



PROPOSED DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT ON A LOT

NO. 22 SHOWERS STREET BRAYBROOK

DRAWING LIST

- TP-00

COVER SHEET
- TP-01

NEIGHBOURHOOD AND SITE DESCRIPTION PLAN
- TP-02

DESIGN RESPONSE PLAN
- TP-03

GROUND FLOOR PLAN
- TP-04

FIRST FLOOR PLAN
- TP-05

ELEVATIONS
- TP-06

SHADOW DIAGRAMS SHEET 01
- TP-07

SHADOW DIAGRAMS SHEET 02
- TP-07.2

SHADOW DIAGRAMS SHEET 03
- TP-07.3

SHADOW DIAGRAMS SHEET 04
- TP-08

GARDEN AREA PLAN & PRIVATE OPEN SPACE PLAN
- TP-09

WSUD PLAN
- TP-10

LANDSCAPE PLAN
- TP-11

STREETSCAPE ELEVATION

B

| NO. | DESCRIPTION | DATE |
|-----|---------------------|----------|
| A | ISSUED FOR TP LODGE | 28.02.25 |
| B | RFI RESPONSE | 29.04.25 |

PROJECT.
DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK
DRAWING.
COVER SHEET

| FIRST ISSUE 28.02.25 | CAD REFERENCE |
|-------------------------|--------------------------|
| Date 29.04.25 | PROJECT NO. KDM.A.001 |
| DRAWN - | DRAWING NO. |
| Scale | TP-00 |

CITY OF MARIBYRNONG
ADVERTISED PLAN



NOTE:
PLEASE REFER TO THE SURVEY PLAN FOR
FURTHER DETAILS ON THE EXISTING
CONDITIONS, INCLUDING THE FOLLOWING:

STREET FRONTAGE FEATURES SUCH AS
POLES, STREET TREES, CROSSOVERS,
FRONT FENCES, AND ANY OTHER
INFRASTRUCTURE.
THE LOCATION OF SECLUDED PRIVATE
OPEN SPACES AND HABITABLE ROOM
WINDOWS OF NEIGHBOURING PROPERTIES
THAT HAVE AN OUTLOOK TO THE SITE
WITHIN 9 METERS.
THE SIZE, SHAPE, AND BOUNDARIES OF THE
SITE IN RELATION TO THE TITLE
DIMENSIONS (I.E., LENGTH AND WIDTH).
THE LOCATION OF EASEMENTS.
SITE LEVELS AND THE DIFFERENCE IN
LEVELS BETWEEN THE SITE AND
SURROUNDING PROPERTIES.

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PROJECT.
DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK
DRAWING.
NEIGHBOURHOOD AND SITE
DESCRIPTION PLAN

| FIRST ISSUE 28.02.25 | CAD REFERENCE |
|-------------------------|--------------------------|
| Date 29.04.25 | PROJECT NO. KDM.A.001 |
| DRAWN | DRAWING NO. |
| Scale 1 : 300 | TP-01 |

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U1 31 GARNET ST BRUNSWICK VIC 3056
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SITE INFORMATION

TOTAL SITE AREA = 569M²

TOTAL BUILT UP AREA = 268.8M²

TOTAL SITE COVERAGE = 47%

TOTAL SITE PERMEABILITY AREA = 190.0M²

TOTAL SITE PERMEABILITY = 33%

TOTAL GARDEN AREA REQUIREMENT = 170.7M²

TOTAL PROPOSED GARDEN AREA = 190.0M²

CITY OF MARIBYRNONG

ADVERTISED PLAN

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1

Design Response Plan

1 : 300



B

ELEVATION DELETED

PROJECT.

DUAL OCCUPANCY

RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK

DRAWING.

DESIGN RESPONSE PLAN

| | |
|-------------|---------------|
| FIRST ISSUE | CAD REFERENCE |
| 28.02.25 | |
| Date | PROJECT NO. |
| 29.04.25 | KDM.A.001 |
| DRAWN | DRAWING NO. |
| - | |
| Scale | TP-02 |
| 1 : 300 | |

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CITY OF MARIBYRNONG
ADVERTISED PLAN

DWELLING ANALYSIS

| | |
|--------------|----------------------|
| DWELLING 1 | |
| GROUND FLOOR | 86.9 M ² |
| FIRST FLOOR | 92.4 M ² |
| GARAGE | 41.6 M ² |
| PORCH | 3.1 M ² |
| TOTAL | 224.0 M ² |

| | |
|--------------|----------------------|
| DWELLING 2 | |
| GROUND FLOOR | 86.9 M ² |
| FIRST FLOOR | 95.5 M ² |
| GARAGE | 39.4 M ² |
| PORCH | 2.7 M ² |
| TOTAL | 224.5 M ² |

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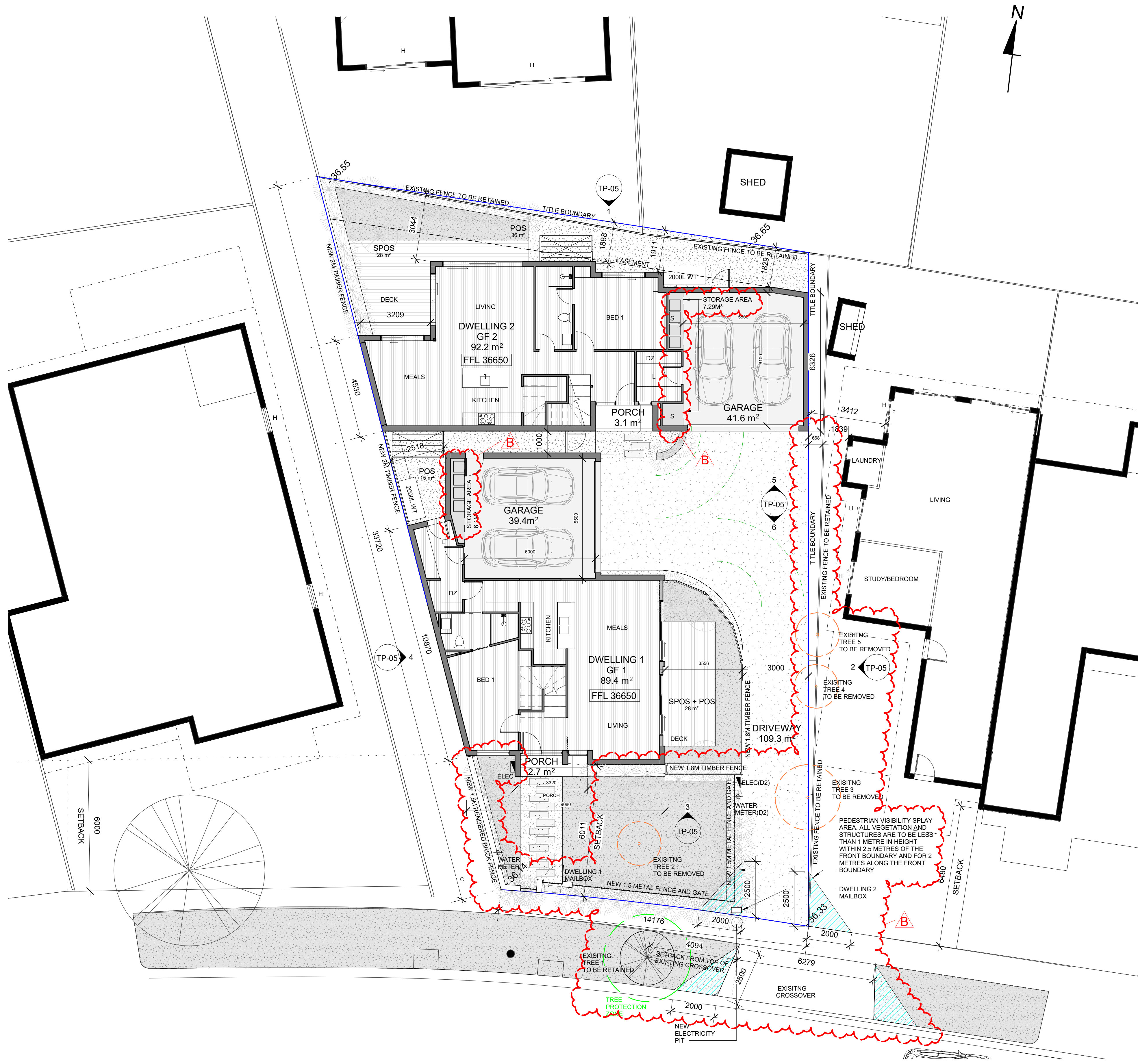
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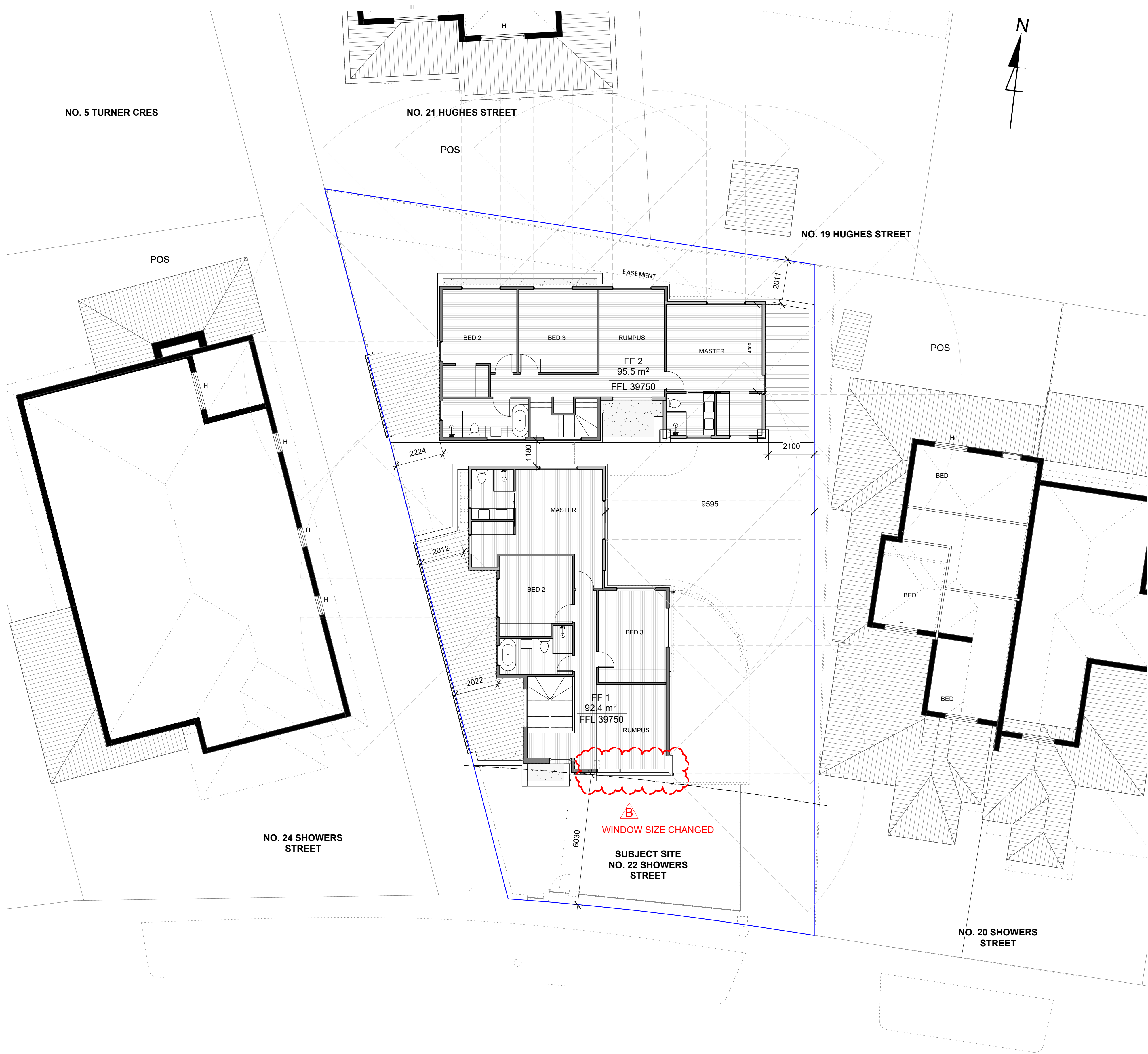
PROJECT.
DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK
DRAWING.
GROUND FLOOR PLAN

