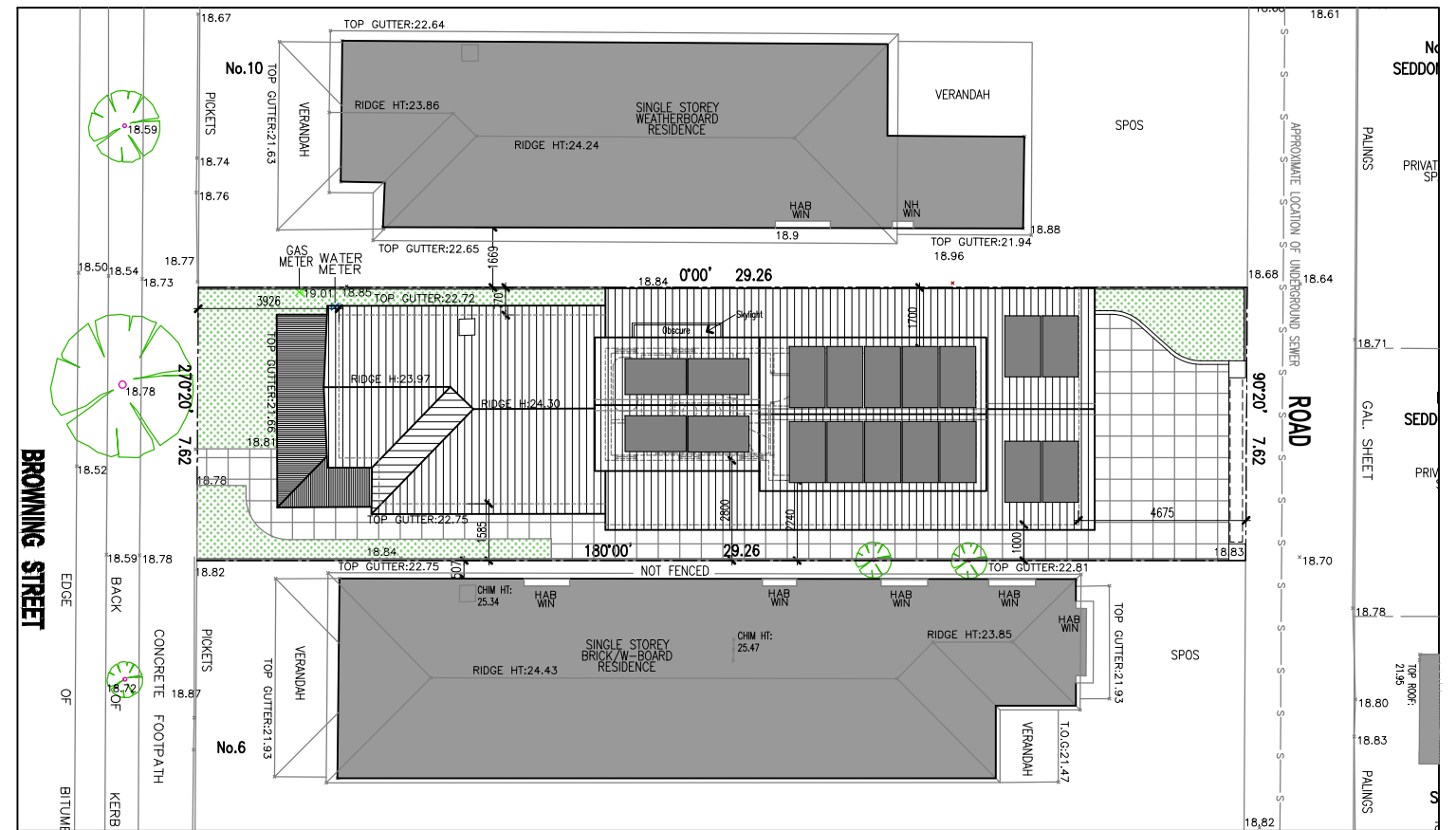


# Proposed Additions

## 8 Browning Street, Seddon

### Drawing register

- TP00 Drawing Register
- TP01 Site Context - Aerial and Street Photos
- TP02 Planning Zone / Overlay
- TP03 Site Plan - Proposed
- TP04 Existing Floor Plan - Demolition Plan
- TP05 Proposed Floor Plan - Ground
- TP06 Proposed Floor Plan - 1st
- TP07 Roof Plans
- TP08 Wall on Boundary & Permeability analysis
- TP09 Elevations - Existing
- TP10 Elevations
- TP11 Elevations & External Finishes Schedule
- TP21 Shadow Diagrams
- TP22 Shadow Diagrams
- TP23 Shadow Diagrams
- TP24 Shadow Diagrams
- TP25 Shadow Diagrams
- TP31 Landscape Planting Schedule



**CITY OF MARIBYRNONG  
ADVERTISED PLAN**



PROJECT TITLE:  
**Proposed Additions**  
PROJECT ADDRESS:  
**8 Browning Street - Seddon**

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SCALE:  
2026  
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Ground Floor - 175 Rosslyn Street West Melbourne, Vic. 3003 Australia.  
Tel: 03 9853 4853 Fax: 03 9855 1280 Email: info@anthonyg.com.au



12-16 Browning St.



8-10 Browning St.



4-6 Browning St.



2 Browning St.



18 Browning St.



Aerial Site Context Photo



62 Gamon St.



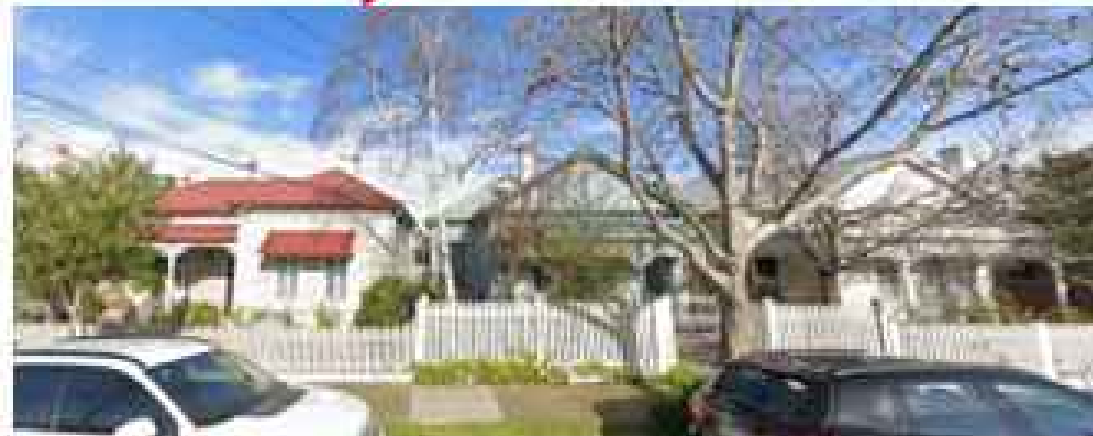
15-17 Browning St.



64 Gamon St.



11-13 Browning St.



5-9 Browning St.



1-3 Browning St.

**Planning Zones**

MAP OF PLANNING ZONES (LOCAL GOVERNMENT DISTRICT) 2016  
 LOCAL GOVERNMENT DISTRICT - SEDDON (LOCAL GOVERNMENT DISTRICT)



MLU2 - Mixed Use  
 NRZ - Neighbourhood Residential

Notes: Areas in yellow, blue, red, green, purple, pink, and orange are subject to other planning overlays. Areas in grey are not subject to any planning overlays.

**Planning Overlays**

2016 DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY (DCPO)  
 2016 DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SOUTH EAST DISTRICT



DCPO2 - Development Contributions Plan Overlay

Notes: Areas in yellow, blue, red, green, purple, pink, and orange are subject to other planning overlays. Areas in grey are not subject to any planning overlays.

**Heritage Overlay**

LOCAL GOVERNMENT DISTRICT - SEDDON (LOCAL GOVERNMENT DISTRICT)



HO2 - Heritage Overlay

Notes: Areas in yellow, blue, red, green, purple, pink, and orange are subject to other planning overlays. Areas in grey are not subject to any planning overlays.



Designated Bushfire Prone Areas

**Planning Overlay Schedule**

CITY OF MARIBYRNONG  
**ADVERTISED PLAN**

NORTH POINT

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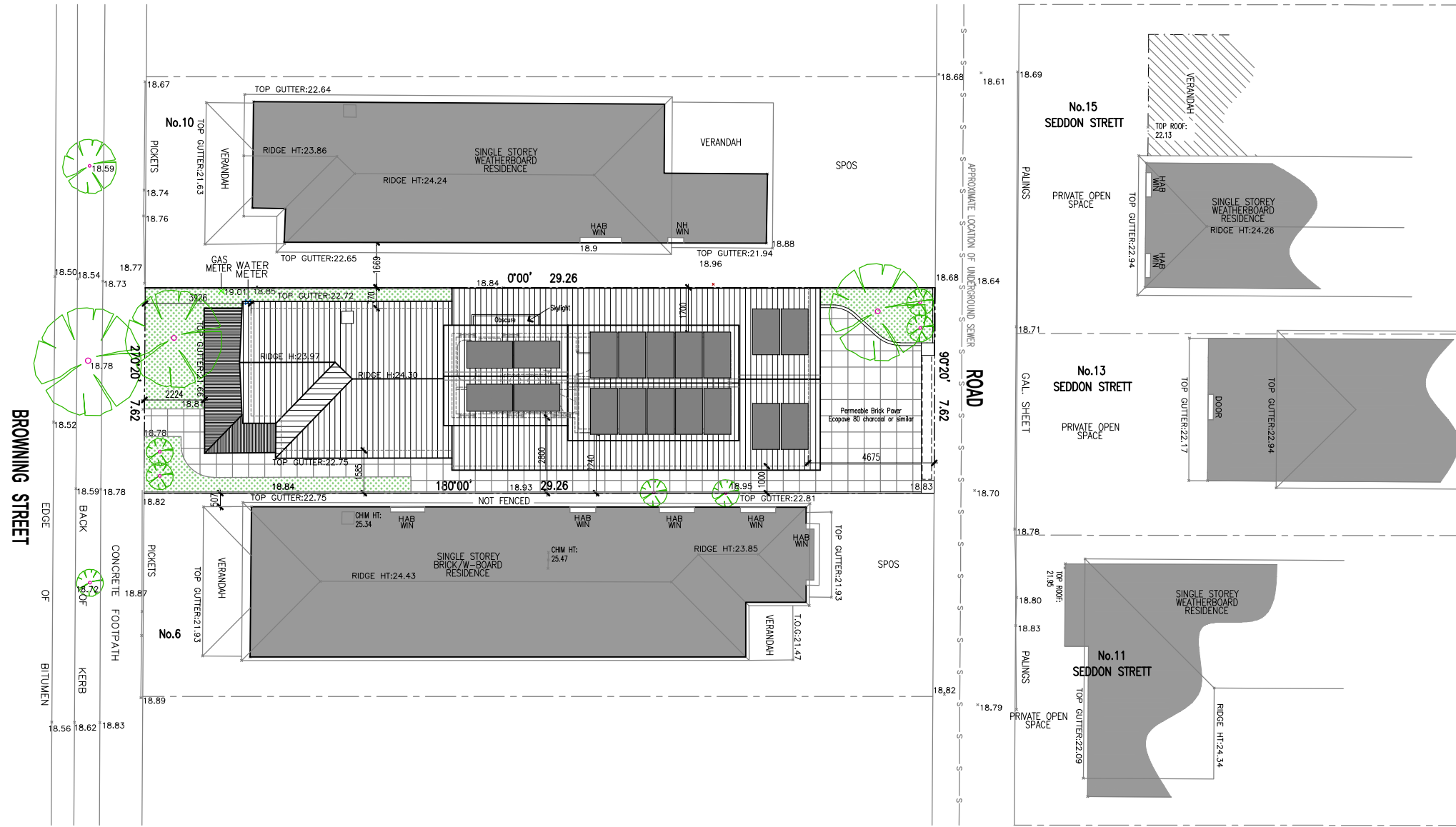
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# DEVELOPMENT SUMMARY

Total Site Area	223 m <sup>2</sup>	
Existing Conditions:		
Site Coverage	101m <sup>2</sup>	or 45%
Covered Verandah	10m <sup>2</sup>	
Paved Area	65m <sup>2</sup>	
Permeable Area	41m <sup>2</sup>	or 18%
Canopy Trees	0	
Bedroom	2	
Carspaces on site residence	0	
Proposed Plan:		
House Area (Ground fl)	124m <sup>2</sup>	
House Area (1st fl)	32m <sup>2</sup>	
Front Verandah	10m <sup>2</sup>	
Total Site Coverage	134m <sup>2</sup>	or 60%
Private Open Space	80m <sup>2</sup>	or 35.8%
Secluded Private Open Space	35m <sup>2</sup>	or 15.6%
Permeable Area (Permeable paver 49.8 + garden 30.2)	80m <sup>2</sup>	or 35.8%
Canopy Trees	2	
Bedroom	3	
Carspaces on site residence	0	

