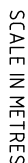


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3. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALING AND LARGE DIMENSIONS SHALL TAKE PREFERENCE OVER SMALLER ONES.



drawing type:

**PROPOSED RESIDENCE
22 MARCUS AVENUE
WEST FOOTSCRAY 3012**

EX



date: **FEBRUARY 2023**

S.M.

sheet no.:
TP01



DRAFTING

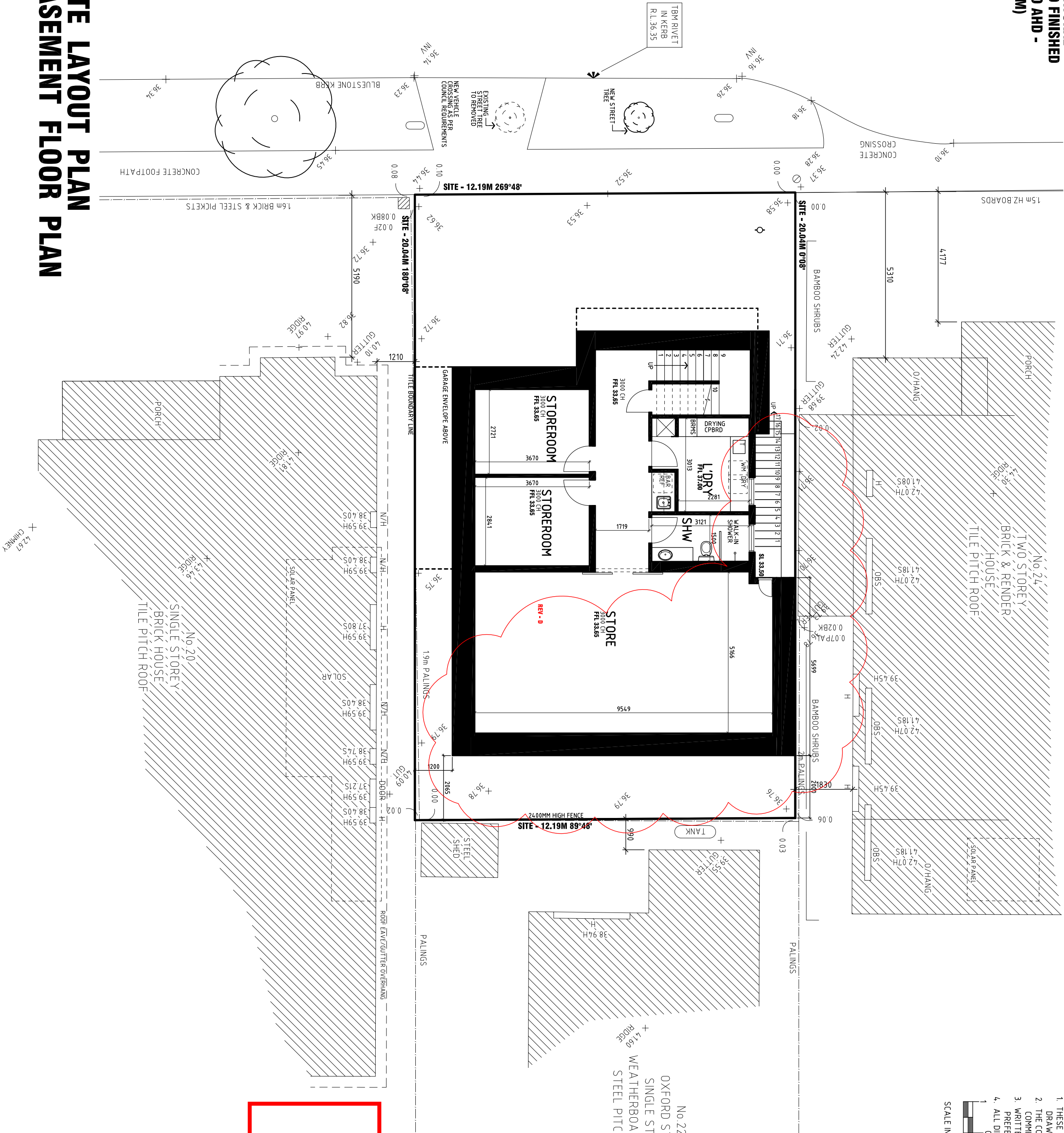
registered building practitioners or
building designers & drafts persons

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CITY OF MARIBYRNONG
ADVERTISED PLAN

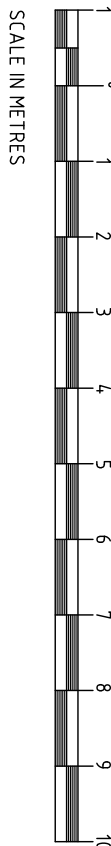
NOTE - ALL SITE LEVELS, NATURAL
GROUND LEVELS (NGL), AND FINISHED
FLOOR LEVELS (FFL) ARE TO AHD -
(AUSTRALIAN HEIGHT DATUM)

MARCUS AVENUE



GENERAL NOTES

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CITY OF MARIBYRNONG
ADVERTISED PLAN

PROPOSED SITE LAYOUT PLAN
PROPOSED BASEMENT FLOOR PLAN

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AND DIMENSIONS ON SITE BEFORE COMMENCING ANY

drawing type:	
rev.	date description
A	05.07.2023 PLANNING PERMIT APPLICATION SUBMISSION
B	05.07.2023 PLANNING PERMIT - SECONDARY ISSUE
C	01.02.2023 PLANNING PERMIT - SECONDARY CONSIST APPLICATION ISSUE
D	05.06.2023 PLANNING PERMIT - SECTION 12 AMENDMENT AT PLAN 10118 SITE

Project: **PROPOSED RESIDENCE**
22 MARCUS AVENUE
WEST FOOTSCRAY 3012

Job no.: **21072**

Scale: **1:100 @ A2**

Date: **FEBRUARY 2023**

Drawn: **S.M.**

Checked: **S.M.**

Sheet no.: **TP02**

new dimension
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NOTE - ALL SITE LEVELS, NATURAL GROUND LEVELS (NGL), AND FINISHED FLOOR LEVELS (FFL) ARE TO AHD - (AUSTRALIAN HEIGHT DATUM)

NOTE - BEFORE THE DEVELOPMENT STARTS A FEE MUST BE PAID TO THE RESPONSIBLE AUTHORITY FOR THE REMOVAL OF THE EXISTING STREET TREES. ALL REMOVED TREES MUST BE REPLACED AT THE SAME UNDER TAKEN BY THE RESPONSIBLE AUTHORITY

NOTE - THE SITE MUST BE DRAINED TO THE RESPONSIBLE AUTHORITY. THE RESPONSIBLE AUTHORITY SHALL BE ADVISED OF ANY ADVERSE IMPACT TO THE PUBLIC, ANY ADJOINING SITE OR COUNCIL ASSET. STORMWATER FROM ALL PAVED AREA HAS TO BE DRAINED TO THE RESPONSIBLE AUTHORITY. THE RESPONSIBLE AUTHORITY SHALL BE ADVISED OF ANY ADVERSE IMPACT TO THE ADJOINING PROPERTIES.

