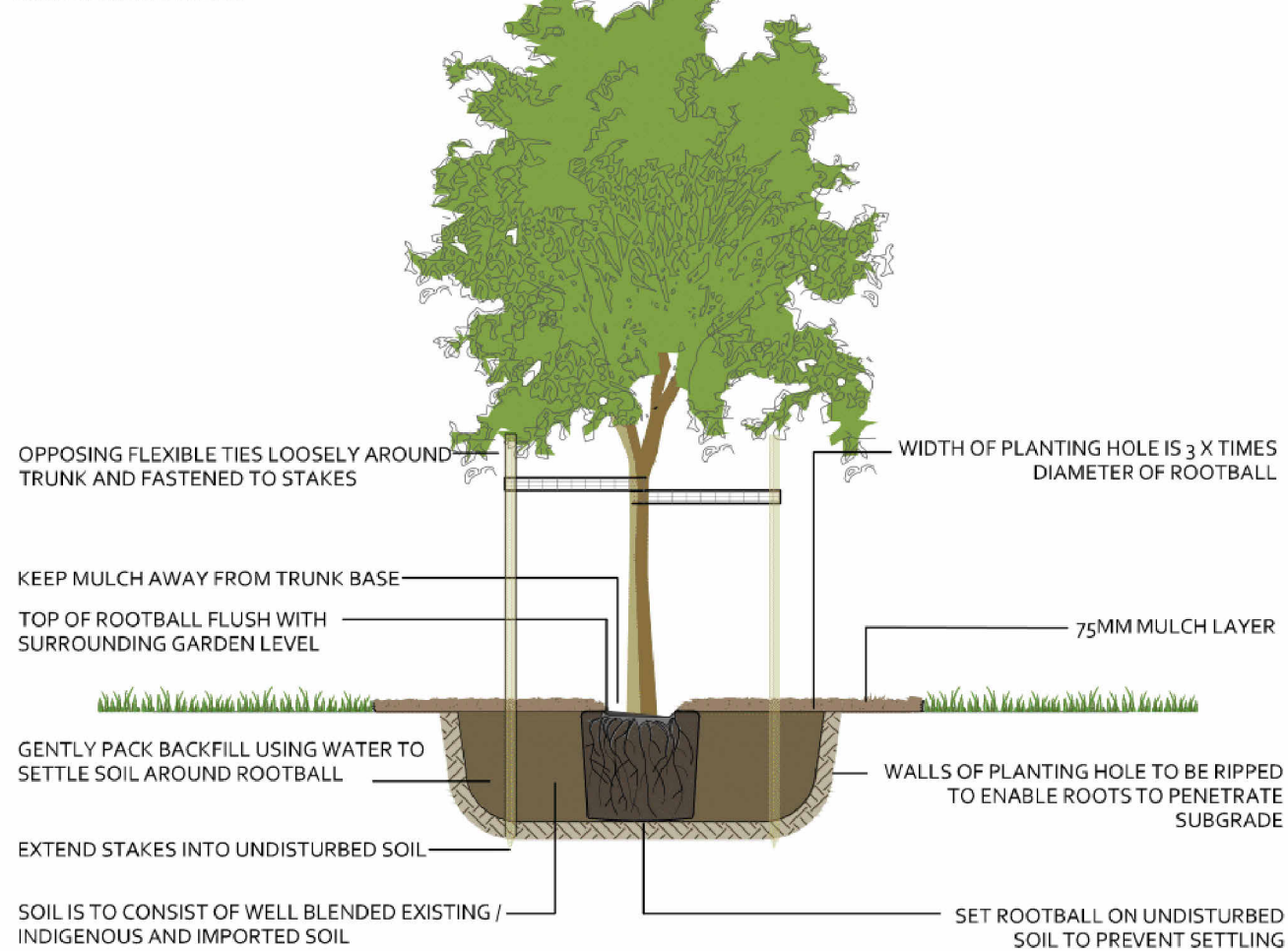
## STRATHAYR SIR WALTER SOFT LEAF



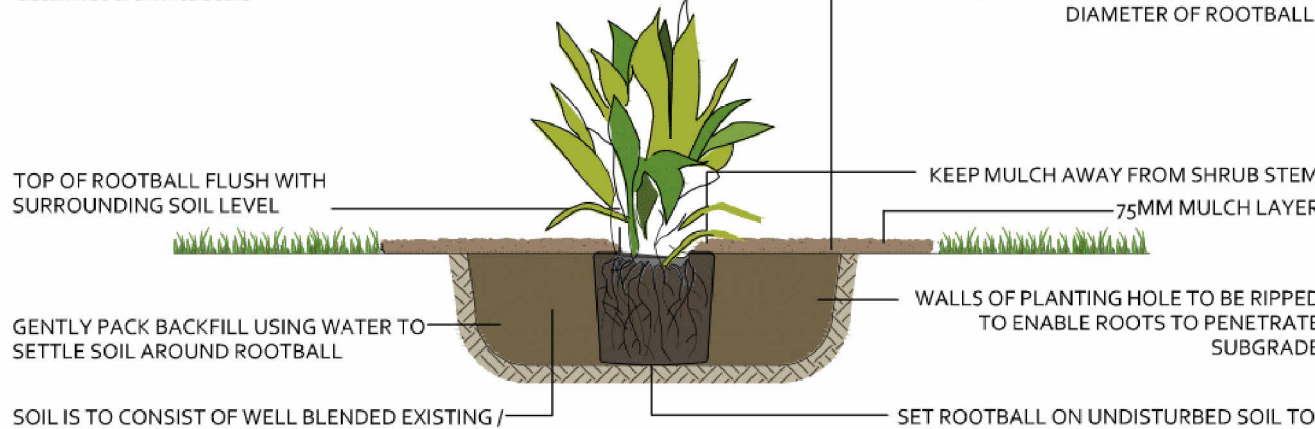
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
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TREES	AI	ACACIA IMPLEXA	LIGHTWOOD	1	40ltr / MIN 2.0m HIGH	10m x 5m
						
TREES	LI	LAGERSTROEMIA INDICA	CREPE MYRTLE	4	40ltr / MIN 2.0m HIGH	6m x 3m
						
SHRUBS	DP	DODONAEA VISCOSA SUBSP.PURPUREA	PURPLE HOP BUSH	20	20cm POT	1m x 1m
						
	MP	MURRAYA PANICULATA	ORANGE JESSAMINE	2	20cm POT	1m x 1m
						
TUSSOKS/ GRASSES/ EVERGREEN PERENNIALS	DCB	DIANELLA CAERULA BREEZE	BREEZE FLAX LILLY	37	14cm POT	0.7m x 0.65m
						
	DL	DIANELLA LONGIFOLIA	SMOOTH FLAX LILY	8	14cm POT	0.8m x 0.6m
						
	TJ	TRACHELOSPERMUM JASMINOIDES	CHINESE STAR JASMINE	10	14cm POT	0.6m x 0.6m
						

detail not drawn to scale



detail not drawn to scale



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Note: All dimensions shown are in meters (except as noted), all internal dimensions shown are from frame to frame. DO NOT SCALE. Any changes and special instructions must be documented in writing. Ensuring the layout and special inclusions are correct, is the responsibility of the owner(s). All dimensions are to be checked and verified by the builder on site before the commencement of any work, all dimensions and levels are subject to change without notice. The contractor is responsible for ensuring that all dimensions and levels are correct and for ensuring that all dimensions are connected to verify the existence and position of all services prior to the commencement of any construction or excavation. Notes: If the Status of drawing is not signed For Construction it may be subject for change, alteration or amendment at the discretion of the Engineer. The Engineer is not responsible for any errors or omissions in the drawing. The drawing is to be used for construction purposes only and is not to be used, copied by any other person as a result of any use of this drawing for construction purposes. Figured dimensions take preference over dimension lines. Verify all dimensions on site. Report any discrepancies to the designer for decision before proceeding with the work.