| | |
|-------------------------|--------------------------|
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| Date 29.04.25 | PROJECT NO. KDM.A.001 |
| DRAWN | DRAWING NO. TP-03 |
| Scale 1 : 100 | |

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DWELLING ANALYSIS

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DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK
DRAWING.
FIRST FLOOR PLAN

| | |
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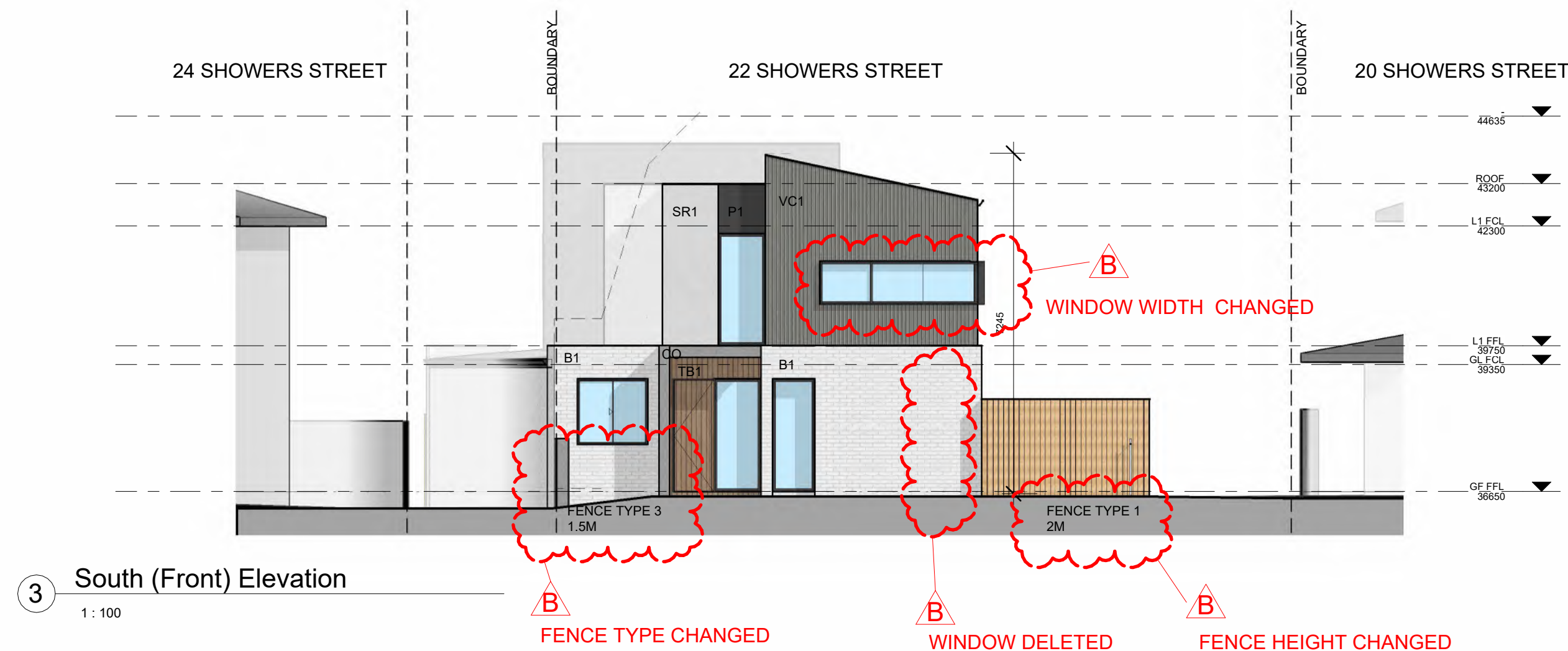
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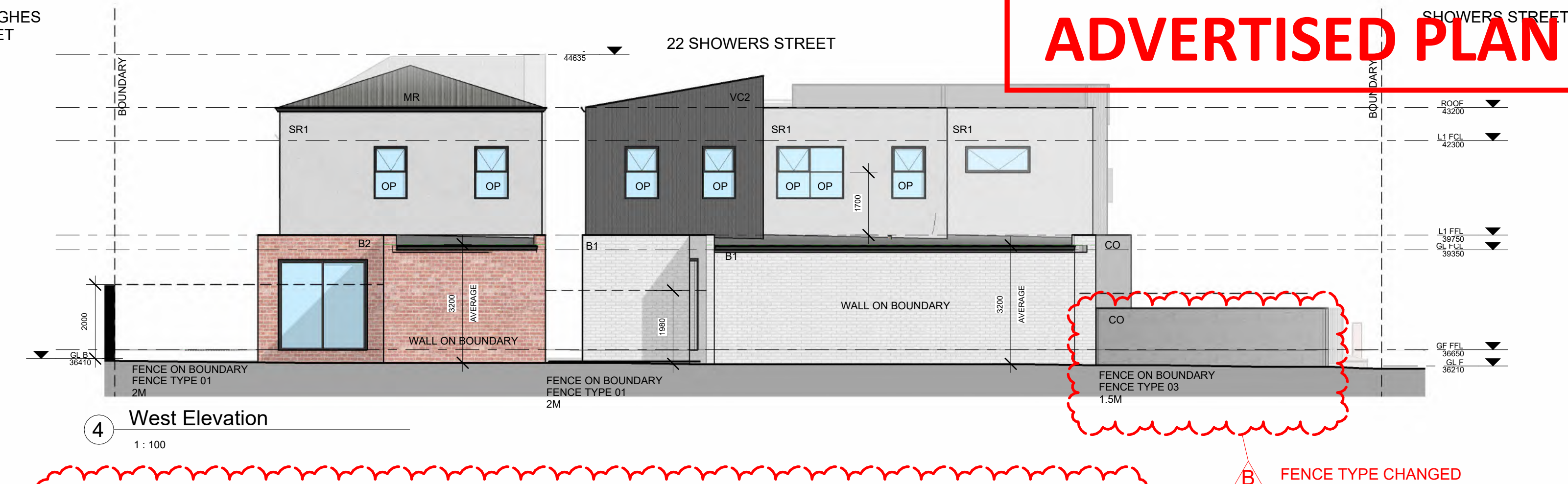
1 North (Dwelling 2 Back) Elevation
1: 100