**NOTE:**  
Storm Water Discharged to be connected to the legal point of discharged as per Council's requirements.



# SITE PLAN

A3 1:200  
A1 1:100

**CITY OF MARIBYRNONG  
ADVERTISED PLAN**



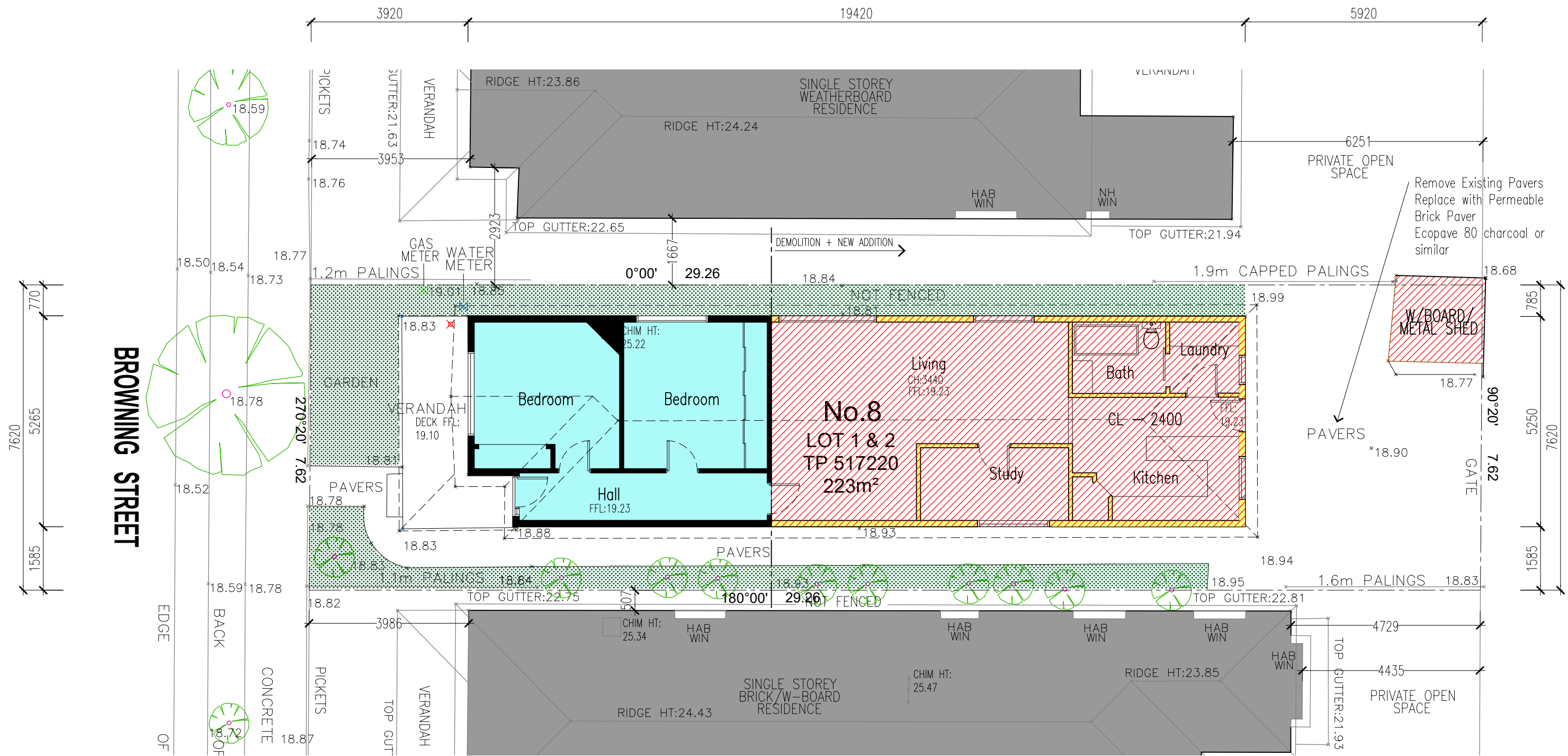
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**LEGEND**

- Existing wall to be retained & replaced
- Demolish existing structure
- Existing slab to be retained

# Existing & Demolition Plan

A1 1:50 A3 1:100

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ADVERTISED PLAN



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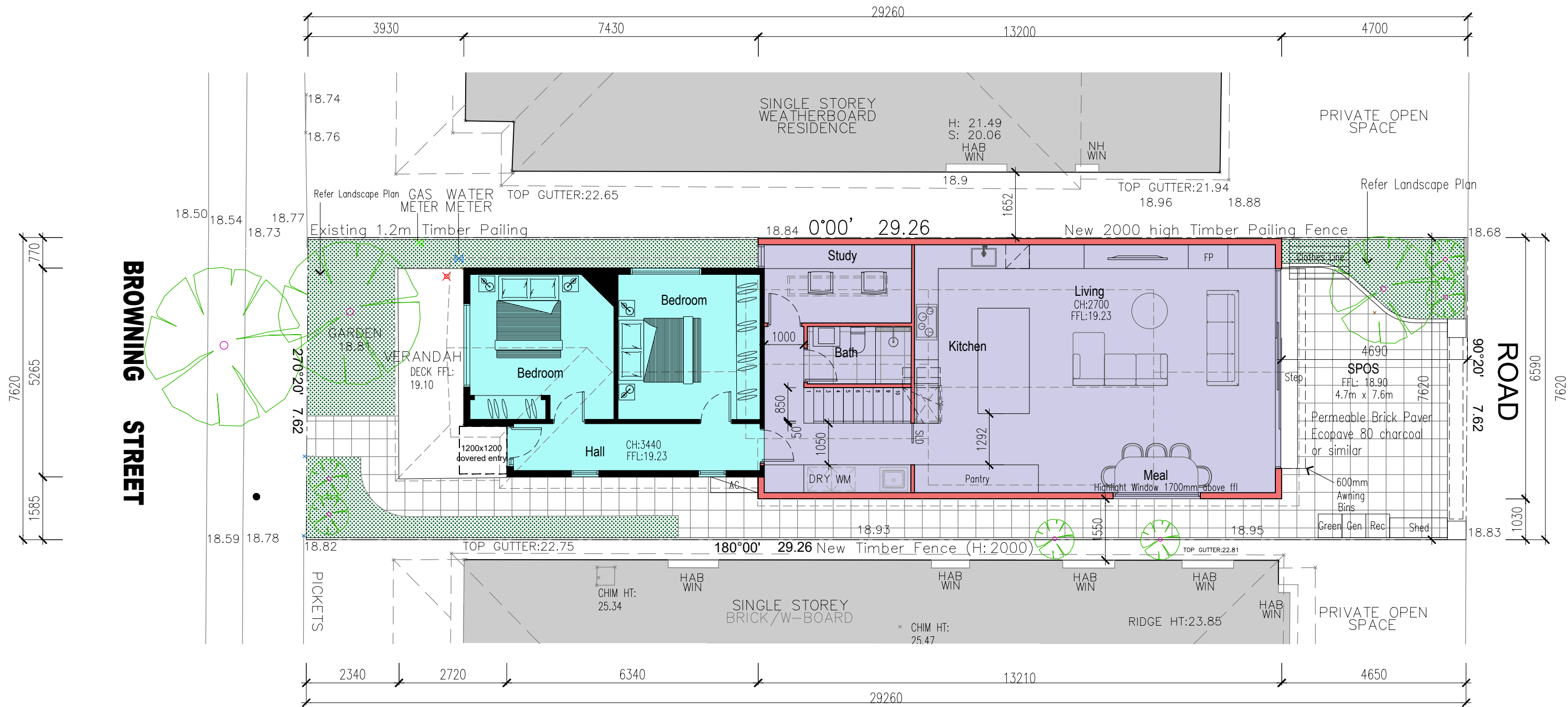
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# Ground Floor plan

A1 1:50 A3 1:100

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## Proposed Additions 8 Browning Street - Seddon

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**LEGEND**

- Garden Bed
- Existing Slab to be retained
- Proposed Addition

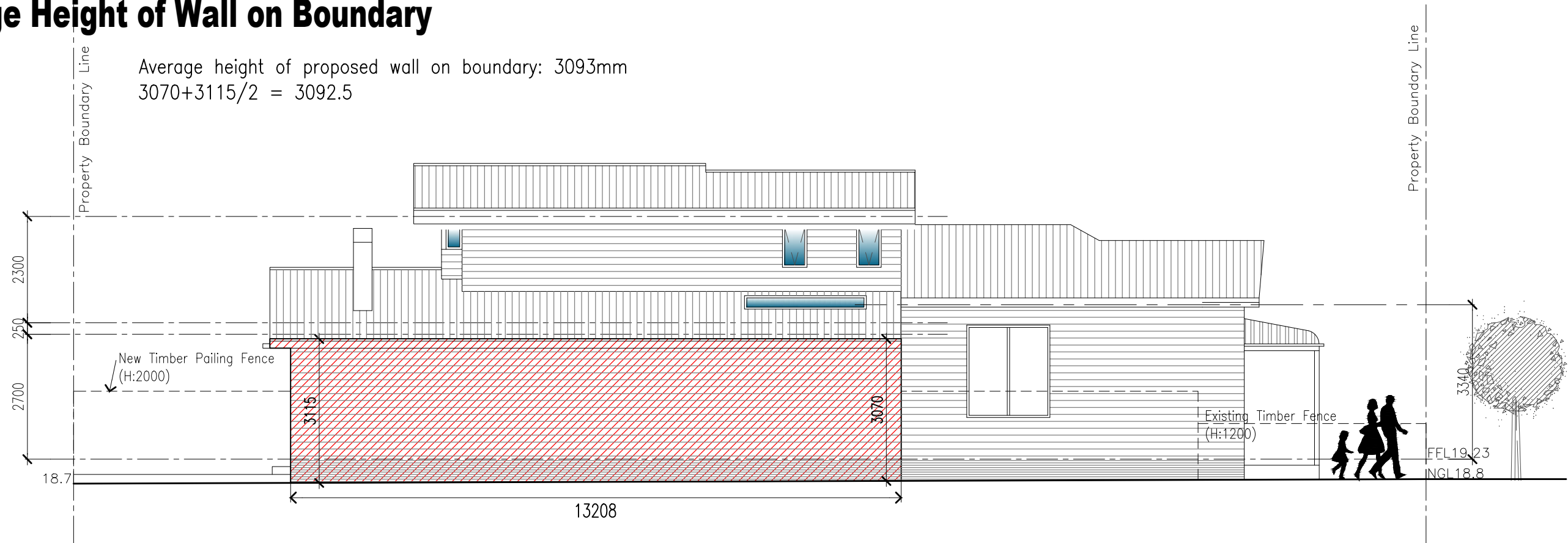
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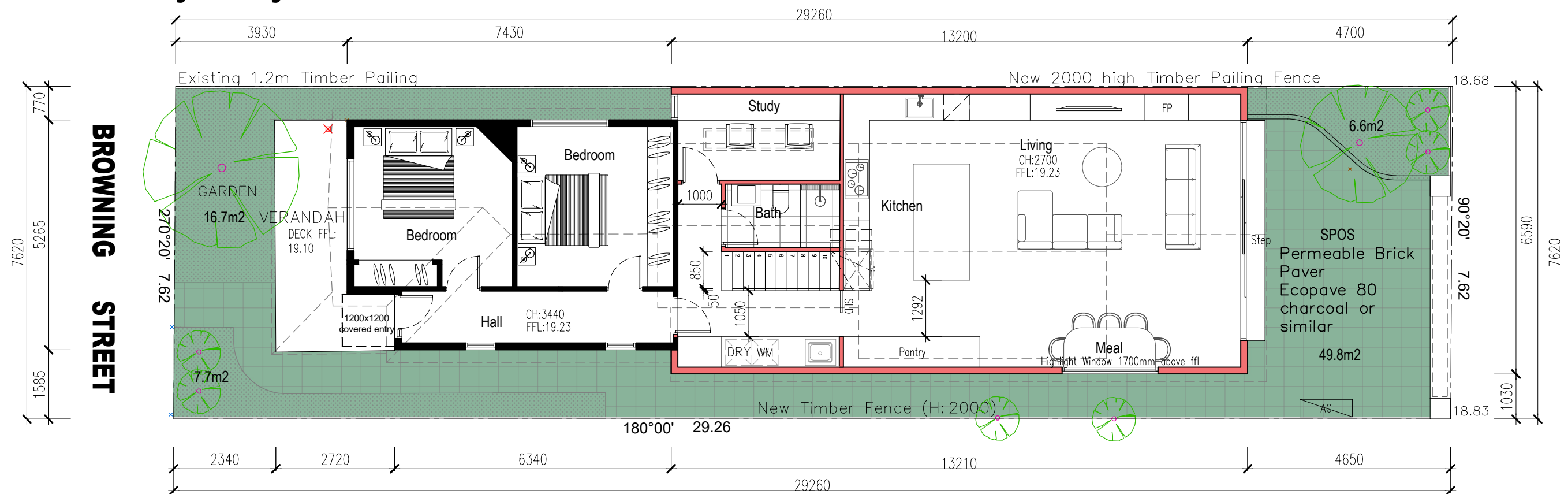