C	RFI SUBMISSION
REV	DESCRIPTION

23.03.2025  
DATE

ADD : 66 DPA  
CLIENT : CLIE

STREET, BRAYBI

C 3019  
DRW: D

CHK: LD

V. No: C DA

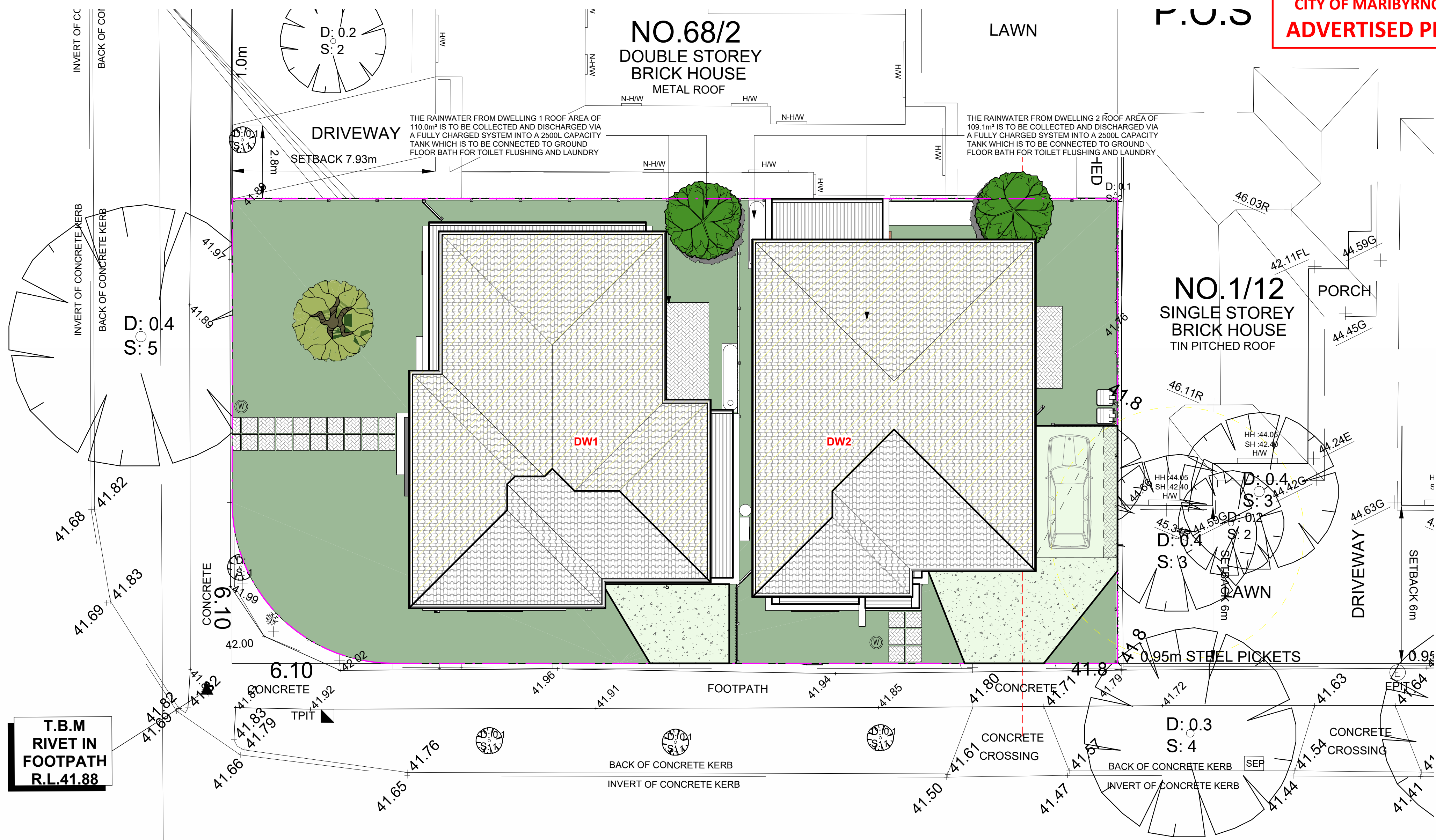
3.2025

## TOWN PLANNING ISSUE

SCALE AS INDICATED    DRW. No:    TP.08

HK: ID REV: No: C DATE 23.03.2025





WSUD AREA SCHEDULE	
NAME	AREA
DWELLING 2	
TANK	109.1 m²
UNTREATED	40.2 m²
UNTREATED DRIVEWAY	34.8 m²
DWELLING 1	
TANK	110.0 m²
UNTREATED	42.7 m²
UNTREATED DRIVEWAY	11.7 m²

AREA SCHEDULE						
SITE AREA	SITE COVERAGE		SITE PERMEABILITY		GARDEN AREA	
	AREA	%	AREA	%	AREA	%
582 m <sup>2</sup>	282 m <sup>2</sup>	48.4%	267 m <sup>2</sup>	45.9%	247 m <sup>2</sup>	42.5%
DWELLING 1						
1. GROUND FLOOR			109.7 m <sup>2</sup>	11.8 SQ		
2. FIRST FLOOR			111.9 m <sup>2</sup>	12.0 SQ		
3. GARAGE			35.9 m <sup>2</sup>	3.9 SQ		
4. PORCH			2.1 m <sup>2</sup>	0.2 SQ		
			259.6 m <sup>2</sup>	27.9		
POS			133.6 m <sup>2</sup>			
SPOS			35.7 m <sup>2</sup>			
			169.3 m <sup>2</sup>			
DWELLING 2						
1. GROUND FLOOR			108.9 m <sup>2</sup>	11.7 SQ		
2. FIRST FLOOR			114.3 m <sup>2</sup>	12.3 SQ		
3. GARAGE			23.2 m <sup>2</sup>	2.5 SQ		
4. PORCH			2.1 m <sup>2</sup>	0.2 SQ		
			248.6 m <sup>2</sup>	26.8		
POS			47.2 m <sup>2</sup>			
SPOS			30.9 m <sup>2</sup>			
			78.1 m <sup>2</sup>			

- LEGENDS:**
- DRIVEWAY SURFACE
  - PERMEABLE AREA
  - PERMEABLE DRIVEWAY
  - ROOF AREA TO RAINWATER TANK
  - BUFFER STRIP
  - DRIVEWAY AREA UNTREATED
  - SELECTED RAINWATER TANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING

MAINTENANCE GUIDELINES	
RAINWATER TANKS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANK MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED.
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.