2 East Elevation
1: 100



3 South (Front) Elevation
1: 100



4 West Elevation
1: 100



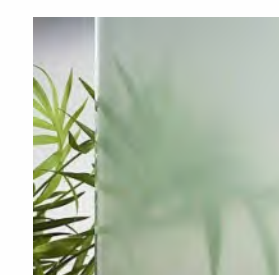
5 Dwelling 2 Front Elevation
1: 100



6 Dwelling 1 Back Elevation
1: 100

CITY OF MARIBYRNONG ADVERTISED PLAN

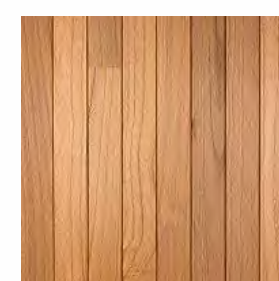
EXTERNAL FINISHES LEGEND



OP
OPAQUE GLASS
MIN 1.7M HIGH MANUFACTURED
OPAQUE GLASS WITH MAX 25%
TRANSPARENCY



CO
CONCRETE LOOKING RENDER
FINISH
COLOUR: "NATURAL CONCRETE"
(OR SIMILAR)



TB 1
VERTICAL TIMBER CLADDING



B1
BRICK VENEER TYPE 1
COLOUR: CREAM



B2
BRICK VENEER TYPE 2
COLOUR: RED



SR1
SMOOTH RENDER -
COLOUR: WHITE



VC1
VERTICAL CLADDING SHEETING
COLOUR: DARK GREY

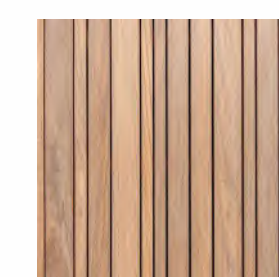


VC2
VERTICAL CLADDING
COLOUR: LIGHT GREY



P1
PAINT OR POWDERCOAT
FINISH COLOUR: DARK GREY
WINDOW AND DOOR FRAMES
/LETTERBOX NUMBERING PLATES
/FLASHING/TRIMS

FENCE LEGEND



FENCE TYPE 1
PROPOSED 1.5M, 1.8M OR 2.0M HIGH
TIMBER FENCE



FENCE TYPE 2
PROPOSED 1.5M HIGH
VERTICAL METAL BATTENS
FINISH: TO MATCH 'P1'



FENCE TYPE 3
PROPOSED 1.5M HIGH
RENDERED BRICK FENCE
FINISH: TO MATCH 'CO'

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RESIDENTIAL DEVELOPMENT

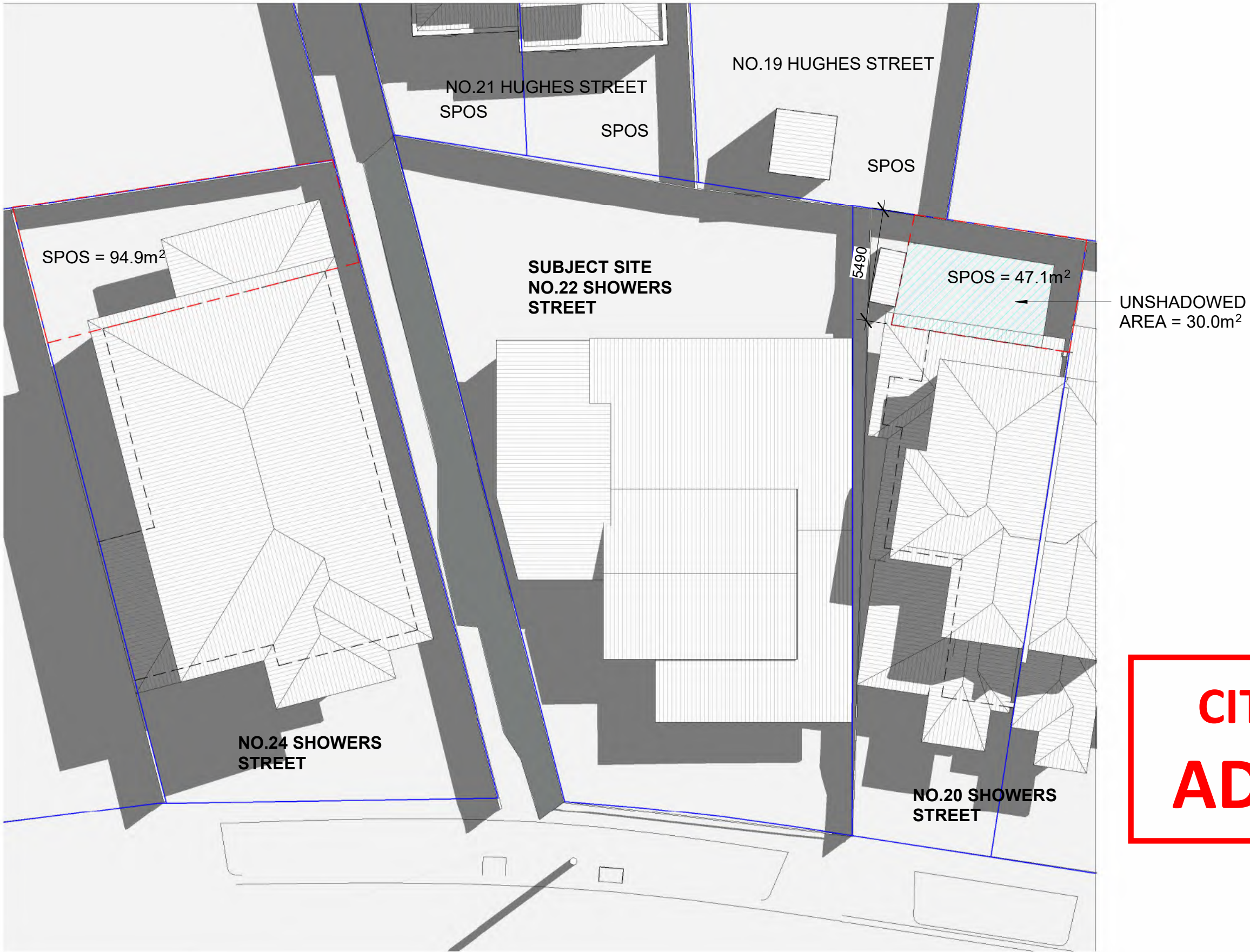
22 SHOWERS ST BRAYBROOK
DRAWING.
ELEVATIONS

| | |
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| Scale 1: 100 | |

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EXISTING - SHADOW DIAGRAM 22/09 - 09AM



EXISTING - SHADOW DIAGRAM 22/09 - 10PM

- SHADOW CAST BY THE EXISTING DWELLING AND EXISTING FENCES ON THE NEIGHBOURING PROPERTIES.
- ADDITIONAL SHADOW CAST BY THE PROPOSED DEVELOPMENT AND FENCES ON THE NEIGHBOURING PROPERTY, BEYOND THE EXISTING SHADOW.
- AREA OF SPOS ON THE NEIGHBOURING PROPERTIES
- UNSHADOWED AREA WITHIN SPOS ON THE NEIGHBOURING PROPERTIES