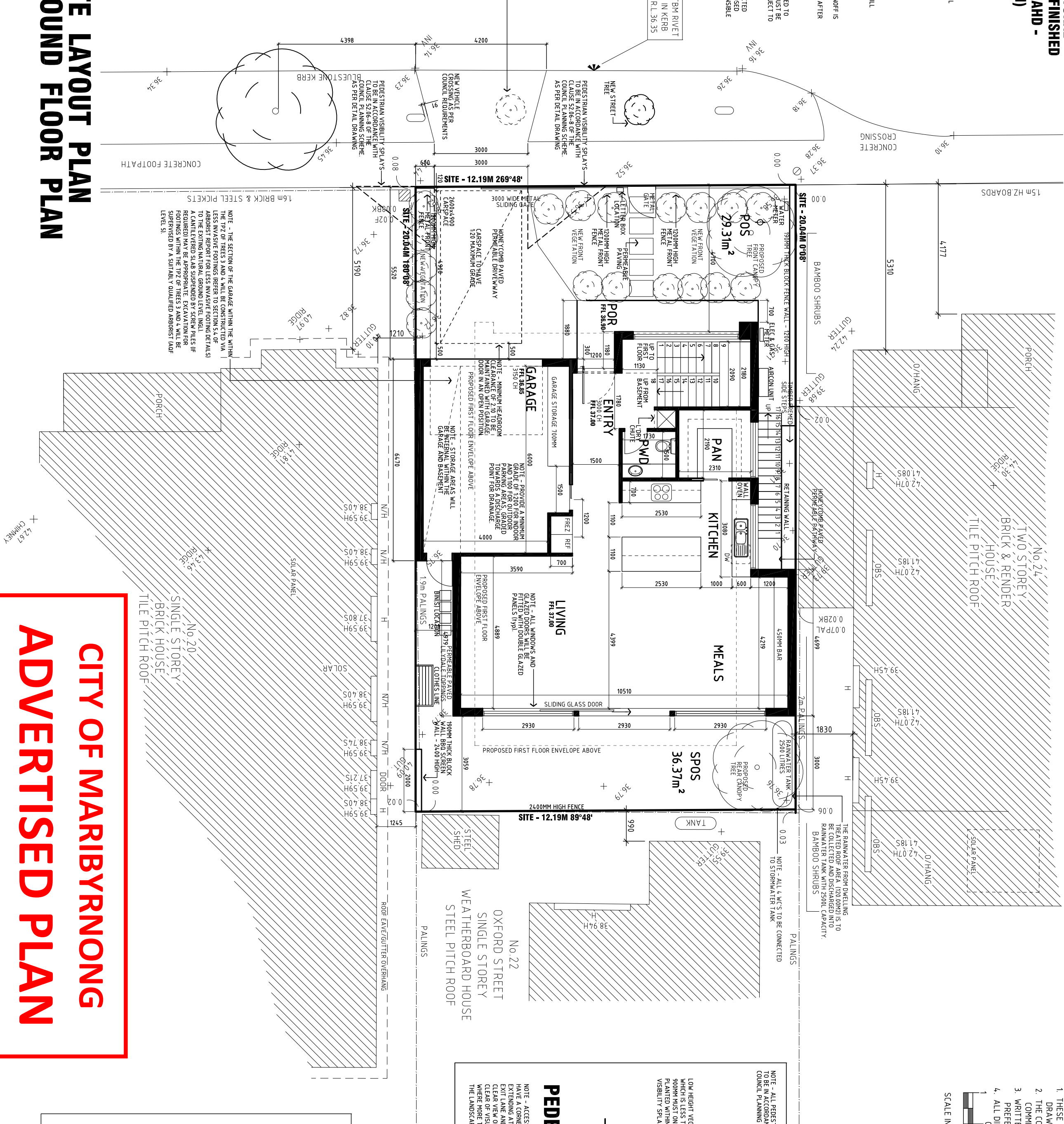
NOTE - NO POLLUTED AND/OR SEDIMENT LOBBY RUNOFF IS TO BE DISCHARGED DIRECTLY OR INDIRECTLY INTO COUNCIL'S DRAINS OR WATERCOURSES DURING AND AFTER DEVELOPMENT.

NOTE - ANY POLES, SERVICE DITS OR OTHER STRUCTURES/FEATURES ON THE FOOTPATH REQUIRED TO BE RELOCATED TO FACILITATE THE DEVELOPMENT MUST BE DONE SO AT THE COST OF THE APPLICANT AND SUBJECT TO THE RELEVANT AUTHORITY'S CONSENT.