**WATER SENSITIVE URBAN DESIGN NOTES**

- ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER
- RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS + LAUNDRY IN DWELLING
- GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS.
- TANK OVERFLOW MUST BE TAKEN TO L.P.D.
- THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)
- MUST BE FULLY LINED AND HAVE OVERFLOW PLUMBED INTO THE STORMWATER SYSTEM.
- THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS' REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES

SDA NOTES: REFER TO THE BESS REPORT
- ALL DWELLINGS TO ACHIEVE NATHERS STAR RATINGS IN EXCESS OF 6 STAR AS NOMINATED IN THE REPORT
- ALL EXTERNAL LIGHTING TO BE CONTROLLED BY A MOTION DETECTOR
- INTERNAL LIGHTING IS NOT TO EXCEED A MAX. ILLUMINATION POWER DENSITY OF 4W/SQM
- DOUBLE GLAZED WINDOWS NOMINATED TO ALL LIVING AREAS AND BEDROOMS (DG DENOTES WINDOWS TO BE DOUBLE GLAZED)
- PROVIDE RETRACTABLE CLOTHES DRYING LINES / RACKS TO ALL DWELLINGS. REFERENCE TO FLOOR PLANS SHOWING CLOTHES DRYING LINES / RACKS DEVICES.
- PROVIDE 2000L RWT PER NEW DWELLING, AND ACHIEVE APPROXIMATELY 80% RELIABILITY IN STORM (REFER TO WSUD LAYOUT).
- RAINWATER TANK LOCATIONS AS SHOWN ON PLAN. CONNECT SUPPLY TO RAINWATER GUTTERS. CONNECT OUTLET TO TOILETS & LAUNDRIES
- WATER EFFICIENT LANDSCAPING TO BE INSTALLED.
- GPO (15 Amp circuits) FOR ELECTRIC VEHICLES PROPOSED TO ALL UNITS WITHIN GARAGE
- 35% OF THE SITE IS GARDEN AREA USED FOR VEGETATION AND LANDSCAPING
- ACHIEVE AT LEAST 4 STAR AVERAGE FOR SPACE COOLING EFFICIENCY.
STORMWATER DURING CONSTRUCTION
DETAILS ARE SOUGHT OF HOW EROSION AND SEDIMENT WILL BE MANAGED DURING CONSTRUCTION IS SOUGHT (SEE CLAUSE 93.18-6).
A page with reference to the guidance available from EPA/Melbourne Water is considered adequate (with a full copy of the URL.) <a href="https://www.cleanwater.vic.gov.au/user-data/resource-files/Keeping_Our_Stormwater_Clean-A_Builders_Guide[1].pdf">https://www.cleanwater.vic.gov.au/user-data/resource-files/Keeping_Our_Stormwater_Clean-A_Builders_Guide[1].pdf</a>

**Melbourne Water** STORM Rating Report

TransactionID:	0
Municipality:	MARIBYRNONG
Rainfall Station:	MARIBYRNONG
Address:	66 Darnley St
	Braybrook
	VIC
	3019
Assessor:	DAT HUYNH
Development Type:	Residential - Multiunit
Allotment Site (m2):	582.00
STORM Rating %:	105

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
D1 - ROOF - TREATED	110.00	Rainwater Tank	2,500.00	5	168.10	78.00
D1 - ROOF - UNTREATED	42.70	None	0.00	0	0.00	0.00
D1 - DRIVEWAY - UNTRE/	11.70	None	0.00	0	0.00	0.00
D2 - ROOF - TREATED	109.10	Rainwater Tank	2,500.00	5	165.50	79.00
D2 - ROOF - UNTREATED	40.20	None	0.00	0	0.00	0.00
D2 - DRIVEWAY - UNTRE/	34.80	None	0.00	0	0.00	0.00

Date Generated: 23-Mar-2025 Program Version: 1.0.0



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Notes: If the status of drawing is not signed off for construction it may be subject to change, alteration or amendment at the discretion of Better Design Architecture. It is the responsibility of the client to ensure that the drawing is not used for any construction, alteration or amendment without the written consent of Better Design Architecture. This drawing is the property of BETTER DESIGN ARCHITECTURE and must not be copied without expressed permission.

C RFI SUBMISSION  
REV DESCRIPTION

23.03.2025  
DATE

ADD : 66 DARNLEY STREET, BRAYBROOK VIC 3019  
CLIENT : CLIENT

DRW: DH

CHK: LD

REV No: C  
DATE 23.03.2025

TOWN PLANNING ISSUE