CITY OF MARIBYRNONG
ADVERTISED PLAN



PROPOSED - SHADOW DIAGRAM 22/09 - 09AM



PROPOSED - SHADOW DIAGRAM 22/09 - 10PM

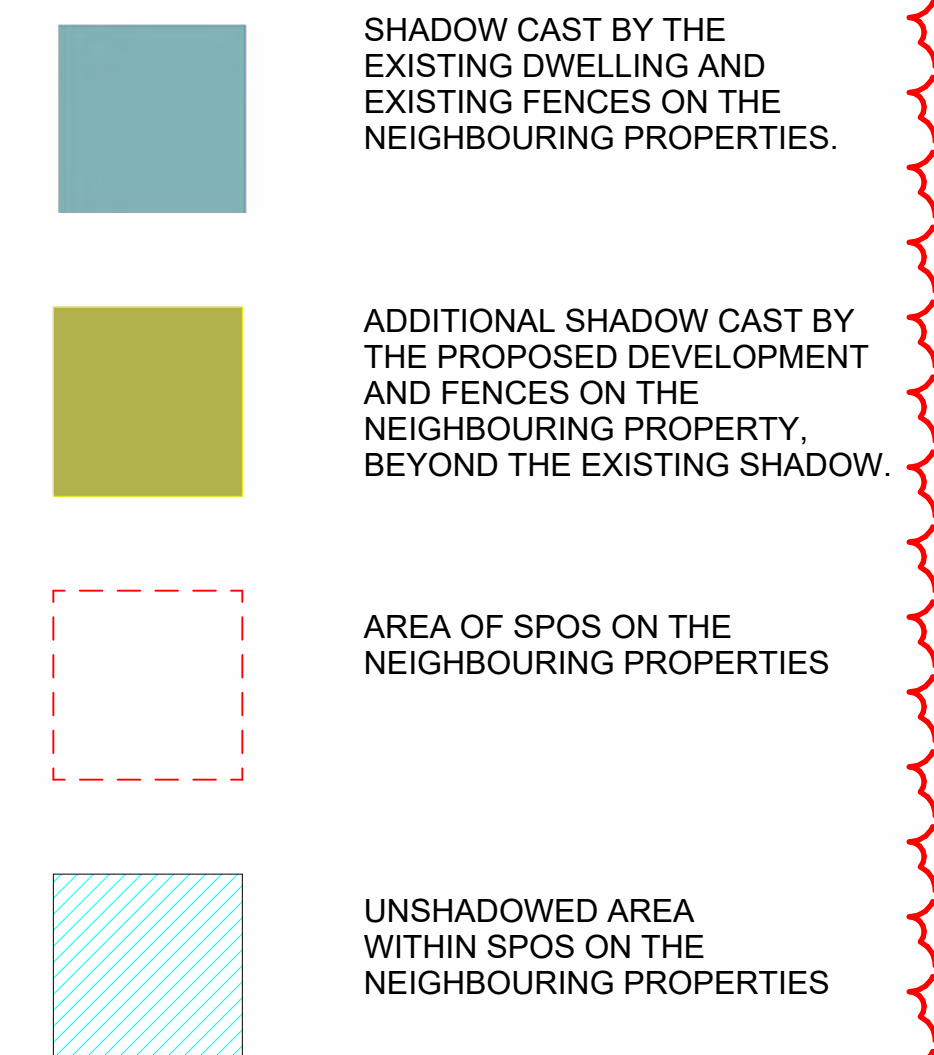
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PROJECT.
DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK
DRAWING.
SHADOW DIAGRAMS SHEET 01

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|-------------|---------------|
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| Date | PROJECT NO. |
| 29.04.25 | KDM.A.001 |
| DRAWN | DRAWING NO. |
| - | |
| Scale | TP-06 |
| 1 : 200 | |

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| DRAWN - | DRAWING NO. |
| Scale 1 : 200 | TP-07 |



EXISTING - SHADOW DIAGRAM 22/09 - 1PM



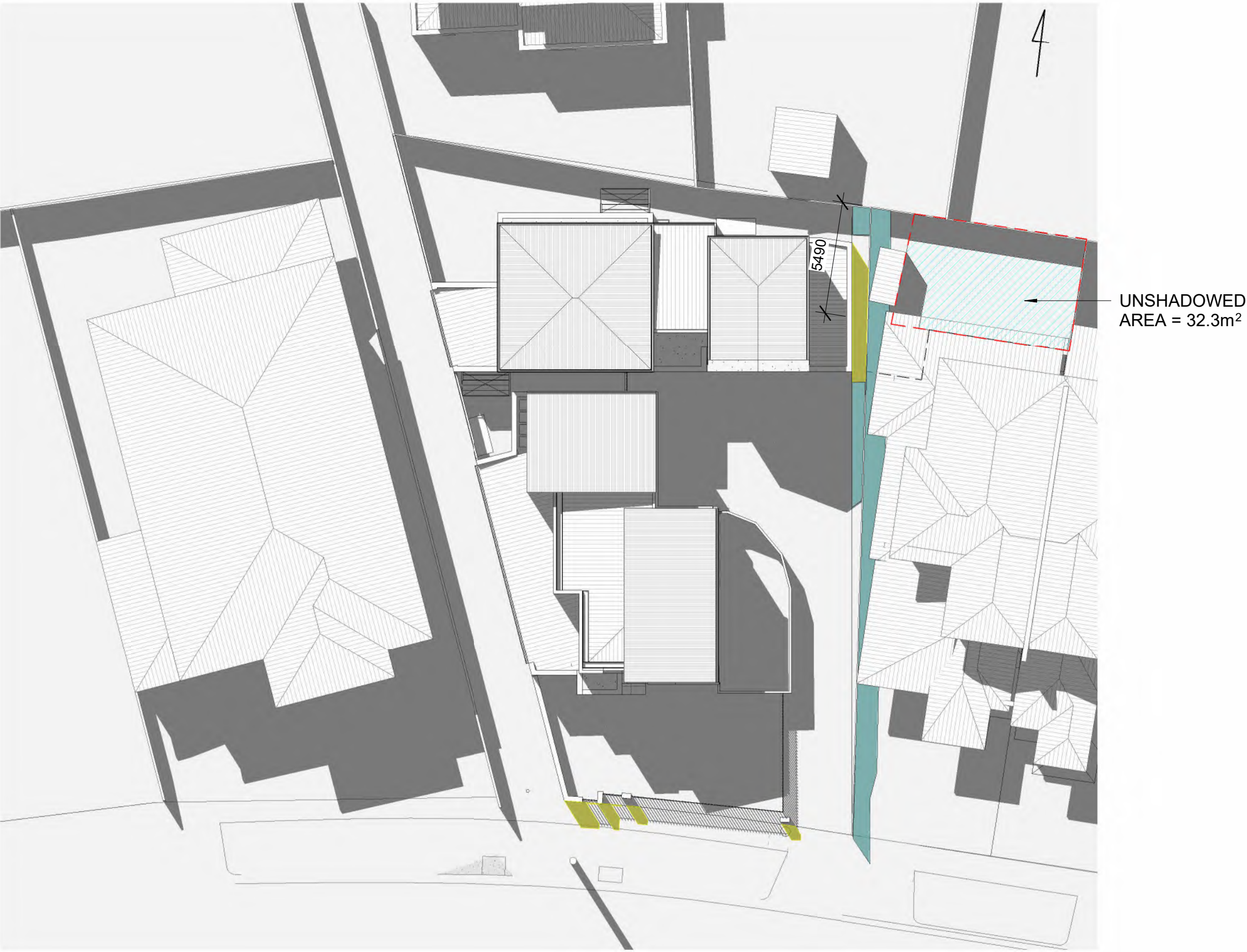
EXISTING - SHADOW DIAGRAM 22/09 - 2PM

- SHADOW CAST BY THE EXISTING DWELLING AND EXISTING FENCES ON THE NEIGHBOURING PROPERTIES.
- ADDITIONAL SHADOW CAST BY THE PROPOSED DEVELOPMENT AND FENCES ON THE NEIGHBOURING PROPERTY, BEYOND THE EXISTING SHADOW.
- AREA OF SPOS ON THE NEIGHBOURING PROPERTIES
- UNSHADOWED AREA WITHIN SPOS ON THE NEIGHBOURING PROPERTIES

CITY OF MARIBYRNONG ADVERTISED PLAN



PROPOSED - SHADOW DIAGRAM 22/09 - 1PM



PROPOSED - SHADOW DIAGRAM 22/09 - 2PM

| NO. | DESCRIPTION | DATE |
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PROJECT.
DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK
DRAWING.
SHADOW DIAGRAMS SHEET 03