NOTE - VEHICULAR CROSSINGS MUST BE CONSTRUCTED AND/OR MODIFIED TO THE ROAD TO SUIT THE PROPOSED DRIVEWAYS) TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

MARCUS AVENUE

PROPOSED SITE LAYOUT PLAN PROPOSED GROUND FLOOR PLAN



- ### GENERAL NOTES
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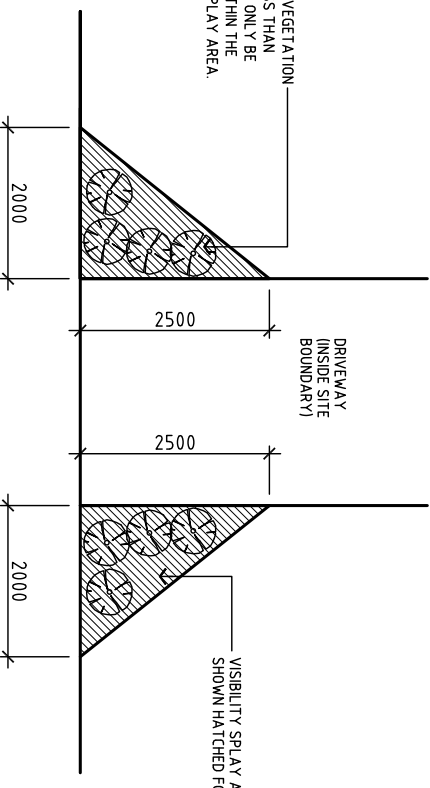
SCALE IN METRES



PEDESTRIAN VISIBILITY SPLAYS DETAIL

SCALE 1:100

NOTE - ACCESSWAYS MUST HAVE A CORNER SPILLAY OR AREA AT LEAST 50 PER CENT OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 200 METRES ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIST LANE AND 250 METRES ALONG THE EXIST LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR OF VISUAL OBSTRUCTIONS WALKING UNDER AN ADJACENT ENTRY OR EXIST LANE WHERE MORE THAN ONE LANE IS PROVIDED OR ADJACENT LANDSCAPED AREAS PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 1000MM IN HEIGHT.



NOTE - ALL PEDESTRIAN VISIBILITY SPLAYS ARE TO BE IN ACCORDANCE WITH CLAUSE 52.04-5 OF THE COUNCIL PLANNING SCHEME.

AREA ANALYSIS

PROPOSED GROUND FLOOR	99.09m ²	10.67sqgs
PROPOSED FIRST FLOOR	113.14m ²	12.18sqgs
PROPOSED BASEMENT	136.57m ²	14.70sqgs
PROPOSED GARAGE	30.25m ²	3.26sqgs
PROPOSED PORCH	7.04m ²	0.76sqgs
TOTAL	386.09m ²	4.155sqgs
POS (FRONT & REAR YARD)	65.77m ²	
SPOS (REAR YARD)	36.37m ²	
O/ALL SITE AREA	244.00m ²	
SITE COVERAGE	14.183m ² (58.12%)	
SITE PERMEABLE AREA	102.67m ² (42.08%)	

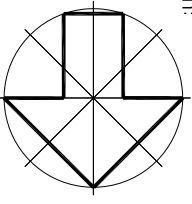
CITY OF MARIBYRNONG ADVERTISED PLAN

Project:

**PROPOSED RESIDENCE
22 MARCUS AVENUE
WEST FOOTSCRAY 3012**

Title:
PROPOSED SITE/GROUND FLOOR PLAN

North:



Job no.:
21072

Scale :
1:100 @ A2

Date:
FEBRUARY 2023

Drawn:
S.M.

Checked:
S.M.

Sheet no.:
TP03

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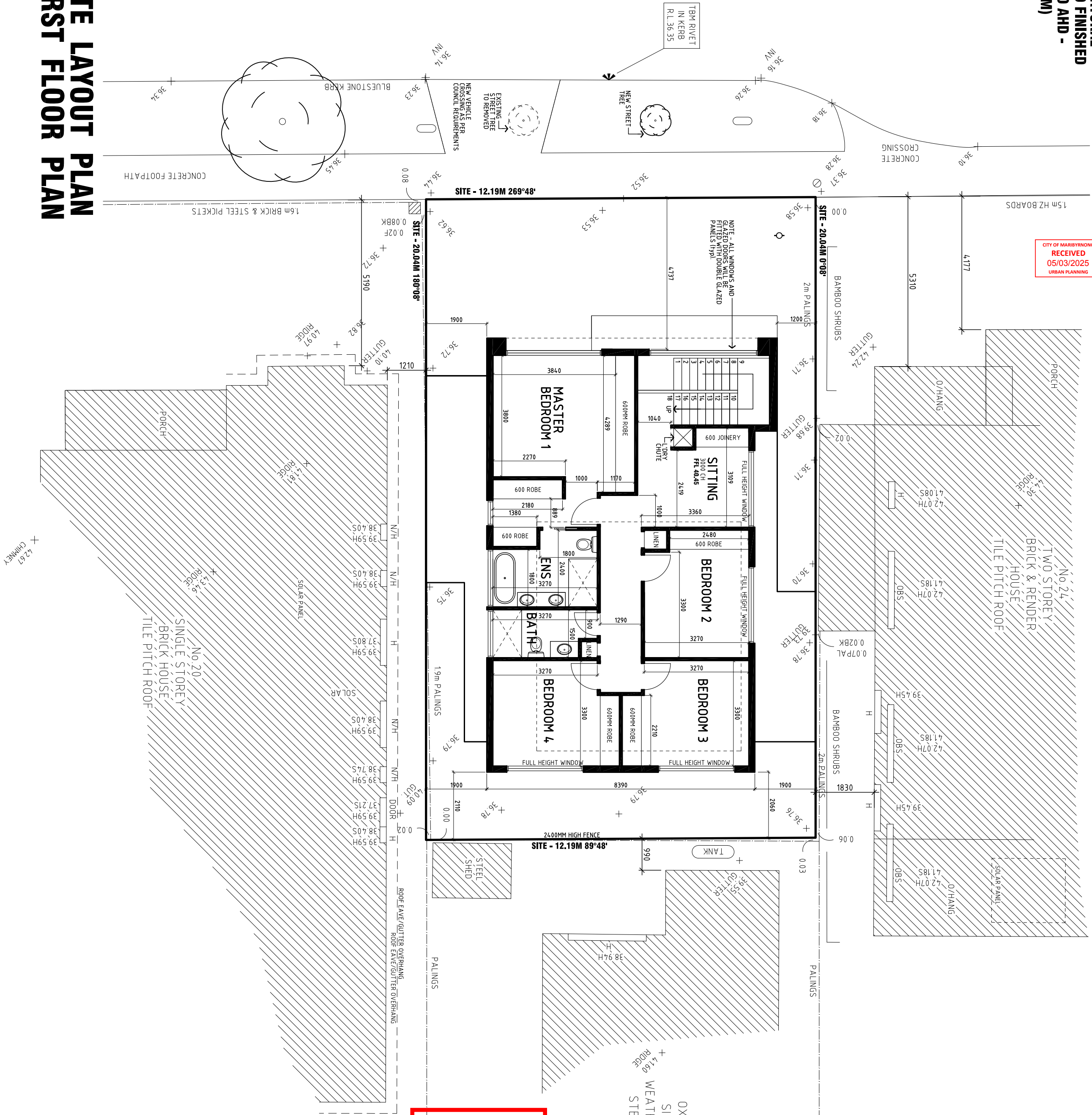
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NOTE - ALL SITE LEVELS, NATURAL
GROUND LEVELS (NGL), AND FINISHED
FLOOR LEVELS (FFL) ARE TO AHD -
(AUSTRALIAN HEIGHT DATUM)