# Average Height of Wall on Boundary



# Permeability Analysis



**LEGEND**  
 Permeable Surface

A1 1:50 A3 1:100

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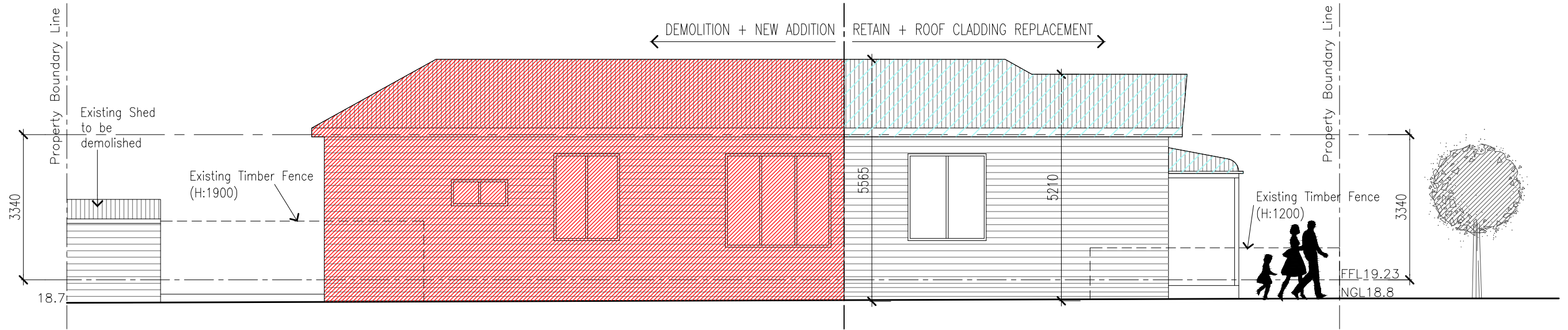
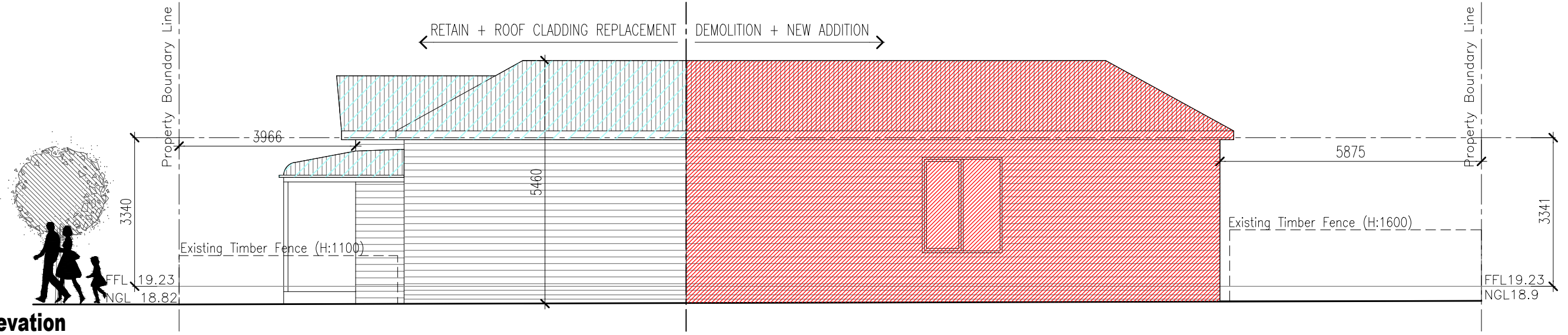
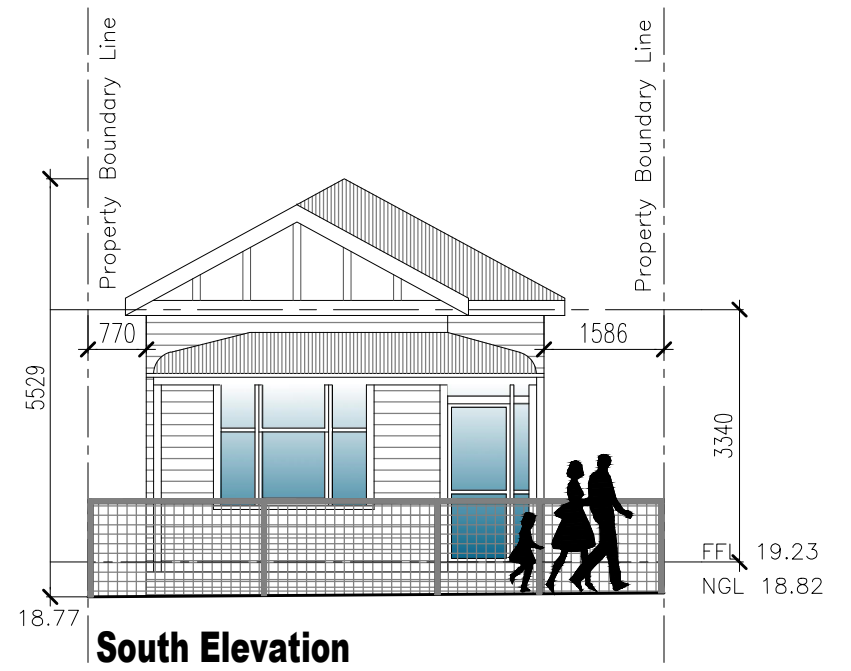
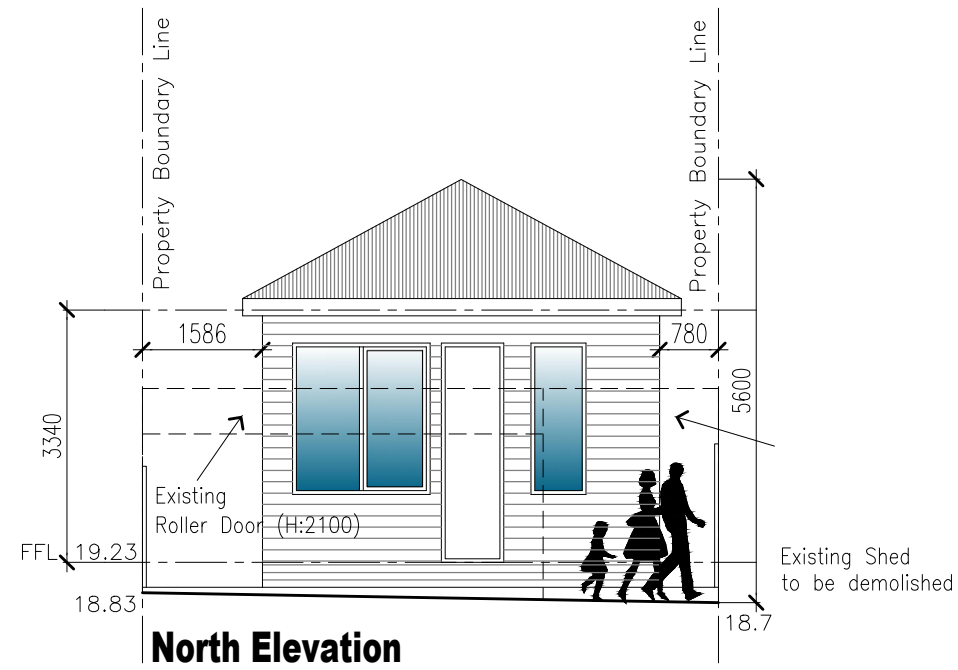
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# Existing Elevations



East Elevation

West Elevation

A1 1:50 A3 1:100

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NORTH POINT

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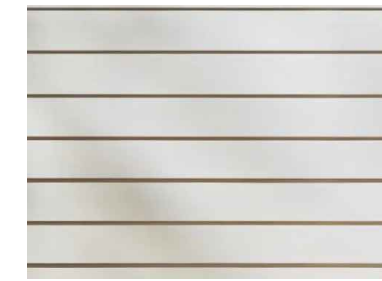
# Proposed Elevations



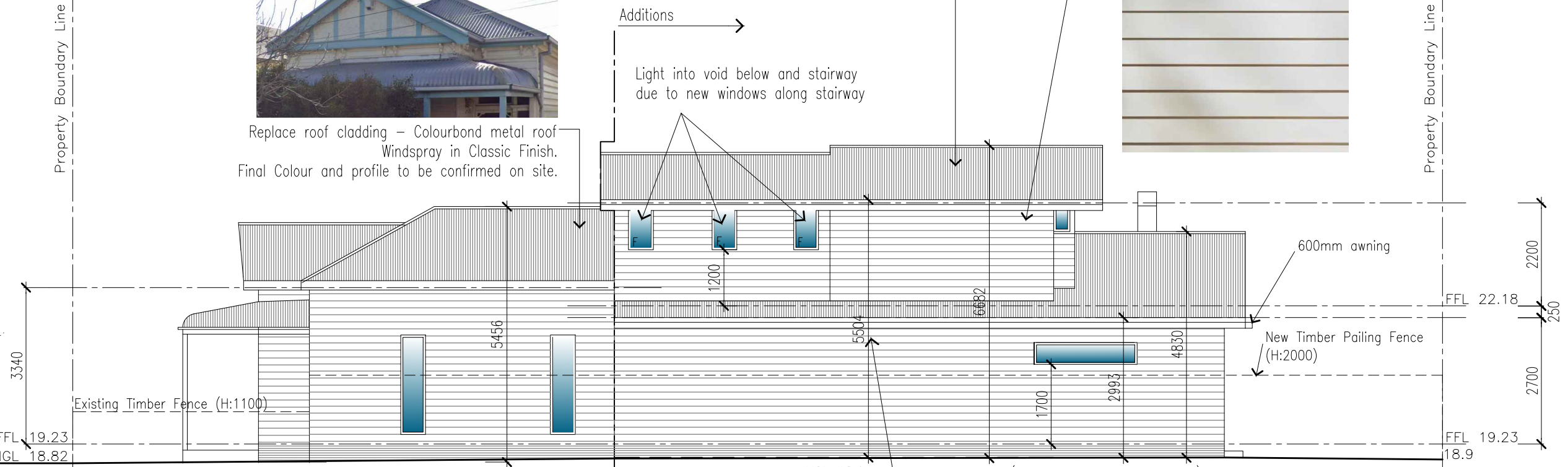
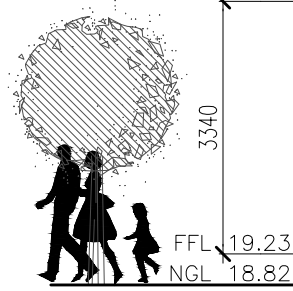
Replace roof cladding – Colourbond metal roof  
Windspray in Classic Finish.  
Final Colour and profile to be confirmed on site.

New Colorbond Roof at 28° pitch  
to match existing roof pitch.  
Color and Profile to match existing

Fibre cement cladding – James Hardie Linea or similar.  
Colour and size to match the existing front facade.



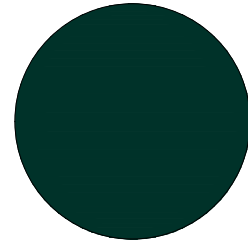
Additions  
Light into void below and stairway  
due to new windows along stairway



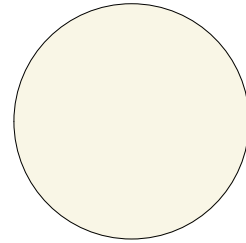
**East Elevation**

NGL 18.94 Refer to Siteplan  
Clause 54 A4-1 (Daylight to Existing Windows)  
Wall Height: 5.5m  $5.5/2 = 2.75$   
Distance from the existing window: 2.75m

New Colorbond steel fascia  
Brunswick Green



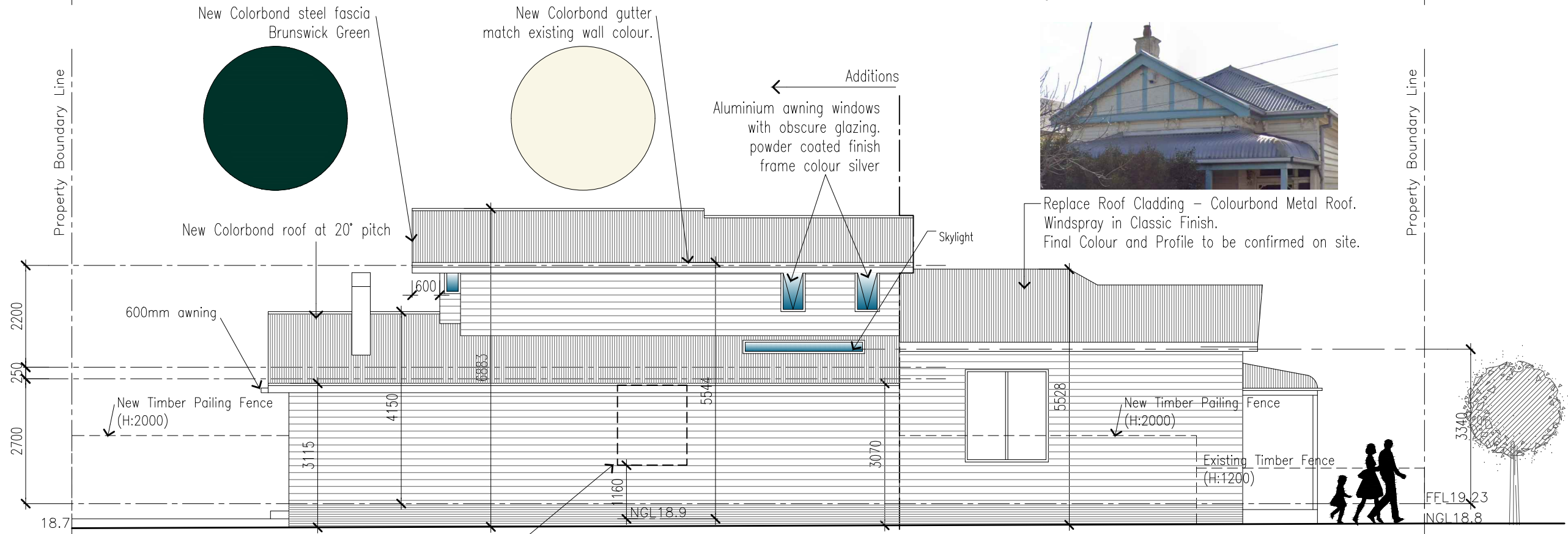
New Colorbond gutter  
match existing wall colour.