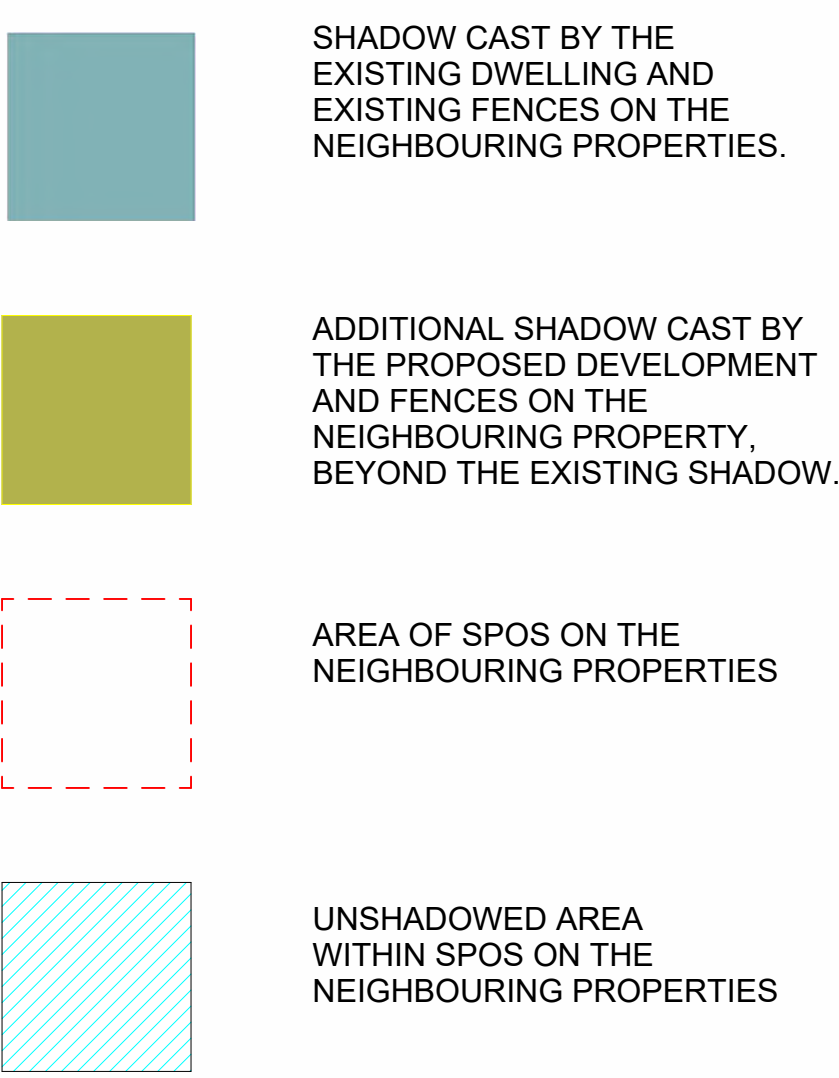
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| 28.02.25 | |
| Date | PROJECT NO. |
| 29.04.25 | KDM.A.001 |
| DRAWN | DRAWING NO. |
| - | |
| Scale | TP-07.2 |
| 1 : 200 | |

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CITY OF MARIBYRNONG
ADVERTISED PLAN



EXISTING - SHADOW DIAGRAM 22/09 - 3PM



OVERSHADOWING ANALYSIS

UNDER CLAUSE 55.04-5; TO ENSURE BUILDINGS DO NOT SIGNIFICANTLY OVERSHADOW EXISTING SECLUDED PRIVATE OPEN SPACE AND IF EXISTING SUNLIGHT TO THE SECLUDED PRIVATE OPEN SPACE OF AN EXISTING DWELLING IS LESS THAN THE REQUIREMENTS OF THIS STANDARD, THE AMOUNT OF SUNLIGHT SHOULD NOT BE FURTHER REDUCED.

THE PROPOSED DEVELOPMENT COMPLIES WITH THE STANDARD AS IT DOES NOT ADD ANY ADDITIONAL SHADOW TO THE EXISTING SECLUDED PRIVATE OPEN SPACE (SPOS) INCLUDING AT NO.20 SHOWERS STREET .



PROPOSED - SHADOW DIAGRAM 22/09 - 3PM

OVERSHADOWING TO 20 SHOWERS STREET BRAYBROOK

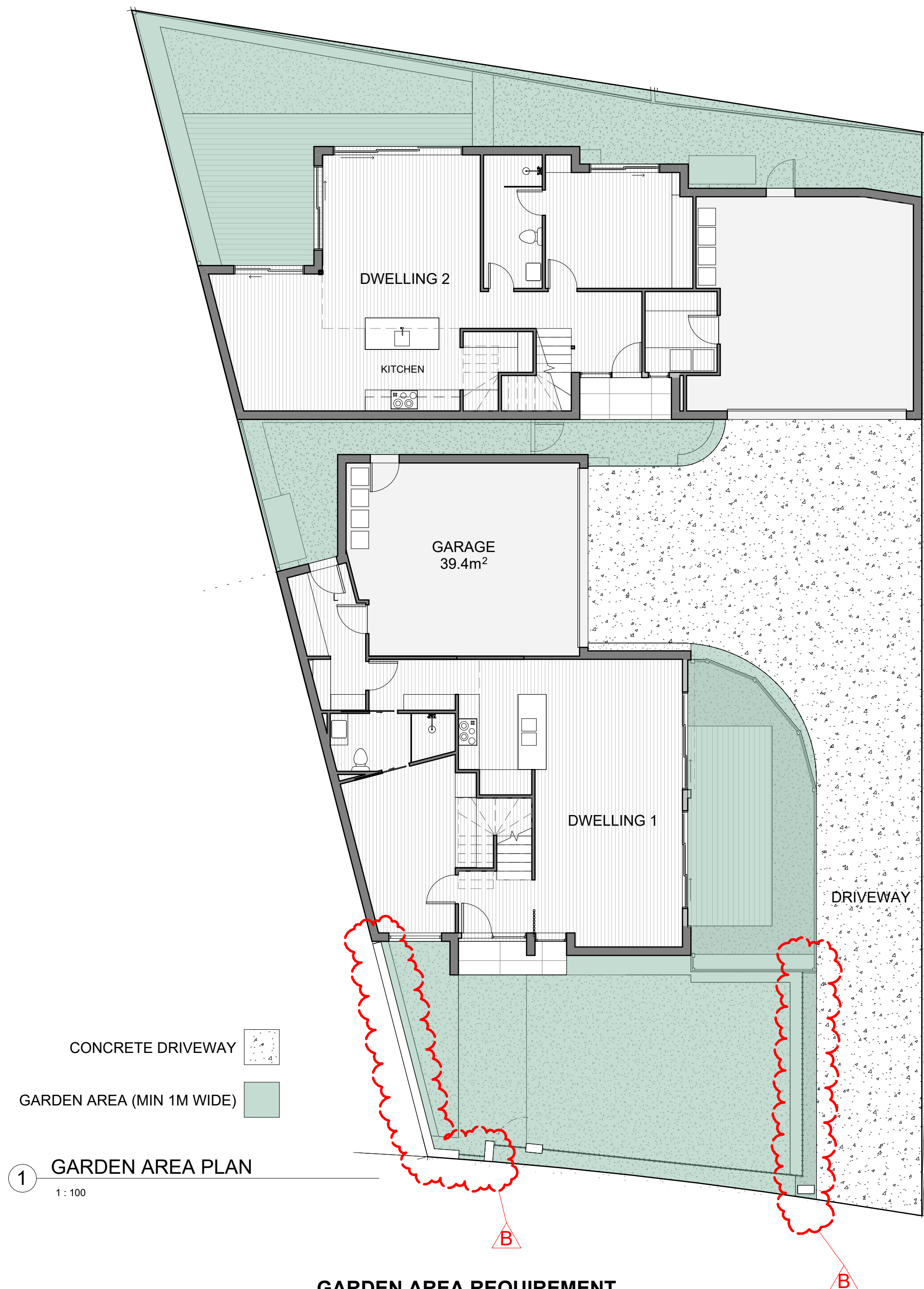
| HOURS ON 22 SEPTEMBER | EXISTING SUNLIGHT TO SPOS | PROPOSED SUNLIGHT TO SPOS | OVERALL CHANGE | CHANGE YES/NO |
|-----------------------|---------------------------|---------------------------|----------------|---------------|
| 9AM | 25.9m ² | 25.9m ² | 0% | NO |
| 10AM | 30.0m ² | 30.0m ² | 0% | NO |
| 11AM | 33.0m ² | 33.0m ² | 0% | NO |
| 12PM | 35.7m ² | 35.7m ² | 0% | NO |
| 1PM | 34.2m ² | 34.2m ² | 0% | NO |
| 2PM | 32.3m ² | 32.3m ² | 0% | NO |
| 3PM | 30.1m ² | 30.1m ² | 0% | NO |