CITY OF MARIBYRNONG
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- SCALE IN METRES
- 1 0 1 2 3 4 5 6 7 8 9 10

CITY OF MARIBYRNONG
ADVERTISED PLAN

PROPOSED SITE LAYOUT PLAN PROPOSED FIRST FLOOR PLAN

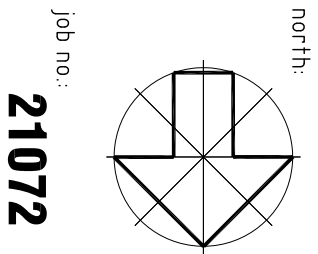
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drawing type: **PLANNING**

rev.	date	description
A	07/02/2023	PLANNING PERMIT APPLICATION SUBMISSION
B	05/07/2023	PLANNING PERMIT - SUBMISSION ISSUE
C	01/02/2023	PLANNING PERMIT - SECONDARY CONSIST APPLICATION ISSUE
D	05/03/2025	PLANNING PERMIT - SECTION 72 AMENDMENT AT PLANNING BOARD

project: **PROPOSED RESIDENCE
22 MARCUS AVENUE
WEST FOOTSCRAY 3012**

title: **PROPOSED SITE/FIRST FLOOR PLAN**



scale: **1:100 @ A2**

date: **FEBRUARY 2023**

drawn: **S.M.**

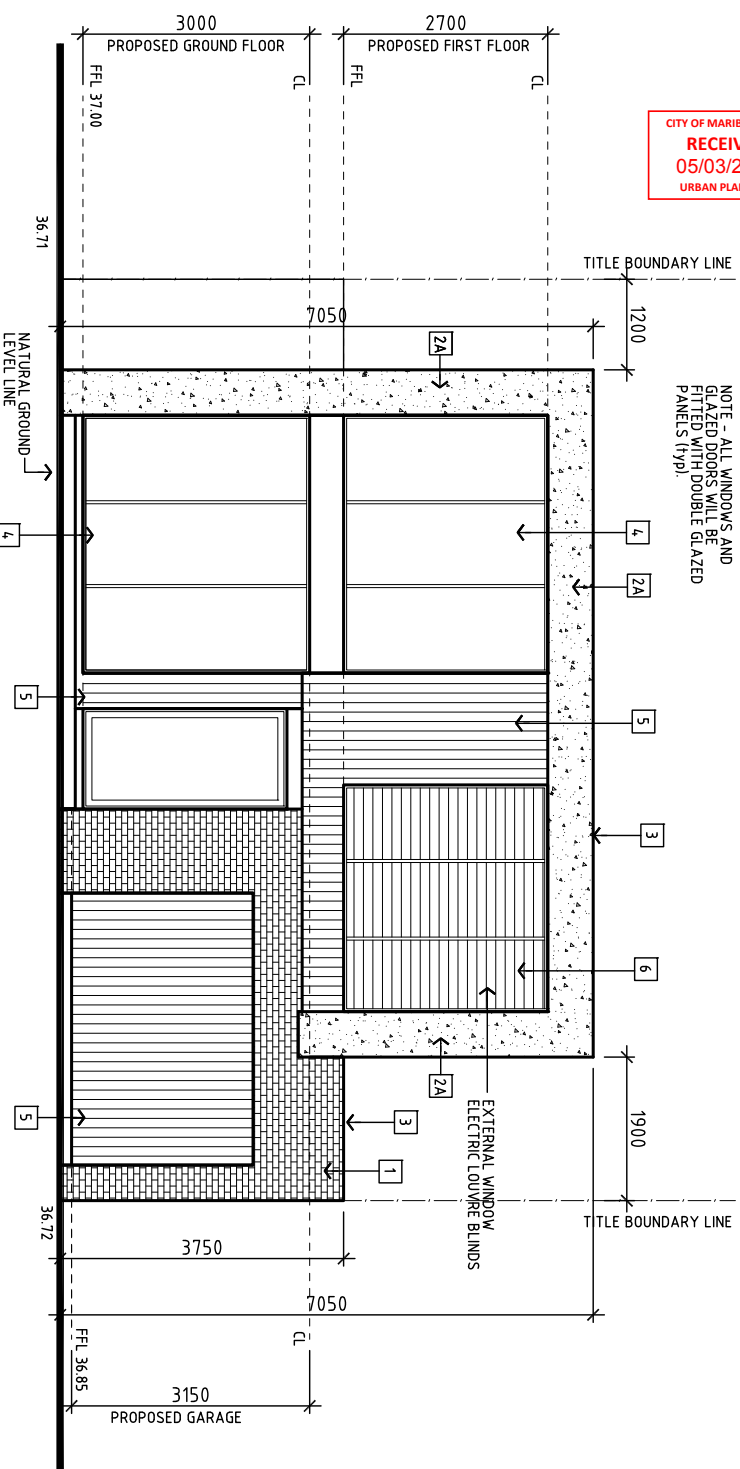
checked: **S.M.**

sheet no.: **TP04**

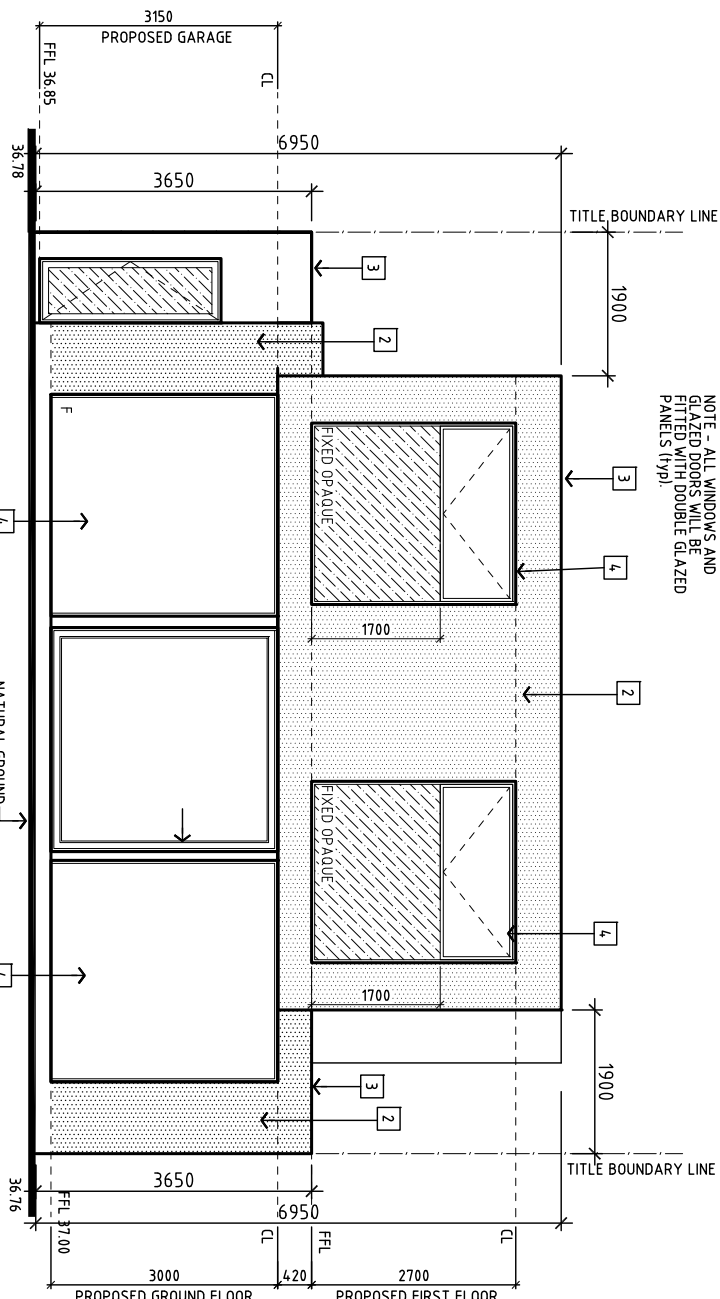
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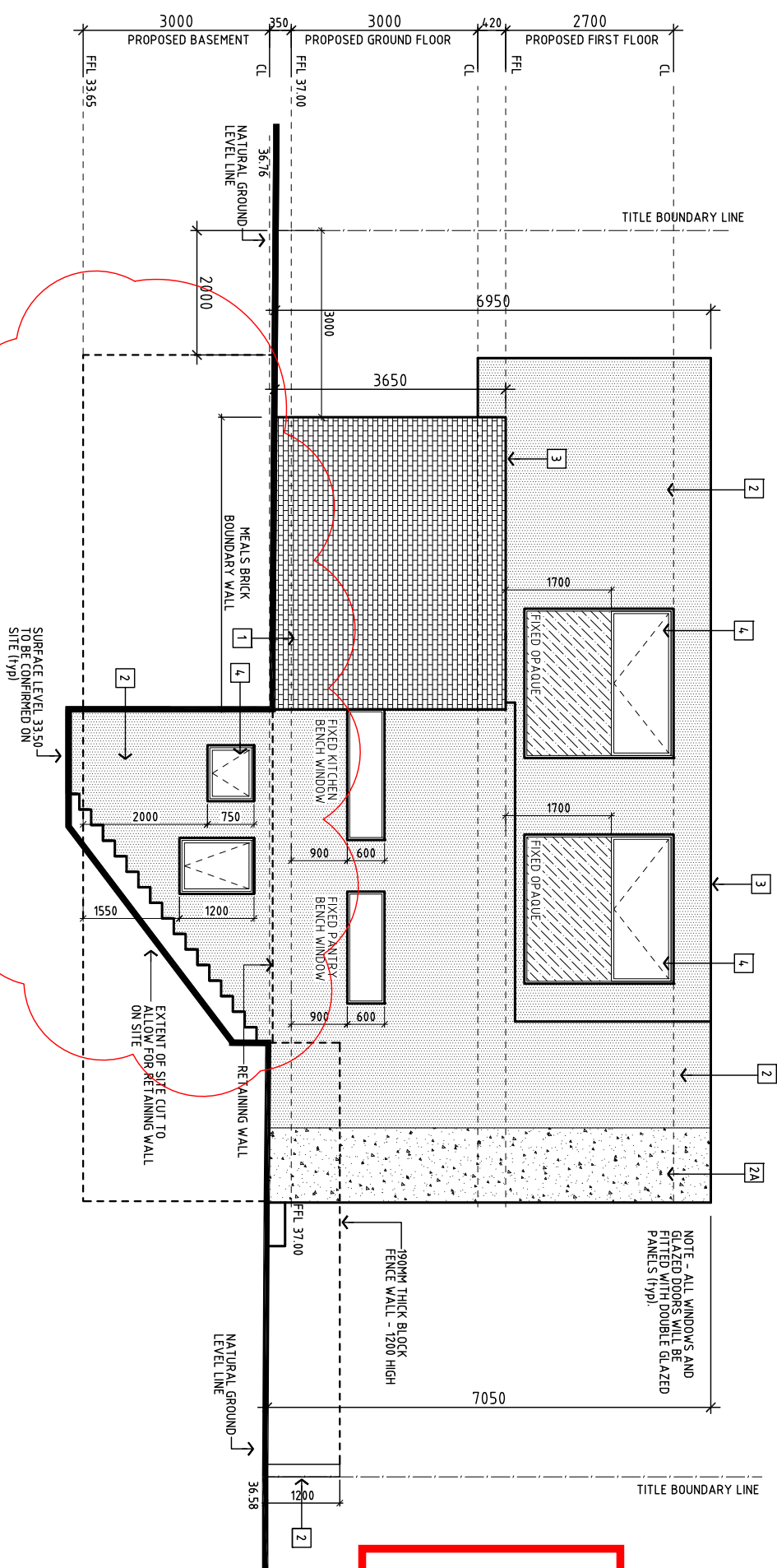
telephone: **03 9326 2266**
location: **166 pascoe vale road
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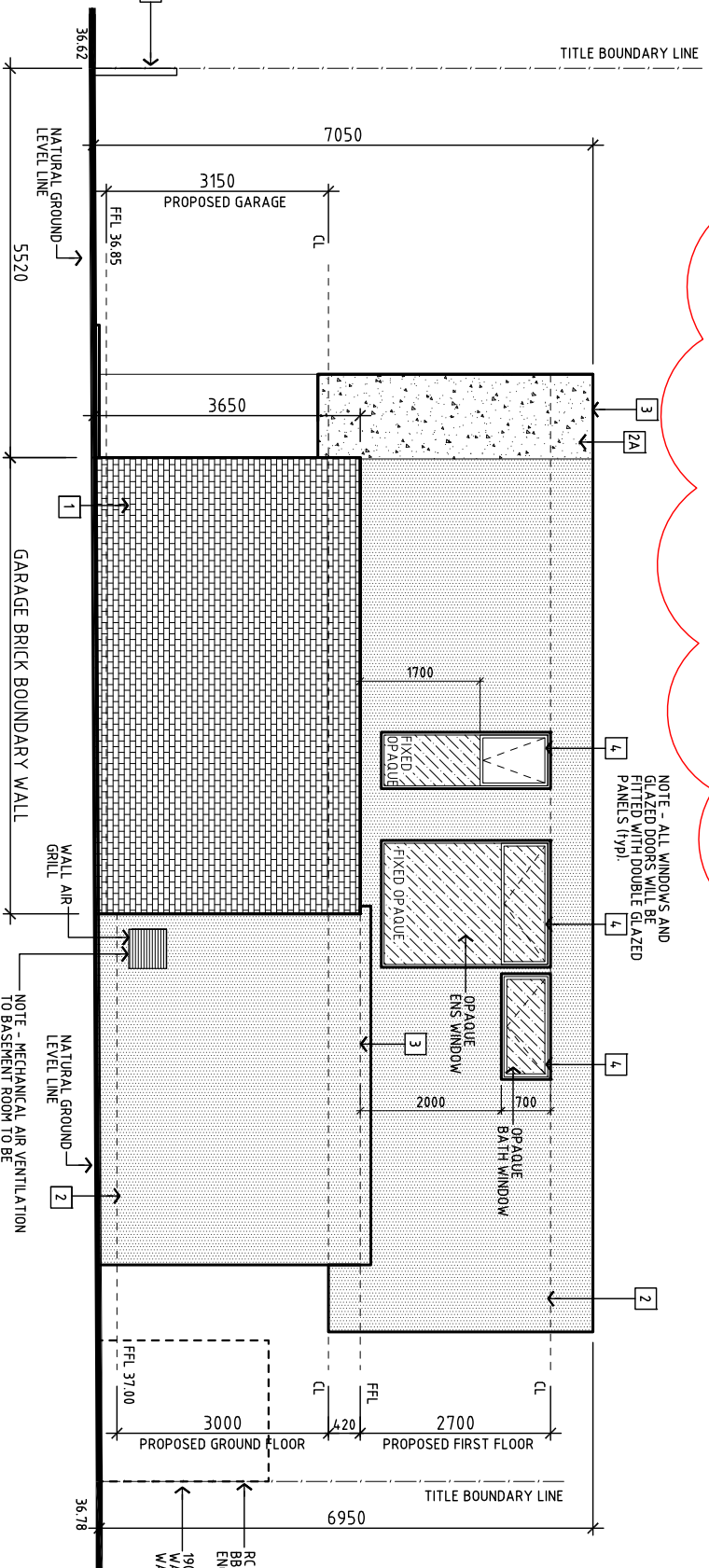
PROPOSED SOUTH ELEVATION