← Additions  
Aluminium awning windows  
with obscure glazing.  
powder coated finish  
frame colour silver



Replace Roof Cladding – Colourbond Metal Roof.  
Windspray in Classic Finish.  
Final Colour and Profile to be confirmed on site.



**West Elevation**

Existing habitable window of 10 Browning St.  
(NGL 18.9 applied. Refer to Site plan)  
Clause 54 A4-1 (Daylight to Existing Windows)  
Wall Height: 5.54m  $5.54/2 = 2.77$   
Distance from the existing window: 3.35m

A1 1:50 A3 1:100

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# EXTERNAL FINISHES SCHEDULE

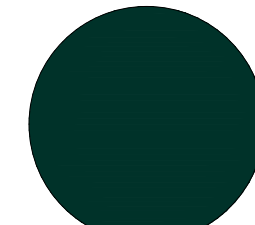
ELEMENT	MATERIAL	FINISH/COLOUR	NOTE
ROOF – Existing ROOF – New FASCIA & GUTTER DOWNPIPES	Colorbond Steel Sheeting Colorbond Steel Sheeting Colorbond Steel Colorbond Steel	Match existing colour and profile Windspray– Check on Site Brunswick Green– Check on Site Lime White– Check on Site	Replace Cladding Match existing colour and profile Heritage Colourbook Match existing wall colour
EXISTING FRONT WALL NEW EXTERNAL WALL BOUNDARY WALL	Weatherboard Fibre cement cladding Fibre cement cladding over fire-rated wall system	Lime White– Check on Site Lime White– Check on Site Lime White– Check on Site	Retain existing; repaint as required. Match existing colour and profile Match existing colour and profile
WINDOW FRAMES–EXISTING WINDOW FRAMES–NEW FRONT DOOR	Timber Window Aluminium Window Timber Door	Lime White– Check on Site Silver frame Lime White– Check on Site	Retain existing; repaint as required. Powder-coated finish Retain existing; repaint as required.
FENCE – FRONT FENCE – EAST FENCE – WEST FENCE – REAR ROLLER DOOR – EXISTING	Post & wire mesh Timber Pailing Fence Timber Pailing Fence Timber Pailing Fence Metal roller door	Natural timber Natural timber Natural timber Lime White– Check on Site	Retain existing   Retain existing



**FRONT FACADE**



Retain existing front façade; repaint in Brunswick Green.  
Replace roof cladding; retain existing roof structure and colour.  
Final colour to be confirmed on site.



Change the Teal with Brunswick Green.

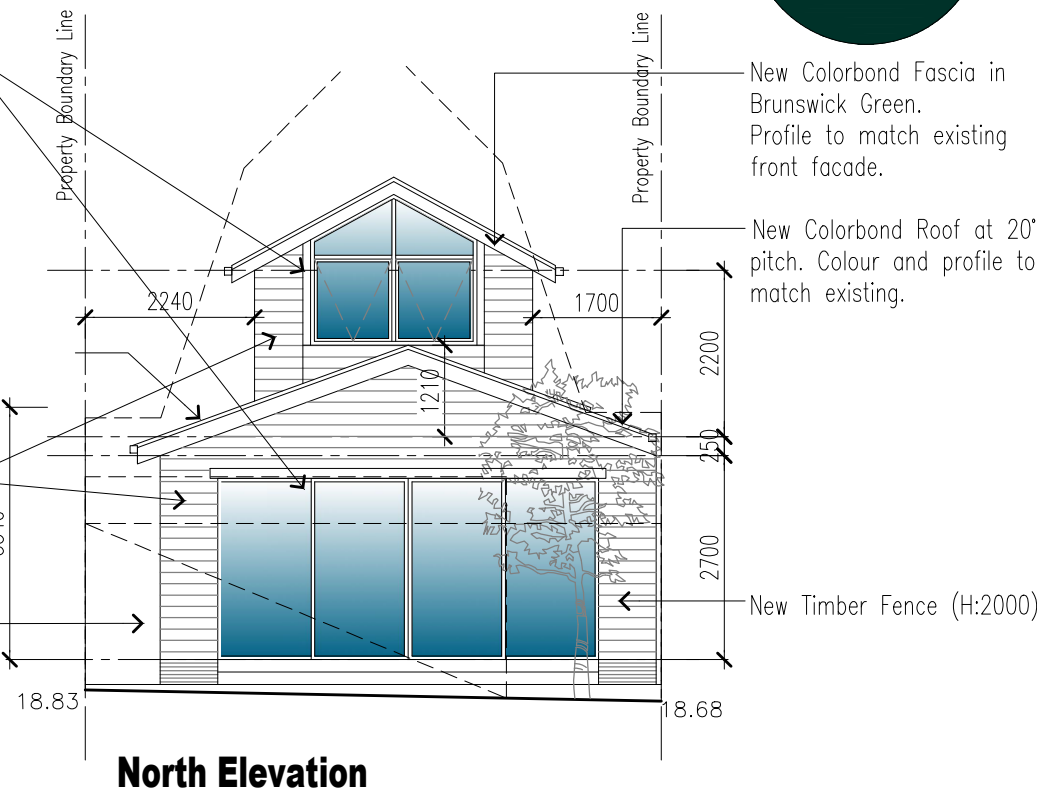


New aluminium windows: powder coated finish frame colour – silver



Fibre cement cladding – James Hardie Linea or similar. Colour and size to match the existing front facade.

Existing Roller Door



**North Elevation**



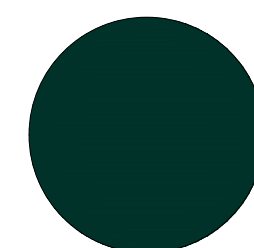
Front gable: retain existing; Repaint in Brunswick Green



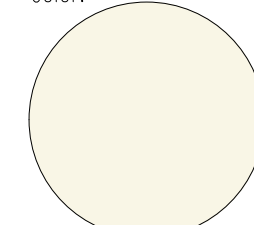
Fibre cement cladding; James Hardie Linea or similar. Colour and size to match the existing front facade.

Existing Fence Post & Wire Mesh (H:1300)

New Colorbond Roof at 28° pitch to match existing roof pitch. Color and Profile to match existing

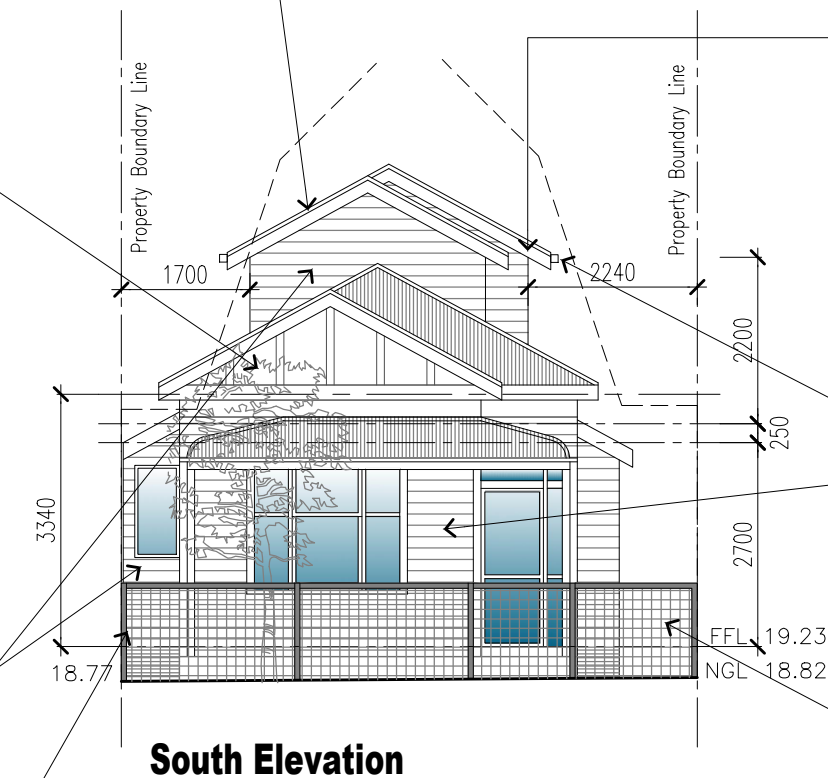


New Colorbond steel fascia in Brunswick Green to match existing front fascia & trim color.



New Colorbond gutter to match existing wall color. Retain existing weatherboard. Repaint and repair as required. Final colour to be confirmed on site.

Retain existing fence. (post & wire mesh H:1300)



**South Elevation**

## Proposed Elevations

A1 1:50 A3 1:100



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## Proposed Additions

### 8 Browning Street - Seddon

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# SHADOW ANALYSIS - 9am (22 September)

AZM=67 deg ALT=32 deg  
Scale 1:100

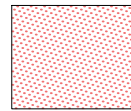
Overshadowing on SPOS of 10 Browning Street

Total POS 60 m2

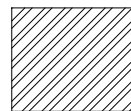
Existing OS 17.2 m2

Proposed OS 16.2 m2

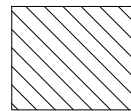
Sunlight Penetration 43.8 m2 (73%)



Shadows of Existing Fences



Shadows of Existing Buildings



Shadow of New Proposal

**BROWNING STREET**

EDGE OF BITUMEN

BACK OF KERB

CONCRETE FOOTPATH

A1 1:50 A3 1:100

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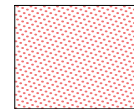


# SHADOW ANALYSIS - 11am (22 September)

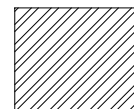
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Scale 1:100

Overshadowing on SPOS of 10 Browning Street

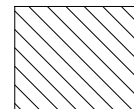
Total POS	60 m2
Existing OS	5.1 m2
Proposed OS	4.2 m2
Sunlight Penetration	55.8 m2 (93%)



Shadows of Existing Fences



Shadows of Existing Buildings



Shadow of New Proposal

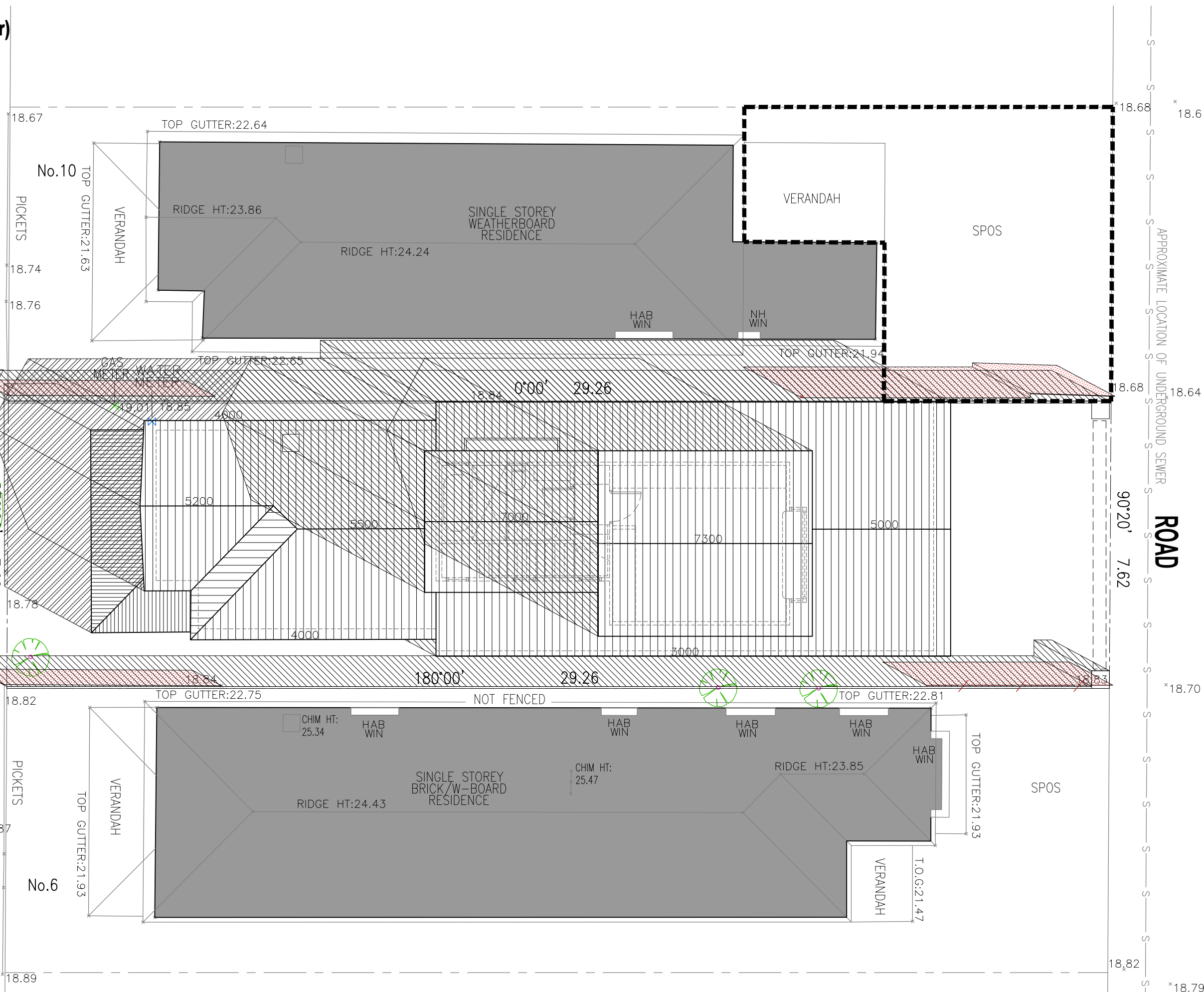
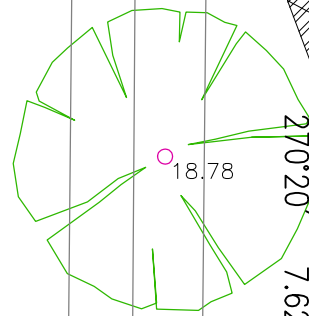
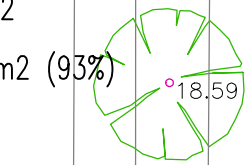
**BROWNING STREET**