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PROJECT.
DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK
DRAWING.
SHADOW DIAGRAMS SHEET 04

| | |
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| Scale 1 : 200 | TP-07.3 |



GARDEN AREA REQUIREMENT

| LOT SIZE | MIN REQUIREMENT | SITE AREA | GARDEN AREA REQUIREMENT | PROPOSED GARDEN AREA |
|---------------------------------------|-----------------|-------------------|-------------------------|----------------------|
| 400m ² - 500m ² | 25% | N/A | N/A | N/A |
| 501m ² - 650m ² | 30% | 569m ² | 170.7m ² | 190.0m ² |
| 650m ² & ABOVE | 35% | N/A | N/A | N/A |



PRIVATE OPEN SPACE SCHEDULE

| DWELLING | SECLUDED PRIVATE OPEN SPACE (MIN 3.0M WIDE) | PRIVATE OPEN SPACE (LESS THAN 3.0M WIDE) | BALANCE OF OPEN SPACE | TOTAL OPEN SPACES |
|----------|---|--|-----------------------|---------------------|
| 1 | 25.0m ² | 18.0m ² | 68.8m ² | 111.8m ² |
| 2 | 28.0m ² | 36.0m ² | 6.4m ² | 70.4m ² |

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RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK

DRAWING.
GARDEN AREA PLAN &
PRIVATE OPEN SPACE PLAN

| | |
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- DWELLING 1: ROOF AREA DIRECTED TO RAINWATER TANK
- DWELLING 1: ROOF AREA DIRECTED TO RAINGARDEN
- DWELLING 2: ROOF AREA DIRECTED TO RAINWATER TANK
- DWELLING 2: ROOF AREA DIRECTED TO RAINGARDEN
- RAINGARDEN
- UNTREATED ROOF AREA
- CONCRETE: UNTREATED CONCRETE
- PERMEABLE SURFACE AREA



WSUD MAINTENANCE GUIDE:

RAINWATER TANKS
IT IS RECOMMENDED THAT THE FOLLOWING COMPONENTS BE INSPECTED AT LEAST EVERY SIX MONTHS AS PER THE FOLLOWING GUIDE, AS WELL AS INSPECTIONS TO OCCUR EVERY 2-3 YEARS FOR THE PRESENCE OF ACCUMULATED SEDIMENTS

GUTTERS- THEY GENERALLY WILL NEED CLEANING AS WELL AS INSPECTION. IF INSPECTION FINDS LARGE AMOUNTS OF LEAF MATERIAL OR OTHER DEBRIS, THEN THE INSPECTION AND CLEANING FREQUENCY MAY NEED TO BE INCREASED

ROOF- CHECK FOR THE PRESENCE OF ACCUMULATED DEBRIS INCLUDING LEAF AND OTHER PLANT MATERIAL. ACCUMULATED MATERIAL SHOULD BE CLEARED. IF TREE GROWTH HAS LED TO OVERHANGING BRANCHES THESE SHOULD BE PRUNED.

TANK INLETS, INSECT-PROOFING AND LEAF FILTERS- IF NECESSARY THESE SHOULD BE CLEANED AND REPAIRED

TANK AND TANK ROOF- CHECK STRUCTURAL INTEGRITY OF THE TANK INCLUDING THE ROOF AND ACCESS COVER. ANY HOLES OR GAPS SHOULD BE REPAIRED.

INTERNAL INSPECTION- CHECK FOR EVIDENCE OF ACCESS BY ANIMALS, BIRDS OR INSECTS INCLUDING THE PRESENCE OF MOSQUITO LARVAE. IF PRESENT, IDENTIFY AND CLOSE ACCESS POINTS. IF THERE IS ANY EVIDENCE OF ALGAL GROWTH (GREEN GROWTH OR SCUM ON OR IN THE WATER), FIND AND CLOSE POINTS OF LIGHT ENTRY.

PIPEWORK - CHECK FOR STRUCTURAL INTEGRITY. SECTIONS OF PIPEWORK THAT ARE NOT SELF-DRAINING SHOULD BE DRAINED. BURIED PIPEWORK, SUCH AS WITH 'WETL SYSTEMS', CAN BE DIFFICULT TO DRAIN OR FLUSH. WHERE POSSIBLE DRAINAGE POINTS SHOULD BE FITTED.

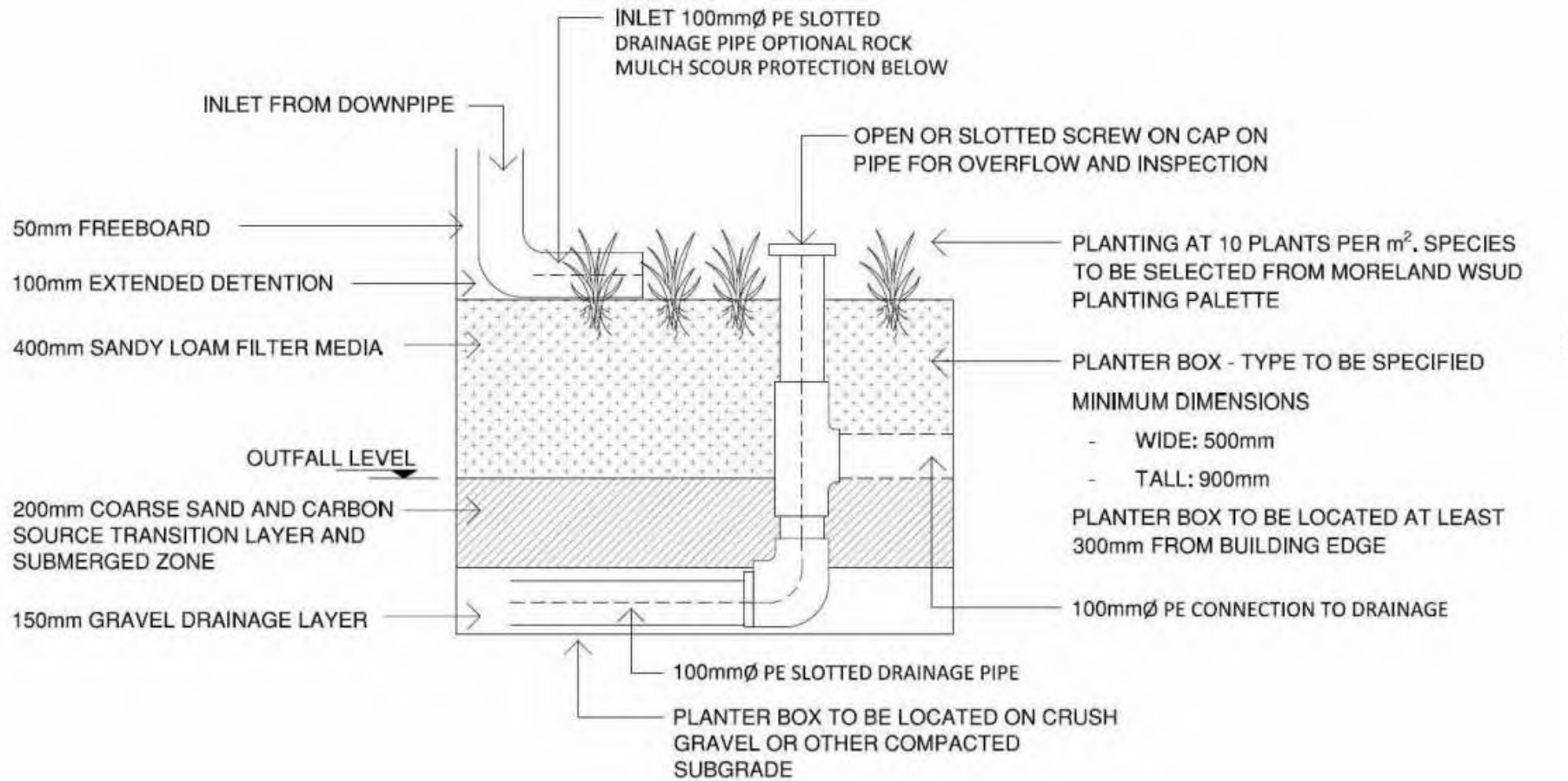
Melbourne Water STORM Rating Report

TransactionID: 0
Municipality: BOROONDARA
Rainfall Station: BOROONDARA
Address: 22 SHOWERS STREET