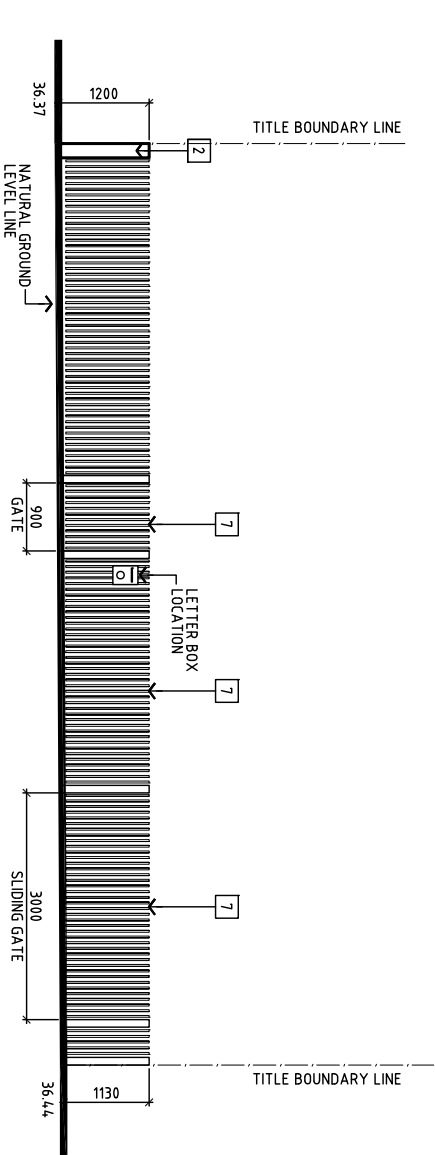
PROPOSED NORTH ELEVATION



**CITY OF MARIBYRNONG
ADVERTISED PLAN**





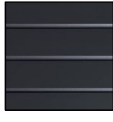

PROPOSED EAST ELEVATION



PROPOSED FRONT FENCE ELEVATION

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EXTERNAL MATERIAL & FINISHES SCHEDULE

- | | | | | | | |
|--|--|--|---|---|---|--|
| <p>1 EXTERNAL FACERENDERS-
GREY BRICK - FLUSH MORTAR FINISH</p>  | <p>2 EXTERNAL RENDER-
CONCRETE RENDER FINISH COLOUR</p>  | <p>3 ROOF DECKING-
0.2MM THICK GALV. KLEP LUX</p>  | <p>4 POWDER COATED WINDOWS/DOORS-
BLACK COLOUR</p>  | <p>5 VERTICAL CLADDING-
CONCRETE RENDER FINISH COLOUR
DARK GREY COLOUR</p>  | <p>6 WINDOW FACADE ELECTRICAL COVERS-
BLACK COLOUR</p>  | <p>7 FRONT FENCE RAIL/TRADES-
50MM BLACK METAL BARS
MATT FINISH</p>  |
|--|--|--|---|---|---|--|

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project:

**PROPOSED RESIDENCE
22 MARCUS AVENUE
WEST FOOTSCRAY 3011**

title:
PROPOSED SOUTH ELEVATIONS OPTIONS

job no.