EDGE OF BITUMEN

BACK OF ROOF

CONCRETE FOOTPATH

KERB



A1 1:50 A3 1:100

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**Proposed Additions**  
PROJECT ADDRESS:  
**8 Browning Street - Seddon**

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SCALE:  
2026  
DATE:  
TP 12  
SHEET NUMBER:

AGA

**Anthony G. and Associates P/L**  
Planning Architectural Project Management Interiors  
Ground Floor - 175 Rosslyn Street West Melbourne, Vic. 3003 Australia  
Tel: 03 9853 4853 Fax: 03 9855 1280 Email: info@anthonyg.com.au

# SHADOW ANALYSIS - 12am (22 September)

AZM=5 deg ALT=52 deg

Scale 1:100

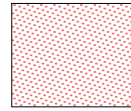
Overshadowing on SPOS of 10 Browning Street

Total POS 60 m2

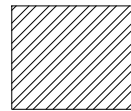
Existing OS 1.5 m2

Proposed OS 0.7 m2

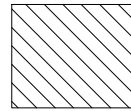
Sunlight Penetration 59.3 m2 (98.8%)



Shadows of Existing Fences



Shadows of Existing Buildings



Shadow of New Proposal

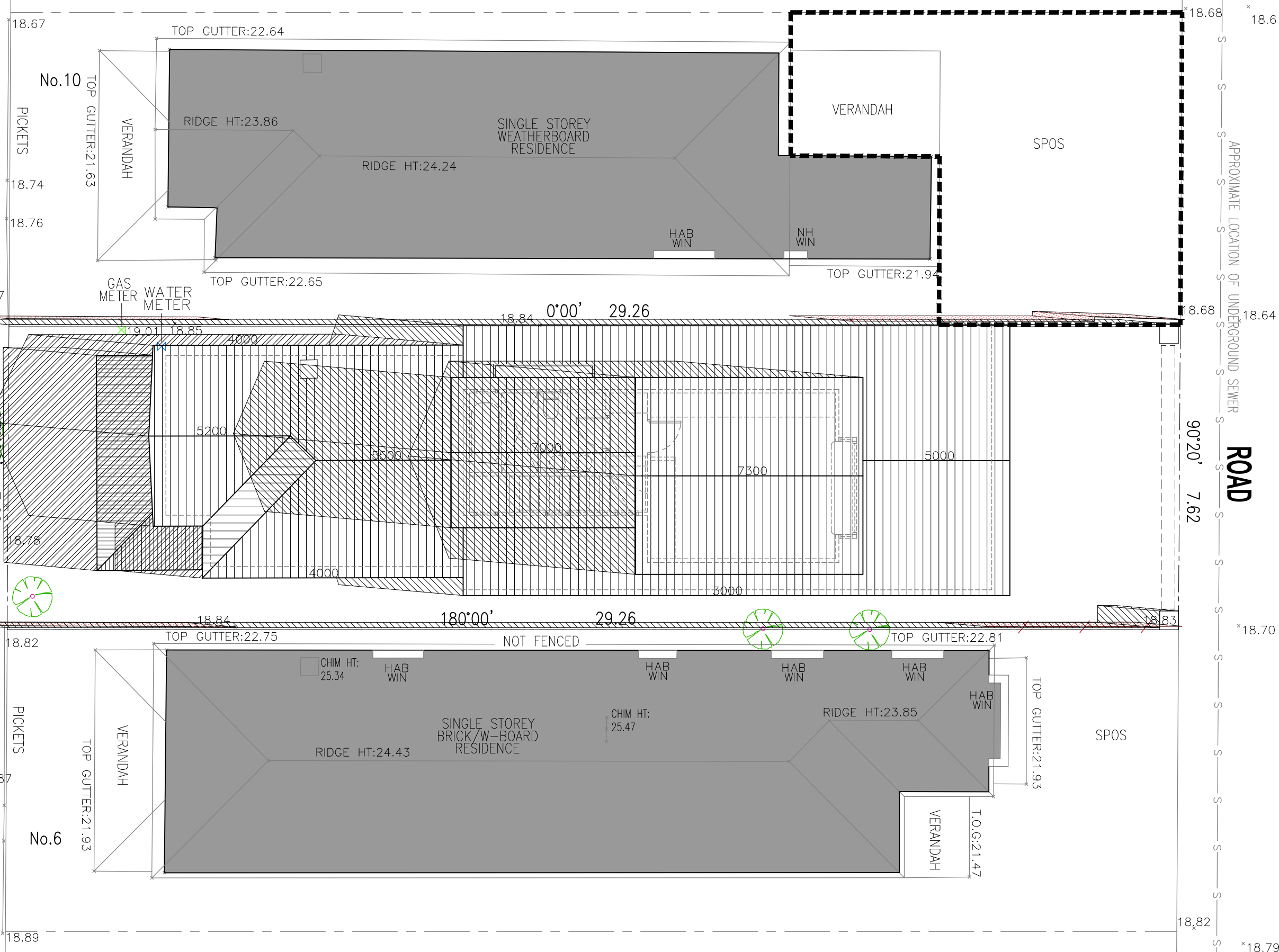
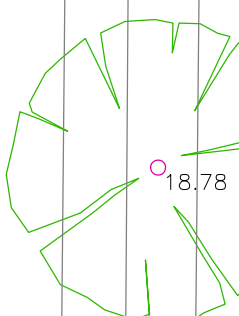
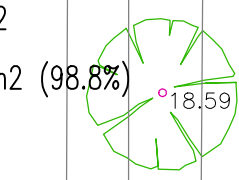
**BROWNING STREET**

EDGE OF BITUMEN

BACK OF ROOF

CONCRETE FOOTPATH

KERB



A1 1:50 A3 1:100



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PROJECT TITLE:  
**Proposed Additions**  
 PROJECT ADDRESS:  
**8 Browning Street - Seddon**

SCALE:  
 2026  
 DATE:  
**TP 13**  
 SHEET NUMBER:



**CITY OF MARIBYRNONG  
 ADVERTISED PLAN**

# SHADOW ANALYSIS - 1pm (22 September)

AZM=19 deg ALT=50 deg

Scale 1:100

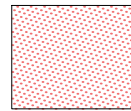
Overshadowing on SPOS of 6 Browning Street

Total POS 36 m2

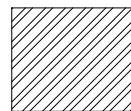
Existing OS 1.3 m2

Proposed OS 2.1 m2

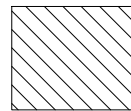
Sunlight Penetration 33.9 m2 (94%)



Shadows of Existing Fences



Shadows of Existing Buildings



Shadow of New Proposal

**BROWNING STREET**

EDGE

BACK

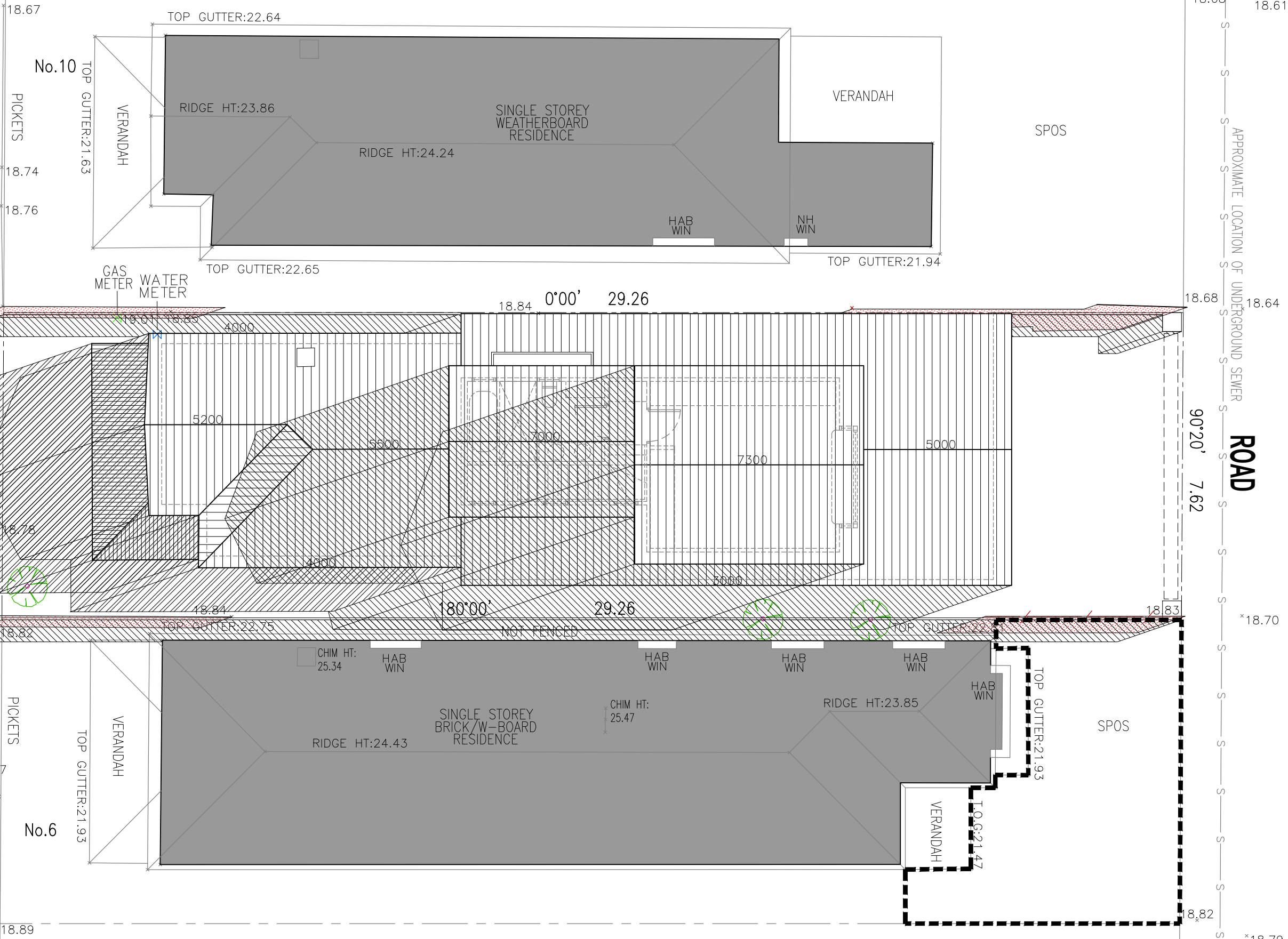
OF

POF

BITUMEN

KERB

CONCRETE FOOTPATH



A1 1:50 A3 1:100

**CITY OF MARIBYRNONG  
ADVERTISED PLAN**



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**Proposed Additions**  
**8 Browning Street - Seddon**

SCALE:  
2026  
DATE:  
TP 14  
SHEET NUMBER:

**AGA**

**Anthony G. and Associates P/L**  
Planning Architectural Project Management Interiors  
Ground Floor - 175 Rosslyn Street West Melbourne, Vic. 3003 Australia  
Tel: 03 9853 4853 Fax: 03 9855 1280 Email: info@anthonyg.com.au

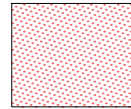
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# SHADOW ANALYSIS - 3pm (22 September)

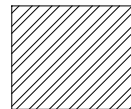
AZM=56 deg ALT=36 deg  
Scale 1:100

Overshadowing on SPOS of 6 Browning Street

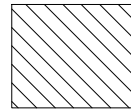
Total POS 36 m2  
Existing OS 5.9 m2  
Proposed OS 7.5 m2  
Sunlight Penetration 28.5 m2 (79%)