Assessor: Kiki Bamba
Development Type: Residential - Multiunit
Allotment Site (m2): 569.00
STORM Rating %: 102

| Description | Impervious Area (m2) | Treatment Type | Treatment Area/Volume (m2 or L) | Occupants / Number Of Bedrooms | Treatment % | Tank Water Supply Reliability (%) |
|-----------------|----------------------|------------------|---------------------------------|--------------------------------|-------------|-----------------------------------|
| D1 ROOF TO RWT | 86.00 | Rainwater Tank | 2,000.00 | 4 | 157.10 | 80.00 |
| D1 ROOF TO RG | 40.70 | Raingarden 100mm | 1.00 | 0 | 130.15 | 0.00 |
| D1 ROOF TO LPOD | 4.90 | None | 0.00 | 0 | 0.00 | 0.00 |
| D2 ROOF TO RWT | 88.80 | Rainwater Tank | 2,000.00 | 4 | 162.50 | 80.00 |
| D2 ROOF TO RG | 39.80 | Raingarden 100mm | 1.00 | 0 | 130.40 | 0.00 |
| D2 ROOF TO LPOD | 8.80 | None | 0.00 | 0 | 0.00 | 0.00 |
| HARD PAVING | 109.50 | None | 0.00 | 0 | 0.00 | 0.00 |

RAINGARDEN DETAIL



WSUD NOTES:

RAINWATER TANK AND RAINGARDEN LOCATIONS TO BE CONFIRMED ON SITE BY BUILDER/PLUMBER

STORMWATER SYSTEM TO BE COMPLETED BY LICENSED ENGINEER

THE ABOVE WSUD PLAN IS INDICATIVE ONLY AND PREPARED AS A MEANS OF DEMONSTRATING THE TREATMENT OF STORMWATER ON SITE FOR COUNCIL APPROVAL

THE RAINWATER COLLECTED FROM THE ROOF WILL SERVICE ALL TOILETS AND CONNECTED TO THE WASHING MACHINES.

ENSURE GUTTER GUARDS, FIRST FLUSH DIVERTERS AND FILTERS TO THE WATER TANKS ARE INSTALLED

CITY OF MARIBYRNONG
ADVERTISED PLAN

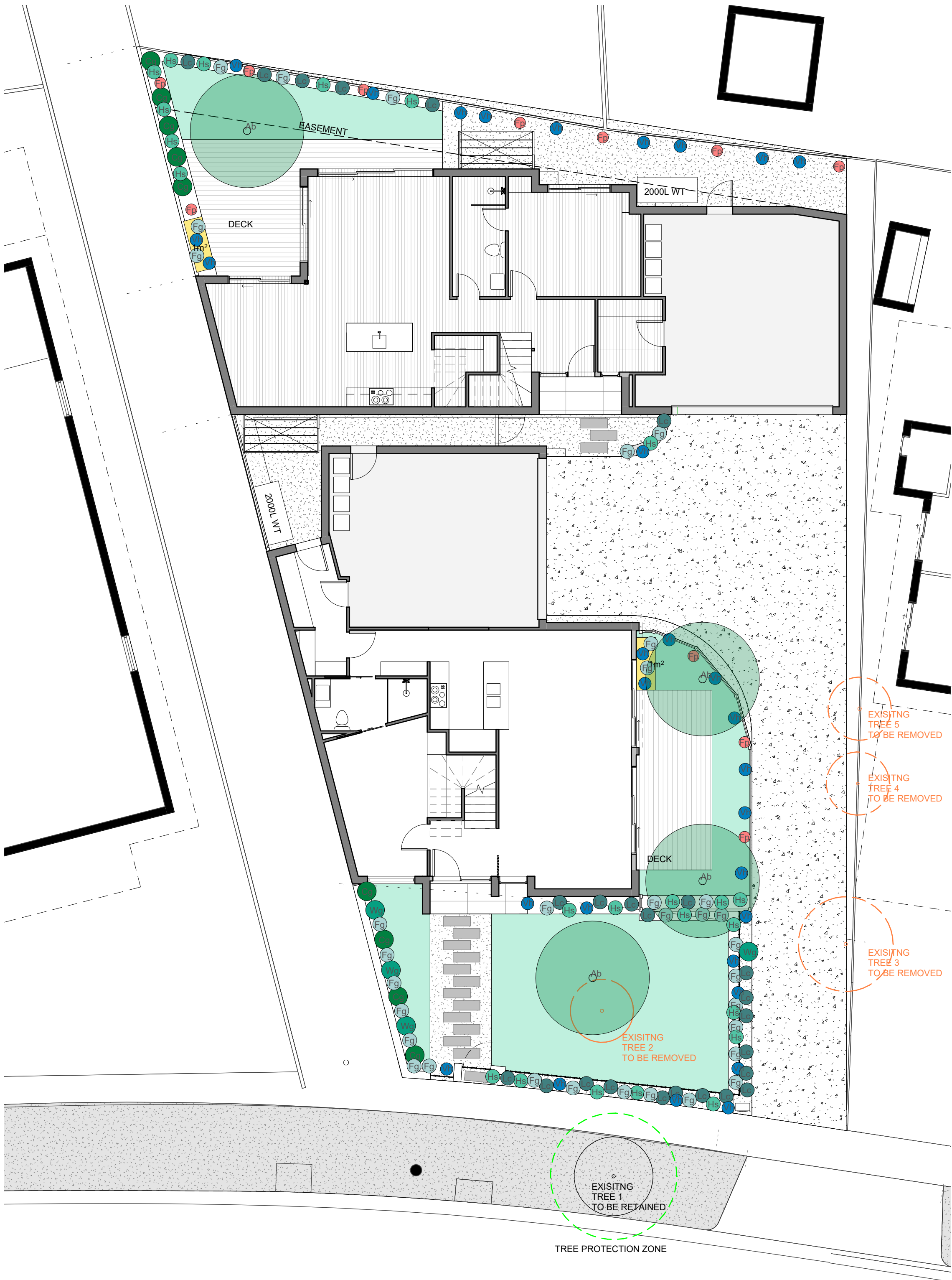
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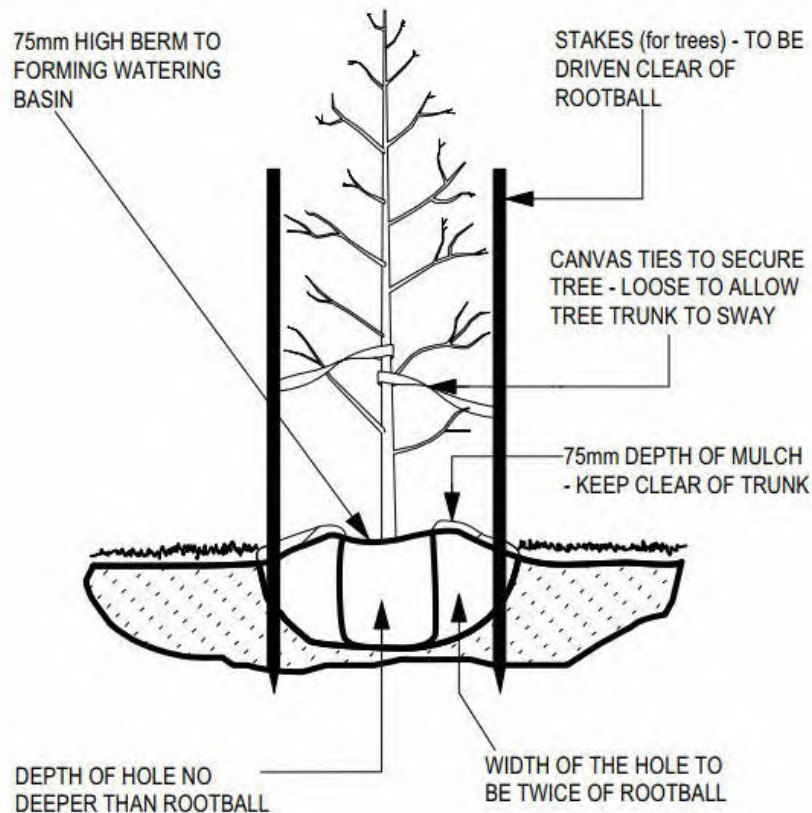
22 SHOWERS ST BRAYBROOK
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WSUD PLAN

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- CONCRETE DRIVEWAY
- SELECTED PAVERS (LAID ON COMPACTED CRUSHED ROCK + SAND BASE)
- TIMBER DECKING
- GRAVEL
- DROUGHT TOLERANT TURF (BUFFALO OR SIMILAR)
- RAINGARDEN