21072

scale : 1:100 @ A2

date: **FEBRUARY 2023**

drawn:

checked: **S.M.**

sheet no.:

TP05

NOTE - ALL SITE LEVELS, NATURAL GROUND LEVELS (NGL), AND FINISHED FLOOR LEVELS (FFL), ARE TO AHD - (AUSTRALIAN HEIGHT DATUM)

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A vertical scale bar labeled "SCALE IN METRES" with markings from 1 to 10. The scale is oriented vertically, with 1 at the top and 10 at the bottom. Each number is placed to the left of a horizontal line segment. The segments are of equal length, representing 1 metre each.

NOTE - ALL SITE LEVELS, NATURAL GROUND LEVELS (NGL), AND FINISHED FLOOR LEVELS (FFL) ARE TO AHD - (AUSTRALIAN HEIGHT DATUM)

AUSTRALIAN NATIVE PLANTING SCHEDULE				
SYM	BOTANIC NAME	COMMON NAME	POT SIZE (MM)	MATURE SIZE HEIGHT (M)
TREES				
AM	ACACIA MELANOXYLON	BLACKWOOD	300	4.0-6.0
SHRUBS				
GO	GOODENIA OVATA	HOP GOODENIA	150	2.5
DL	DIANELLA LONGIFOLIA	BLUEBERRY LILY	150	2.0
PL	POA LABILLARDIERI	TUSsock-GRASS	150	1.5
WJ	WESTRINGIA JERVIS GEM	JERVIS GEM	150	1.5
LOW PLANTS				

NOTE: ALL PLANTS TO BE LABELED PRIOR TO DELIVERY ON SITE

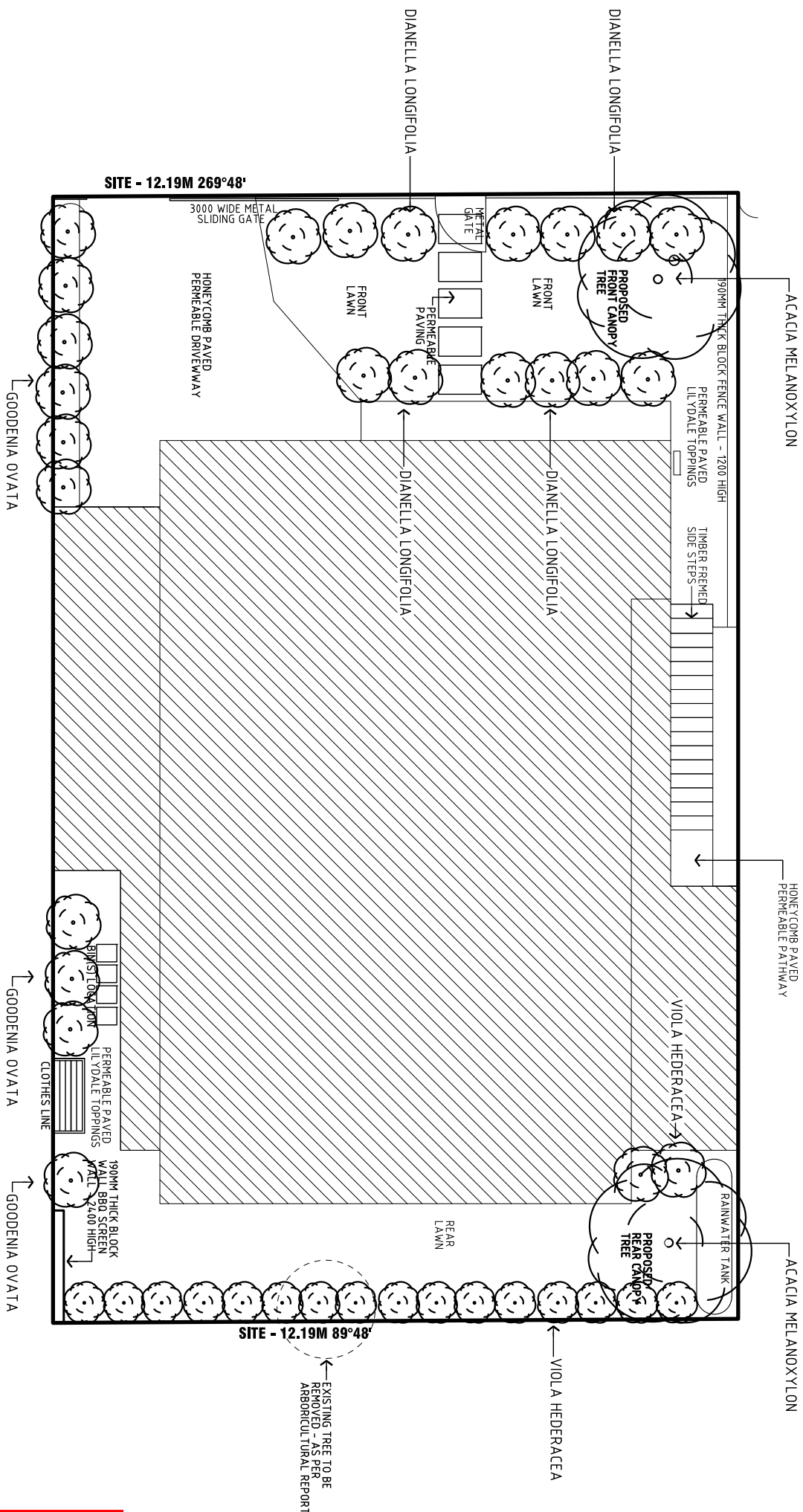
AUSTRALIAN NATIVE PLANTING SCHEDULE

SYM	BOTANIC NAME	COMMON NAME	POT SIZE (MM)	MATURE SIZE HEIGHT (M)
TREES				
AM	ACACIA MELANOXYLON	BLACKWOOD	300	4.0-6.0
SHRUBS				
GO	GOODENIA OVATA	HOP GOODENIA	150	2.5
DL	DIANELLA LONGIFOLIA	BLUEBERRY LILLY	150	2.0
PL	POA LABILLARDIERI	TUSSOCK GRASS	150	1.5
WJ	WESTRINGIA JERVIS GEM	JERVIS GEM	150	1.5
LOW PLANTS				