Shadows of Existing Fences



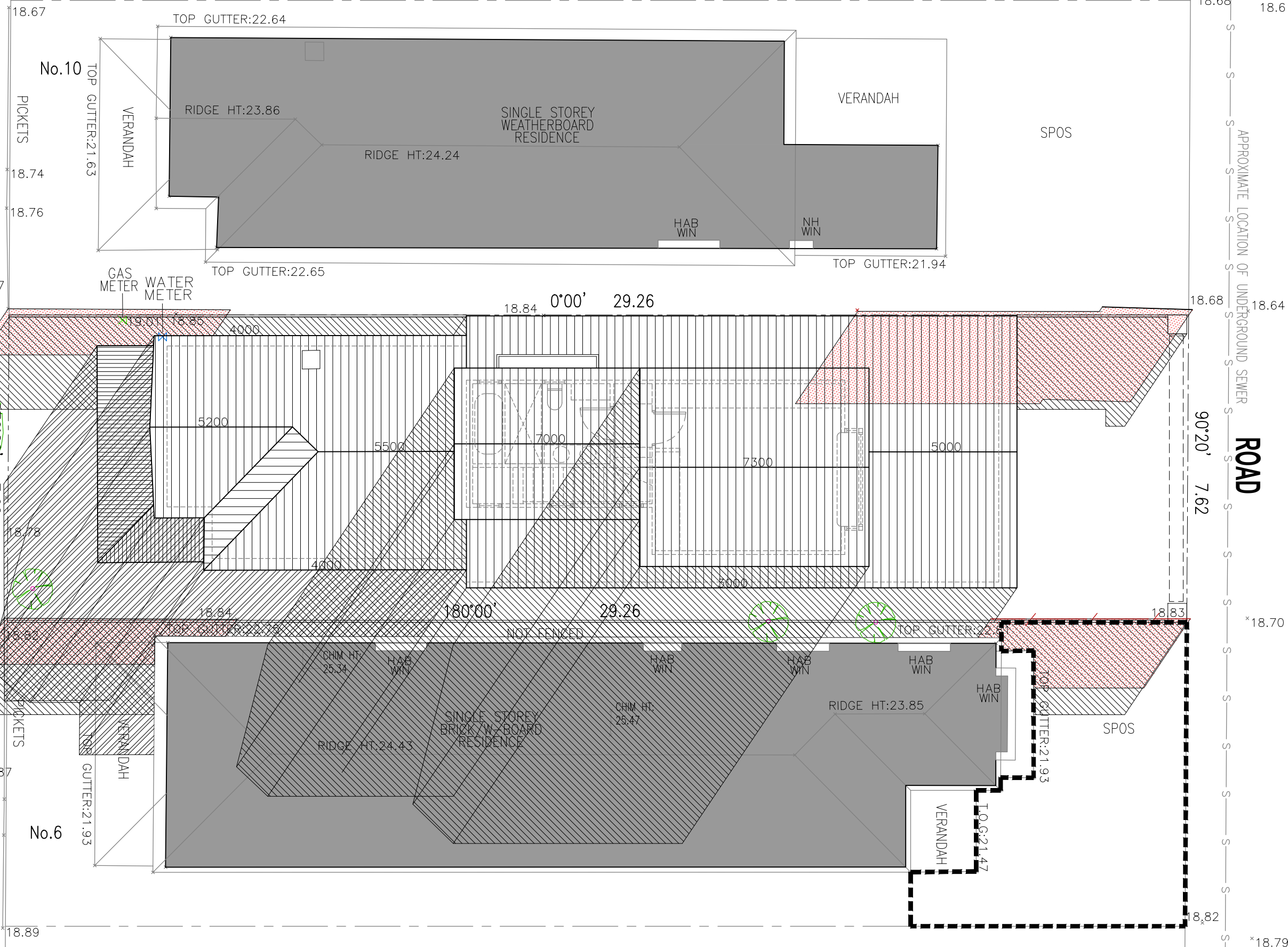
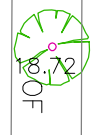
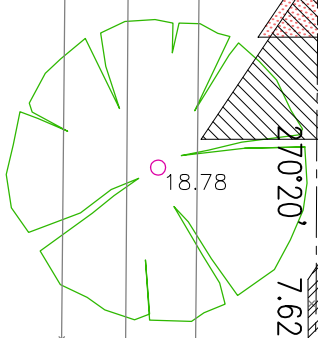
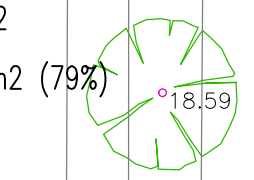
Shadows of Existing Buildings



Shadow of New Proposal

**BROWNING STREET**

EDGE OF BITUMEN  
BACK OF ROOF  
CONCRETE FOOTPATH  
KERB



APPROXIMATE LOCATION OF UNDERGROUND SEWER ROAD  
18.61  
18.64  
18.68  
18.70  
18.79  
90'20" 7.62

A1 1:50 A3 1:100

CITY OF MARIBYRNONG  
ADVERTISED PLAN



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**Proposed Additions**  
**8 Browning Street - Seddon**

SCALE:  
2026  
DATE:  
TP 15  
SHEET NUMBER:



Shrubs: Fic - Ficus Flash (6)



Feature Tree : LIn - Natchez



Shrubs: Fic - Ficus Flash (2)



Shrubs : ACI Mini Cob(5)



Ground Covers : SMan - Blue Chalk Sticks(15)



Ground Covers : SMan - Blue Chalk Sticks(12)



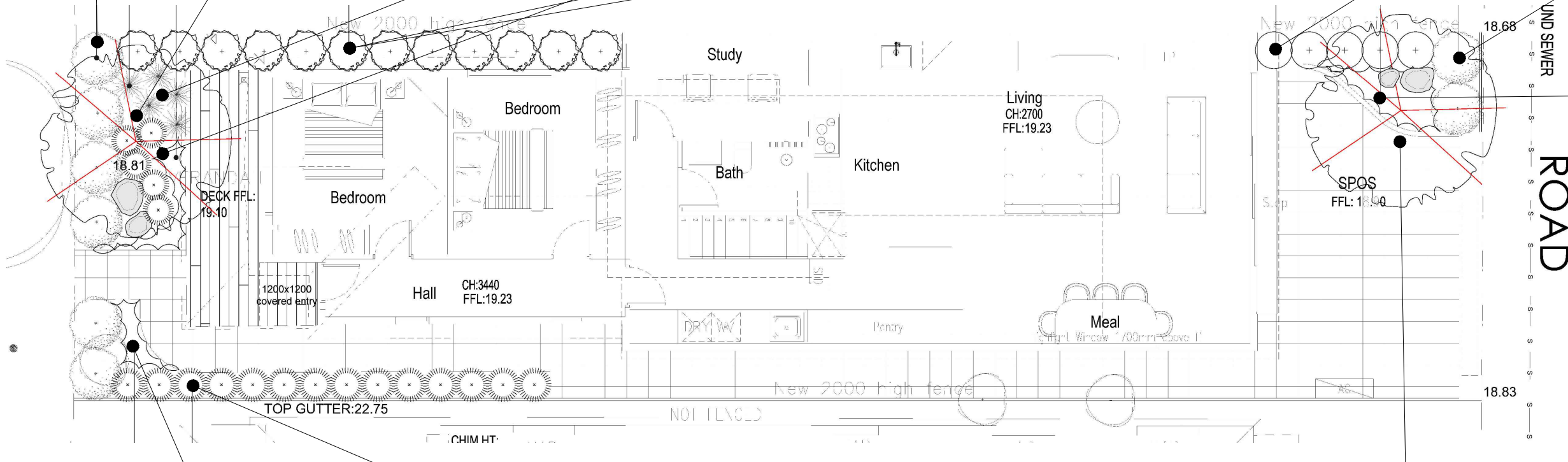
Ground Covers : VH - Native Violet(10)



Shrubs :CA - Costal Corea(5)



Shrubs: AC-NZ Rock Lily(10)



Ground Covers: LCc - Lime Tuff(10)



Shrubs : SLap-Mexican Sage(14)



Feature Tree : LIn - Natchez

LEGEND

- EXISTING TREE TO BE RETAINED
  - > REFER TO TREE PROTECTION NOTES AS REQUIRED
- EXISTING TREE TO BE REMOVED
  - > REFER TO ARBORIST REPORT & OR LOCAL AUTHORITY
- PROPOSED FEATURE TREE & ASSOCIATED TREE CODE
  - > REFER TO THE PLANT SCHEDULE & LANDSCAPE DETAILS PAGE FOR SPECIFIC TREE SCHEDULE & ALL INSTALLATION DETAILS
  - > ALL TREES PLANTED & STAKED WITHIN MULCHED RINGS & WATERED IMMEDIATELY AFTER INSTALL
- PROPOSED LAWN AREA
  - > TUFF BERMUDA OR APPROVED SIMILAR
  - > REFER TO LANDSCAPE DETAILS
- PROPOSED MULCHED GARDEN BEDS
  - > REFER TO PLANT CODE, PLANT SCHEDULE & ALL LANDSCAPE INSTALLATION DETAILS
- PROPOSED COMPACTED CRUSHED ROCK PATHWAY
  - > BAIRNSDALE TOPPINGS OR APPROVED SIMILAR
  - > REFER TO LANDSCAPE INSTALLATION DETAILS
- PROPOSED PERMEABLE PAVER DRIVEWAY/PATH
  - > COLOUR & MIX TBC BY CLIENT PRIOR TO INSTALL
  - > REFER TO ENGINEERS SETOUT & SPEC
- PROPOSED CIRCULAR CONCRETE STEPPERS
  - > ANSTON 400 - 1200mm PRE-CAST ROUND STEPPERS
  - > ATLAS, BONDI & OR VEGA - TBC BY CLIENT
- FEATURE LANDSCAPE ROCK BOULDERS
  - > VARYING SIZES: (MEDIUM - XLARGE)
  - > GRANITE BOULDERS OR PINK MUDSTONE
- PROPOSED 150x5MM METAL EDGING
  - TO ALL GARDEN BED & GRASS INTERFACES
  - > 250mm REO BARS FOR SUPPORT & SPOT WELD JOINS
- PROPOSED BOUNDARY FENCING
  - > TIMBER PALING FENCE OR SIMILAR
- EXTENT OF LANDSCAPE WORKS OR PAGE MATCHLINE

Landscape planting schedule

A1 1:50 A3 1:100

CITY OF MARIBYRNONG ADVERTISED PLAN



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Proposed Additions
8 Browning Street - Seddon

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SCALE:
2026
DATE:
TP 31
SHEET NUMBER:



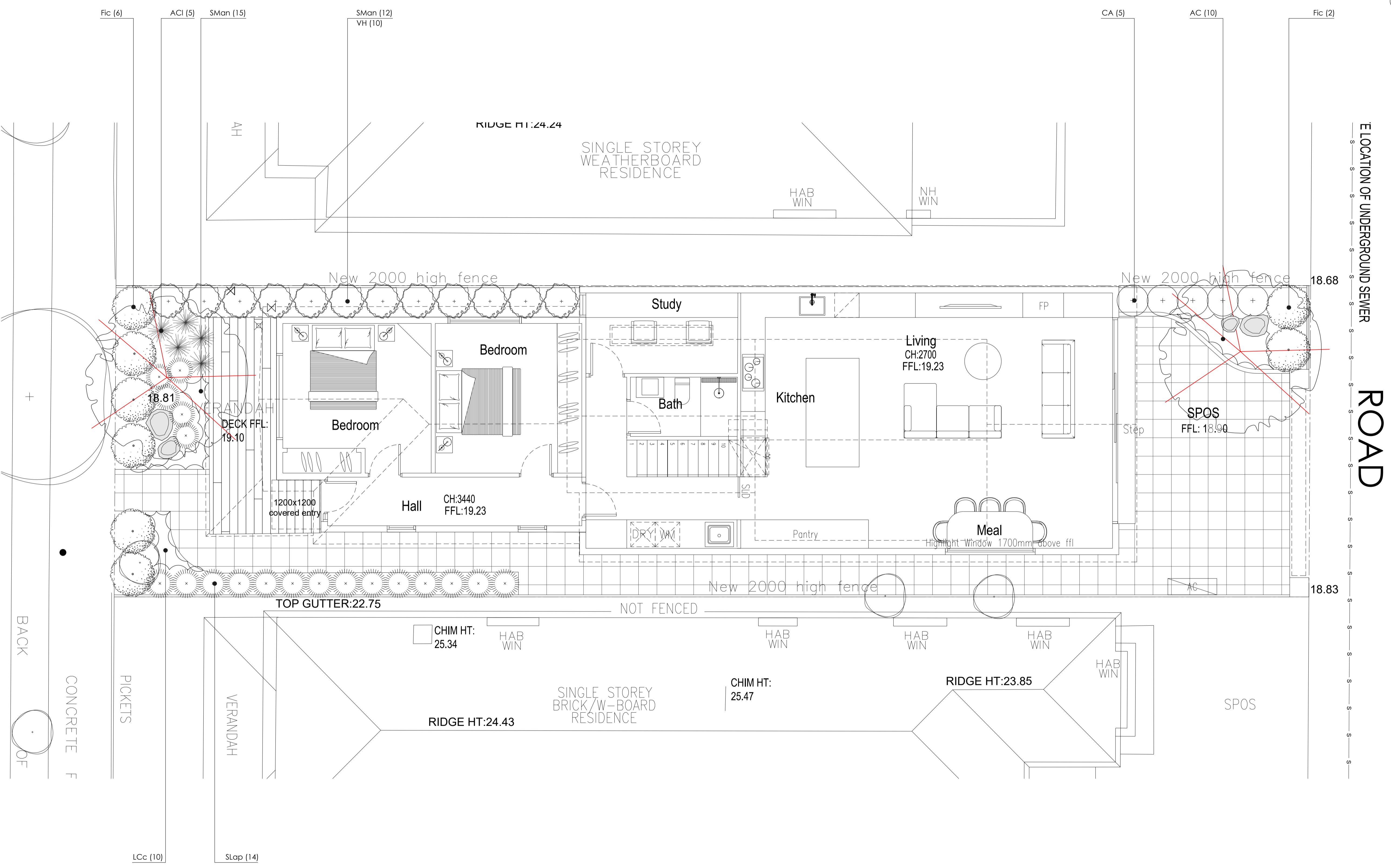




LEGEND

- EXISTING TREE TO BE RETAINED  
> REFER TO TREE PROTECTION NOTES AS REQUIRED
  - EXISTING TREE TO BE REMOVED  
> REFER TO ARBORIST REPORT & OR LOCAL AUTHORITY
  - PROPOSED FEATURE TREE & ASSOCIATED TREE CODE  
> REFER TO THE PLANT SCHEDULE & LANDSCAPE DETAILS PAGE  
> FOR SPECIFIC TREE SCHEDULE & ALL INSTALLATION DETAILS  
> ALL TREES PLANTED & STAKED WITHIN MULCHED RINGS & WATERED IMMEDIATELY AFTER INSTALL
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> REFER TO LANDSCAPE DETAILS
  - PROPOSED MULCHED GARDEN BEDS  
> REFER TO PLANT CODE, PLANT SCHEDULE & ALL LANDSCAPE INSTALLATION DETAILS
  - PROPOSED COMPACTED CRUSHED ROCK PATHWAY  
> BAIRNSDALE TOPPING OR APPROVED SIMILAR  
> REFER TO LANDSCAPE INSTALLATION DETAILS
  - PROPOSED PERMEABLE PAVER DRIVEWAY/PATH  
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  - PROPOSED BOUNDARY FENCING  
> TIMBER PALING FENCE OR SIMILAR
  - EXTENT OF LANDSCAPE WORKS OR PAGE MATCHLINE
- NOTE:  
SERVICE LOCATIONS ARE INDICATIVE ONLY. SERVICE LOCATION MUST BE VERIFIED ON SITE BY LANDSCAPE CONTRACTOR AND CHECKED WITH THE RESPONSIBLE AUTHORITY PRIOR TO COMMENCING WORK. VERIFY ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
- GAS
  - RECYCLED WATER
  - WATER
  - TELECOM
  - ELECTRICITY
  - STORMWATER DRAIN & PIT
  - SEWER & PIT

NOTE:  
TO HELP ENSURE A SUCCESSFUL DESIGN OUTCOME, PLA CAN PROVIDE AN ADDITIONAL ADMIN SERVICE TO HELP ASSIST YOU WITH LANDSCAPE CONSTRUCTION. THIS MAY INCLUDE A SCHEDULE OF WORKS GUIDE, AN ITEMISED OPINION OF PROBABLE COST (OPC), PROPOSED CONSTRUCTION TIMELINE & EVEN A LANDSCAPE TENDER SERVICE.  
PLA ONLY USES QUALITY RESIDENTIAL OR COMMERCIAL TEAMS TO HELP ENSURE ONGOING COMMUNICATION & A PROFESSIONAL FINISH. WE CAN ALSO HELP RECOMMEND OTHER BUILDERS, ELECTRICIANS, CONCRETE SPECIALISTS & A RANGE OF OTHER TRUSTED TRADES.  
PLEASE FEEL FREE TO CONTACT PENINSULA LANDSCAPE ARCHITECTS ANYTIME AS WE WOULD BE MORE THAN HAPPY TO HELP.  
DAN LENKO | DIRECTOR  
PENINSULA LANDSCAPE ARCHITECTS  
info@peninsulalandscape.com.au  
www.peninsulalandscape.com.au  
M: 0432 615 647



RESIDENTIAL & COMMERCIAL LANDSCAPE ARCHITECTURE  
PUBLIC & PRIVATE OPEN SPACE MASTERPLANS  
CONTEMPORARY LANDSCAPE DESIGN  
TOWN PLANNING & NATURE PLAY  
WWW.PENINSULALANDSCAPES.COM.AU  
INFO@PENINSULALANDSCAPES.COM.AU  
DANIEL LENKO (MLA\_RMII) | M: 0432 615 647

ISSUE:	DATE:	REVISION:	APPROVED:
A	09/02/26	LA DESIGN PACKAGE	DL



CONCEPT PLAN ONLY  
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PLA PROJECT: CONCEPT LANDSCAPE DESIGN	PROJECT DATE: FEB 2026	NORTH POINT: SCALE: 1: 50 @ A1 1: 100 @ A3
SITE ADDRESS: 8 BROWNING STREET, SEDDON, VIC	CLIENT: ANTHONY G & ASSOCIATES	
PAGE TITLE: LANDSCAPE PLAN	PLA JOB REFERENCE: 26-2212	REVISION: A PAGE: L2

CITY OF MARIBYRNONG  
ADVERTISED PLAN

# PLANTING SCHEDULE

TREES						
CODE	BOTANIC NAME	COMMON NAME	H	W	PLANTED SIZE	QTY
LIn	Lagerstroemia indica	'Natchez'	8.00	4.00	2.0M TALL	2
GRASSES & GROUND COVERS						
CODE	BOTANIC NAME	COMMON NAME	H	W	PLANTED SIZE	QTY
AC	Arthropodium cirratum	New Zealand Rock Lily	0.60	1.00	350 DIA POT	10
LCC	Lomandra confertifolia	LIME TUFF	0.30	0.30	250 DIA POT	10
SMan	Senecio mandraliscae	BLUE CHALK STICKS	0.30	0.75	250 DIA POT	27
VH	Viola hederacea	NATIVE VIOLET	0.15	0.50	150 DIA POT	10
SHRUBS						
CODE	BOTANIC NAME	COMMON NAME	H	W	PLANTED SIZE	QTY
ACI	Acacia cognata	MINI COG	1.00	1.00	250 DIA POT	5
CA	Correa alba	COASTAL CORREA	1.50	1.50	250 DIA POT	5
Fic	Ficus microcarpa hillii 'Flash'	Ficus Flash	5.00	2.50	250 DIA POT	8
Slap	Salvia leucantha	Mexican sage	1.00	1.00	250 DIA POT	14

# TREE PROTECTION NOTES

(Ref - AS 4970-2009 Protection of Trees on Development Sites)

Tree protection zones (TPZ) must be established to ensure the successful retention of trees on any development site. The intention of a TPZ is to provide adequate root space to sustain the health and stability of the tree while minimising physical damage and changes to the tree's growing environment.

The TPZ is a combination of the root area and crown area requiring protection.

The Structural or Critical Root Zone (CRZ) is the area within the TPZ that is required for tree stability.

**Determining the TPZ and CRZ**  
The TPZ is a radius around the tree and is calculated for each tree using the DBH, which is the diameter of the trunk at breast height (1.4m from the ground). The TPZ radius is equal to 12 times DBH. The TPZ should not be less than 2.0m nor greater than 15.0m (unless as notified by a qualified arborist or responsible authority). The TPZ of palms, monocots, cycads or tree ferns should not be less than 1.0m outside the crown projection. The CRZ is calculated when major encroachment within the TPZ is proposed and is detailed in AS 4970-2009.

**Variations to the TPZ**  
Encroachment or variations to the TPZ including excavation, compacted fill and machine trenching are possible but must be in accordance with AS 4970-2009.

**Minor encroachment**  
If proposed encroachment is less than 10% of the area of the TPZ and is outside the SRZ, detailed root investigation should not be required. The area lost to this encroachment must be compensated for elsewhere and contiguous with the TPZ as per AS 4970-2009.

**Major encroachment**  
If the proposed encroachment is greater than 10% of the TPZ or inside the SRZ, a qualified arborist must demonstrate that the tree(s) would remain viable.

**TPZ encroachment considerations**  
Any construction or excavation that involves encroachment within any TPZ must first be approved by a qualified arborist and the local authority. Alternative construction methods should be employed. These include screw piles, pier & beam footings, cantilevered slabs and waffle slabs. Strip footings must not be used. Paving constructed within the TPZ of any tree must be porous in nature. All underground services must be provided outside the canopy drip-line and TPZ of any existing trees on site or adjoining properties.

Excavation must be undertaken by hand within the TPZ and any tree roots greater than 30mm in diameter encountered within the TPZ must be inspected by a qualified arborist and/or the responsible authority before any pruning occurs. Pruning of any tree root greater than 30mm diameter must be undertaken by a qualified arborist.

**Tree protection measures**  
Protective fencing must be erected before any machinery or materials are brought on site and before commencement of works, including demolition. An immovable protective fence to 1.8m must be constructed around the TPZ in accordance with AS 4970-2009.

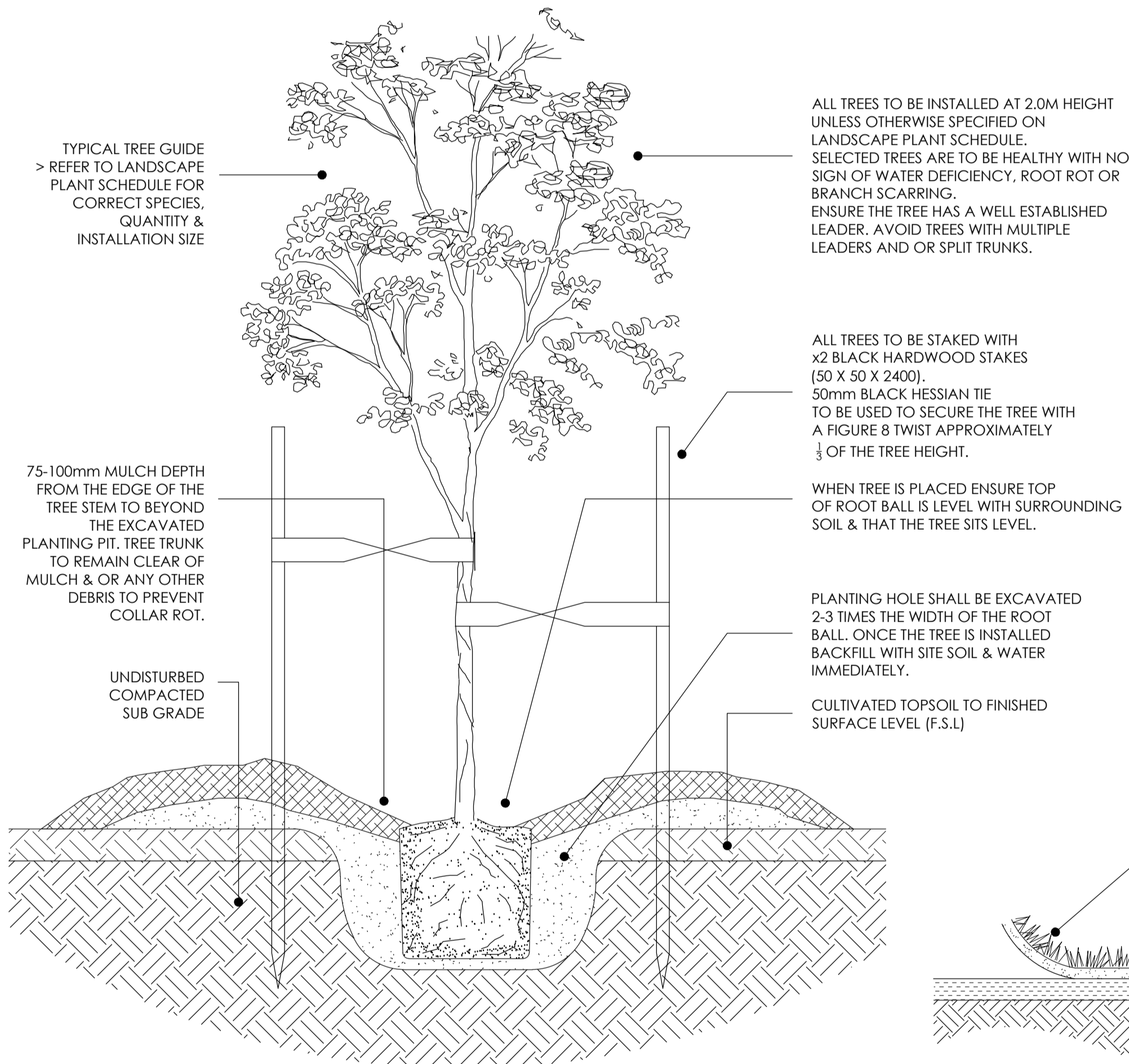
Where work is to occur within a TPZ, the protective fencing may be relocated as approved by a qualified arborist and/or the responsible authority. Protective fencing must only be moved the minimum distance necessary for this work to occur. The base of a tree to be retained is to be decompacted, weeded, fertilised and provided with a layer of organic mulch 50-100mm deep for the duration of construction. Soil moisture levels should be regularly monitored and temporary irrigation installed if required.