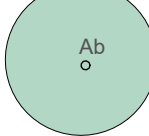









TREE & SHRUB PLANTING DETAIL
(not to scale)

Existing tree schedule

| No. | Genus & Species | Common Name | Height (m) | Status |
|-----|---|-------------|------------|--------|
| 1 | Melia azedarach | White Cedar | 3.2 | Retain |
| 2 | Citrus x limon | Lemon | 3.2 | Remove |
| 3 | Fraxinus angustifolia subsp. angustifolia | Desert Ash | 5.0 | Remove |
| 4 | Fraxinus angustifolia subsp. angustifolia | Desert Ash | 4.0 | Remove |
| 5 | Fraxinus angustifolia subsp. angustifolia | Desert Ash | 4.0 | Remove |

Proposed planting schedule

| Botanical Name | Common Name | Maturity H x W (m) | Pot size |
|---|-------------------|---------------------|-----------|
| Tree | | | |
|  Acer buergerianum | Trident Maple | 8 x 5m | 40cm min |
| Shurb & Grasses | | | |
|  Lomandra confertifolia | Lomandra Seascape | 0.6 x 0.6m | 14cm |
|  Helictotrichon sempervirens | Blue Oat Grass | 0.7 x 0.6m | 14cm |
|  Festuca glauca | Blue fescue grass | 0.3 x 0.3m | Tubestock |
|  Correa glabra | Rock Correa | 1.5 x 1.5m | 14cm |
|  Westringia | Wynabbie gem | 1.5 x 1.2m (heaged) | 20cm |
| Groundcovers & Climbers | | | |
|  Ficus pumila | Creeping Fig | Climber | 14cm |
|  Viola hederacea | Native Violet | 0.2 x 0.6m | Tubestock |

LANDSCAPE CONSTRUCTION SPECIFICATIONS

SUBGRADE PREPARATION:
SITE PREPARATION TO BE CARRIED OUT UNDER SUITABLE CONDITIONS AND IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE. THE USE OF MACHINERY AND TOOLS THAT MAY DAMAGE SOIL STRUCTURE IS NOT ACCEPTABLE.
GARDEN BED AND LAWN SUB-GRADE IS TO BE CULTIVATED TO A DEPTH OF 150MM AND SHAPED TO ACHIEVE DRAINAGE FALLS PRIOR TO ADDING TOPSOIL. IF GYPSUM IS REQUIRED, THIS IS TO BE DISTRIBUTED AND CULTIVATED INTO THE SUB-GRADE AS PER THE MANUFACTURER'S INSTRUCTIONS.
WEEDS ARE TO BE REMOVED PRIOR TO SUB-GRADE PREPARATION, TOP-SOILING AND PLANTING

SOIL PREPARATION:
IMPORTED TOPSOIL IS TO BE SUPPLIED BY AN APPROVED SUPPLIER TO A DEPTH OF APPROXIMATELY 150-300MM (AS REQUIRED) FOR GARDEN BEDS. DO NOT SPREAD IN MUDDY CONDITIONS. THE TOPSOIL IS TO A LIGHT TO MEDIUM FRIABLE LOAM (CAPABLE OF BEING COMPRESSED INTO A BALL BY HAND WHEN MOIST YET CAN BE BROKEN APART IMMEDIATELY AFTER). ITS PH WILL BE 6.0 - 7.0 AND FREE FROM PERENNIAL WEEDS AND BUILDING RUBBLE. THE FINISHED TOP LEVEL AFTER SETTLEMENT SHOULD BE 75MM BELOW THE EDGING LEVEL TO ALLOW FOR MULCH. IMPORTED TOPSOIL FOR LAWN AREAS TO BE SUPPLIED TO A DEPTH OF APPROXIMATELY 100MM (OR AS REQUIRED).

TIMBER EDGING:
TIMBER EDGING IS TO BE INSTALLED TO SEPARATE ALL LAWN, PLANTING AREAS AND LILYDALE TOPPING / PEBBLE AREAS. THE TREATED PINE TIMBER (OR SIMILAR) IS TO BE 75MM X 25MM IN SIZE, SECURED WITH 300MM LONG STAKES AT 1000MM SPACINGS.

PLANTS AND PLANTING:
TREES AND PLANTS SUPPLIED ARE TO BE HEALTHY AND FREE FROM INSECTS, DISEASES AND WEEDS. THE POT SIZES INDICATED IN THE PLANT SCHEDULE ARE THE MINIMUM SIZE TO BE SUPPLIED AND INSTALLED
WHEN EACH PLANTING AREA IS PREPARED, IF SOIL IS DRY, FILL WITH WATER AND ALLOW TO DRAIN AWAY COMPLETELY.
PLANT ROOTS ARE TO BE TEASED OUTWARDS IF ROOTS ARE MATTED IN POT. PLACE PLANT IN CENTRE OF HOLE AND ENSURE THAT THE TOP OF THE ROOTBALL IS FLUSH WITH THE SURROUNDING SOIL SURFACE AND THE TRUNK IS VERTICAL.
SOIL IS TO BE BACKFILLED FIRMLY INTO THE HOLE AND THOROUGHLY WATERED IN.
TREES ARE TO BE STAKED WITH TWO HARDWOOD STAKES DRIVEN FIRMLY INTO THE GROUND BUT NOT THROUGH THE ROOTBALL. TREES ARE TO BE SECURED TO THE STAKES WITH STRONG BUT FLEXIBLE TREE TIES THAT ARE TIGHT ENOUGH TO SUPPORT THE TREES IN WINDY CONDITIONS BUT LOOSE ENOUGH TO STIMULATE GOOD TREE GROWTH AND DEVELOPMENT. THE TREE TIES MUST NOT INJURE TREE BARK OR RESTRICT TREE GROWTH FOR AT LEAST THE FIRST THREE YEARS OF TREE GROWTH.
A SLOW RELEASE FERTILISER (E.G. OSMOCOTE OR SIMILAR) IS TO BE APPLIED TO ALL GARDEN BEDS AS SPECIFIED BY THE MANUFACTURER AND BE KEPT AWAY FROM THE PLANT TRUNKS AND THEN WATERED IMMEDIATELY.
A LAYER OF AGED ORGANIC MULCH TO A MINIMUM DEPTH OF 75MM IS TO BE APPLIED TO ALL PLANTING AREAS AFTER PLANTING IS COMPLETED

CITY OF MARIBYRNONG
ADVERTISED PLAN

| NO. | DESCRIPTION | DATE |
|-----|--------------|----------|
| A | RFI RESPONSE | 29.04.25 |

PROJECT.
DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK
DRAWING.
LANDSCAPE PLAN

| | |
|-------------------------|--------------------------|
| FIRST ISSUE 28.02.25 | CAD REFERENCE |
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| Scale 1 : 100 | TP-10 |

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CITY OF MARIBYRNONG
ADVERTISED PLAN



1 Streetscape Elevation
1 : 50

EXTERNAL FINISHES LEGEND



OP
OPAQUE GLASS
MIN 1.7M HIGH MANUFACTURED
OPAQUE GLASS WITH MAX 25%
TRANSPARENCY



CO
CONCRETE LOOKING RENDER
FINISH
COLOUR: "NATURAL CONCRETE"
(OR SIMILAR)



TB 1
VERTICAL TIMBER CLADDING



B1
BRICK VENEER TYPE 1
COLOUR: CREAM



B2
BRICK VENNER TYPE 2
COLOUR: RED



SR1
SMOOTH RENDER -
COLOUR: WHITE



VC1
VERTICAL CLADDING SHEETING
COLOUR: DARK GREY



MR
METAL ROOF SHEETING
COLOUR: DARK GREY



P1
PAINT OR POWDERCOAT
FINISH COLOUR: DARK GREY
WINDOW AND DOOR FRAMES
/LETTERBOX NUMBERING PLATES
/FLASHING/TRIMS



FENCE LEGEND
FENCE TYPE 1
PROPOSED 1.5M, 1.8M OR 2.0M HIGH
TIMBER FENCE



FENCE TYPE 2
PROPOSED 1.5M HIGH
VERTICAL METAL BATTENS
FINISH: TO MATCH 'P1'



FENCE TYPE 3
PROPOSED 1.5M HIGH
RENDERED BRICK FENCE
FINISH: TO MATCH 'CO'

| NO. | DESCRIPTION | DATE |
|-----|--------------|----------|
| A | RFI RESPONSE | 29.04.25 |

PROJECT.
DUAL OCCUPANCY
RESIDENTIAL DEVELOPMENT

22 SHOWERS ST BRAYBROOK
DRAWING.
STREETSCAPE ELEVATION

| | |
|-------------------------|--------------------------|
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