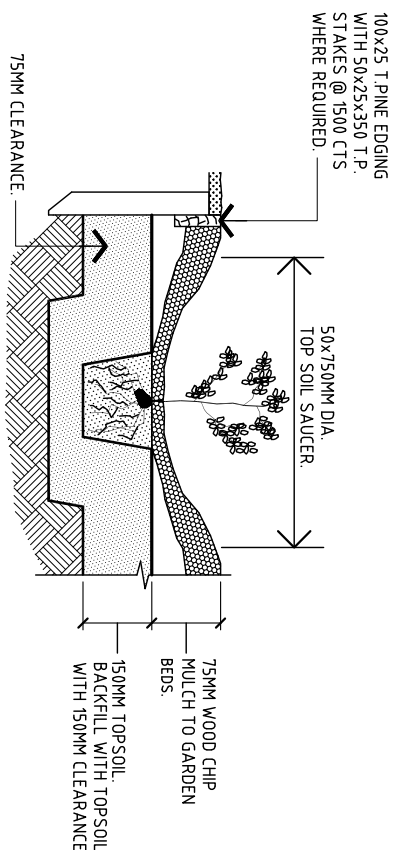
NOTE: ALL PLANTS TO BE LABELED PRIOR TO DELIVERY ON SITE

PROPOSED LANDSCAPE CONCEPT PLAN

IT IS EXPECTED THAT THE PROPOSED LANDSCAPE DESIGN WILL NOT AFFECT TREES ON THE ADJOINING PROPERTIES.

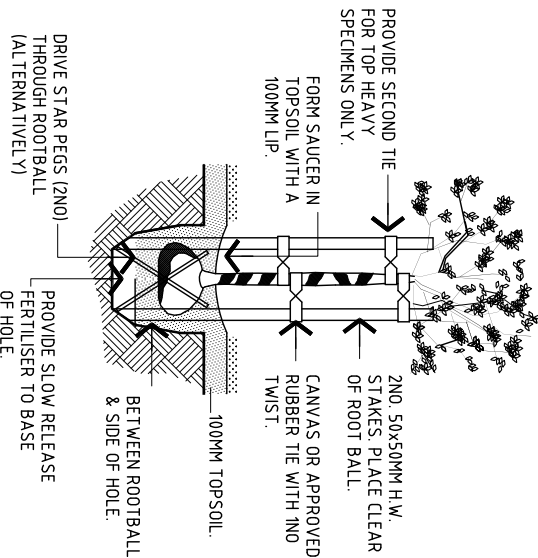


PLANTING DETAILS



PLANTING NOTES

1. ALL BORSHED MATERIAL, VEGETATION EXCAVATED, TOP SOIL, AND ROBBISH ARE TO BE REMOVED FROM SITE.
2. GRADED BIDS ARE TO HAVE MINIMUM 300MM APPROVED TOP SOIL PLACED OVER PREPARED SURFACE.
3. ALL GARDEN AREAS TO BE EVENLY GRADED AND FREE DRAINING AT ALL TIMES.
4. GARDEN BEDS TO BE SLIGHTLY GRANNED IN CENTRE WITH FINISHED LEVELS MATCHING ADJACENT FINISHED LEVELS OF PATIENY AND BOTTOM ADJON OF FENCES. ALL SERVICE INSPECTION POINTS ARE TO REMAIN VISIBLE.
5. MULCH IS TO BE 75MM DEEP TO APPROVAL, PLACED TO A MINIMUM DEPTH OF 75MM.
6. PROVIDE 75MM TYPICAL TESTED PINE TIMBER EDGE TO INTERFACE OF ALL LAWN AND GARDEN BEDS.
7. LAWN AREAS TO BE EVENLY GRADED AND TO HAVE 1000MM MIN. TOP SOIL PLACED OVER COMPACTED SUBGRADE.
8. ALL TOP SOIL PLACED TO BE IMMEDIATELY AVAILABLE CENTRAL PURPOSE MIX.
9. THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY, AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE, NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE AT THE LOCATION OF UNDERGROUND AND SURFACE LAYERS, PAYMENT AND DRAINAGE DESIGN.



PLANTING PROCEDURE

MULCH SHRUB BEDS WITH CRUSHED PINE BARK. SHRUB BED BORDER TO BE 10 X 25 TREATED PINE SHRUBS TO BE RANDOM PLANTED TO APPROVAL.

LAWN TO BE AN APPROVED COMBINED SEED/MULCH MIX SPRAYED TO ENSURE AN EVEN DISTRIBUTION OF GRASSES IN MINIMUM 50MM THICK APPLIED TOP SOIL. PREPARED, PREPARED.

CITY OF MARIBYRNONG
ADVERTISED PLAN

drawing type

PLANNING

Rev	date	description
A	02.02.2023	PLANNING PERMIT APPLICATION SUBMISSION
B	05.07.2023	PLANNING REF - SUBMISSION ISSUE
C	01.02.2024	PLANNING PERMIT - SECONDAL CONSENT APPLICATION ISSUE
D	05/08/2025	PLANNING PERMIT - SECTION 7 AMENDMENT APPLICATION ISSUE

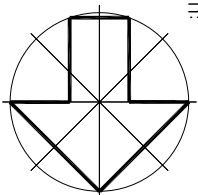
project:

**PROPOSED RESIDENCE
22 MARCUS AVENUE
WEST FOOTSCRAY 3012**

title

PROPOSED LANDSCAPE CONCEPT PLAN

north:



job no.:

21072

scale :
1:100 @ A2

FEBRUARY 2023

drawn:

checked: **S.M.**

sheet no.

TP06

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