**The following activities are not permitted within the fenced area:**

- Alteration of existing soil level, compaction of soil or changing of soil drainage
- Storage of equipment, machinery or materials
- Storage or disposal of fuel, oils, chemicals, poisons, rubbish or other materials
- Use of open trenching to lay underground services unless approved by the responsible authority
- Severing or injuring of free roots
- Vehicle or pedestrian access
- Attaching of anything whatsoever, including temporary services wires, nails, screws or other fixing devices
- Construction of any building or structure
- Use of machinery to remove existing concrete, bricks or material

# LANDSCAPE NOTES

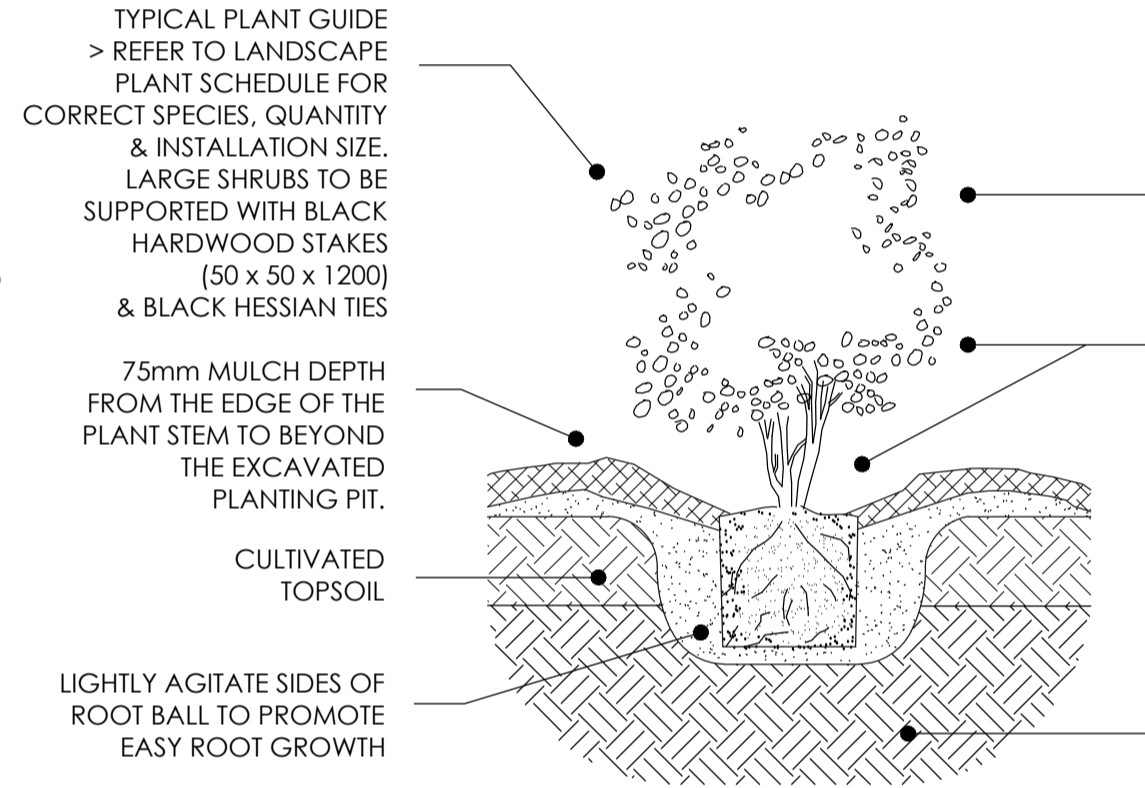
- This landscape package is not to be used as working drawings and all details, engineering and setout is to be certified by others
- Contractor to verify location of all underground services prior to commencement of work.
- Remove weeds from all areas shown on the drawings as garden bed and lawn. Herbicide to be used sparingly.
- Grade site into garden beds, lawn or gravel areas. Adjust grading accordingly when water tracks or ponding is apparent.
- Determine pH of soil using pH kit available at most nurseries. The soil should have a pH slightly acidic to neutral (pH - 5.5 to 7.0). If outside of this range contact your local nursery to obtain advice on improving the pH level. Plant tolerance of high or low pH varies.
- Clay soils should be checked for responsiveness to gypsum which can allow plant roots to penetrate the soil. If required, add gypsum according to manufacturer's directions.
- Minimise cultivation of existing soil and improve with organic material such as well rotted manures, soil improvers or compost prepared to AS-4454-2003. Top dress existing soil with this matter and cover with mulch. If existing topsoil is not available then imported topsoil that complies with AS 4419-2003 should be used.
- Plant selection shall be as per the plant schedule in locations as shown on the drawings. Plant quantities are to be confirmed by the contractor and any discrepancies between the plant schedule and plan are to be reported to the relevant authority or Architect before proceeding. Plants are to have well developed root systems and be free of pest and disease.
- A drip watering system should be installed to all garden beds and connected to a rainwater tank if available. If unavailable, a rainwater tank should be sized and installed as per plumbing regulations and local guidelines. Builder to confirm location and style on site.
- Apply organic mulch to all garden bed areas to a depth of 75mm as per planting details. Recommended sources of mulch should be Pine or local common Eucalyptus. Rare timbers such as Red Gum or Jarrah should not be used.
- Seasol is an ideal fertiliser to apply upon initial planting. Seasol targets roots and promotes healthy & balanced growth. Phostogen is an ideal liquid fertiliser that can be applied to the entire garden every three months. Individual plant species have varying requirements. Consult your local nursery for advice.
- All timber products to be treated pine, recycled or plantation grown. Jarrah, Red Gum or Native (White) Cypress Pine (Callitris columellaris) should not be used unless demonstrated that they are a recycled product.
- Stake trees for one to two years as per detail. Use two or three 50x50x1800 HW stakes per tree and fasten with 50mm fabric ties.
- All climbers require wire or trellis climbing frame to be attached to the adjacent surface.
- Unless otherwise noted on plan, use timber edging as per detail between all garden bed, crushed rock paths & lawn areas.
- Areas shown as lawn on the drawings are to be re-graded to provide smooth contours and raked to remove soil clods and rubble. It is recommended that lawn areas be seeded with non-invasive grass species such as: Queensland Blue-Grass (Dianthem sericeum), Red-leg Grass (Bothriochloa macra), Weeping Grass (Microlaena stipoides), Creeping Bent Grass (Agrostis stolonifera), Clustered Wallaby Grass (Danthonia racemosa), Kentucky Blue-Grass (Poa pratensis), Tall Fescue (Festuca arundinacea). Water lawn areas during establishment in accordance with State guidelines as advised by Local Water Authority.
- Follow-up maintenance should be undertaken every 4-6 weeks for 2 years following establishment. Dead or diseased plants should be replaced. Continue to monitor for weed species and remove as required. Eradicate any pest animals or insects. Continue to water plants according to individual species' moisture needs, seasonal conditions and as advised by Local Water Authority. All plants and trees to be monitored and pruned as required, according to AS 4373 (Pruning of Amenity Trees). Mulch to be replenished annually in Spring.



LANDSCAPE DETAIL: 1~ L3

## TREE PLANTING DETAIL (TYP)

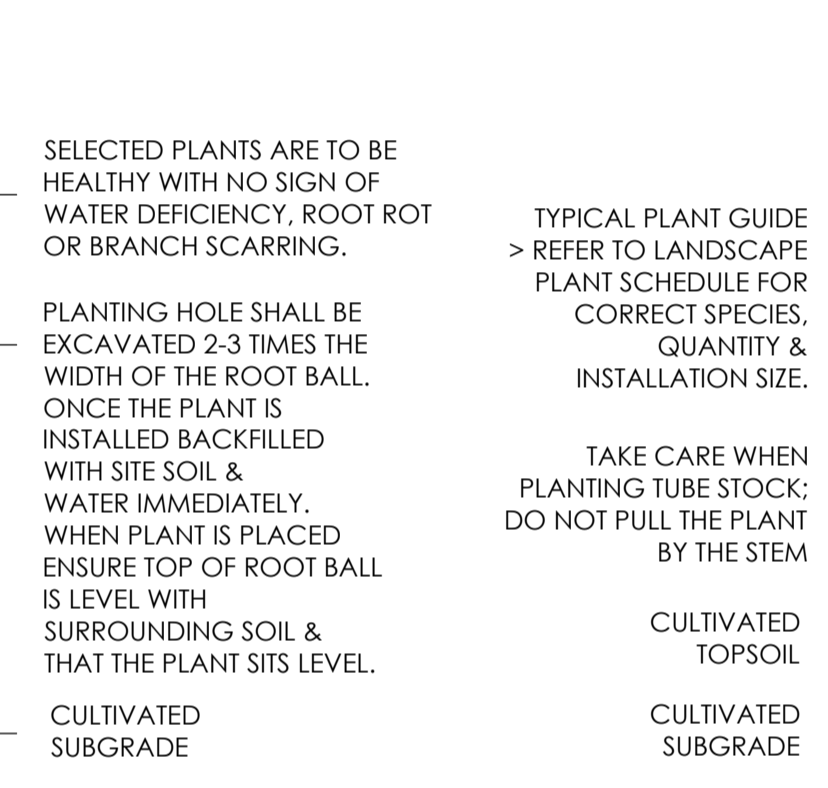
SECTION  
DETAIL 1:10



LANDSCAPE DETAIL: 2~ L3

## SHRUB PLANTING DETAIL (TYP)

SECTION  
DETAIL 1:10

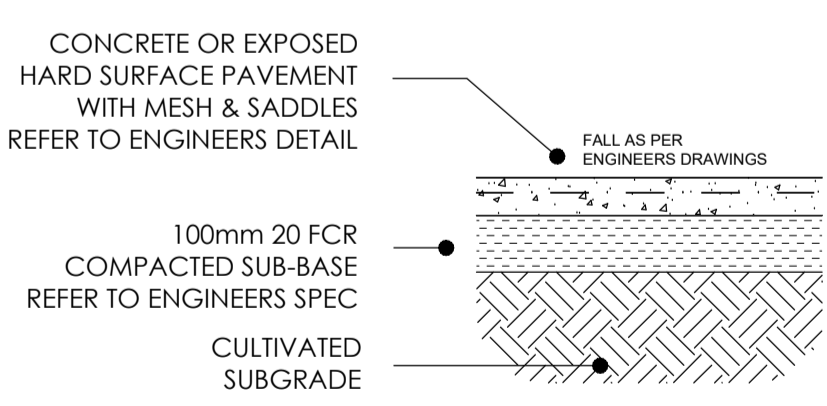


LANDSCAPE DETAIL: 3~ L3

## TUBE STOCK PLANTING DETAIL (TYP)

SECTION  
DETAIL 1:10

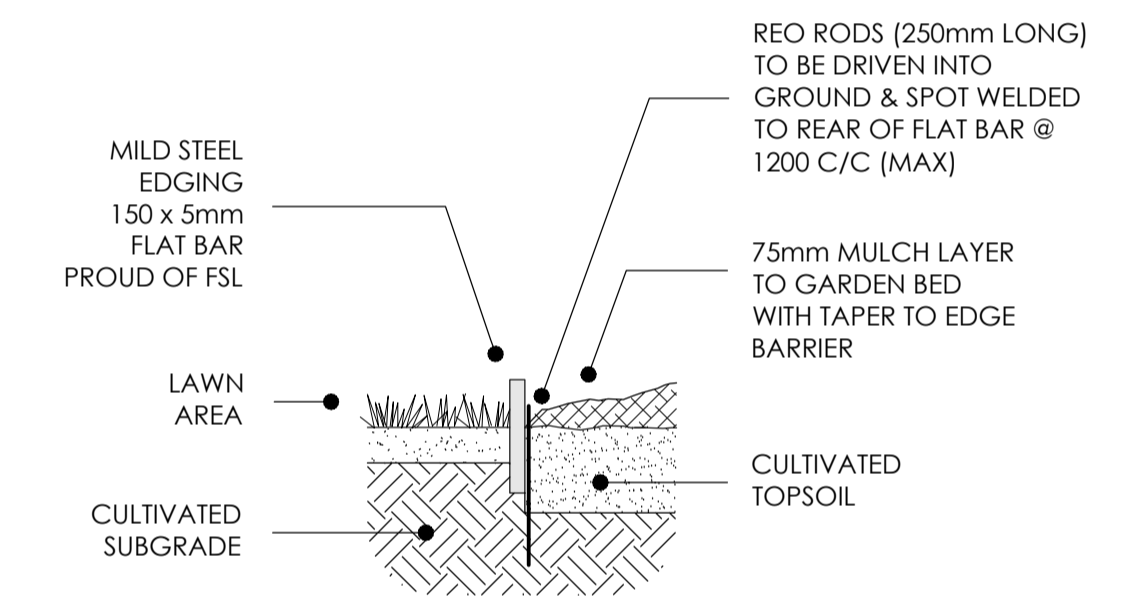
JOINT TABLE GUIDE		
PATH WIDTH	SAW CUT CENTRES	EXPANSION JOINT CENTRES
1.2m	1.5m	9m
1.8m	2.0m	10m



LANDSCAPE DETAIL: 7~ L3

## CONCRETE SURFACE DETAIL (TYP)

SECTION  
DETAIL 1:10

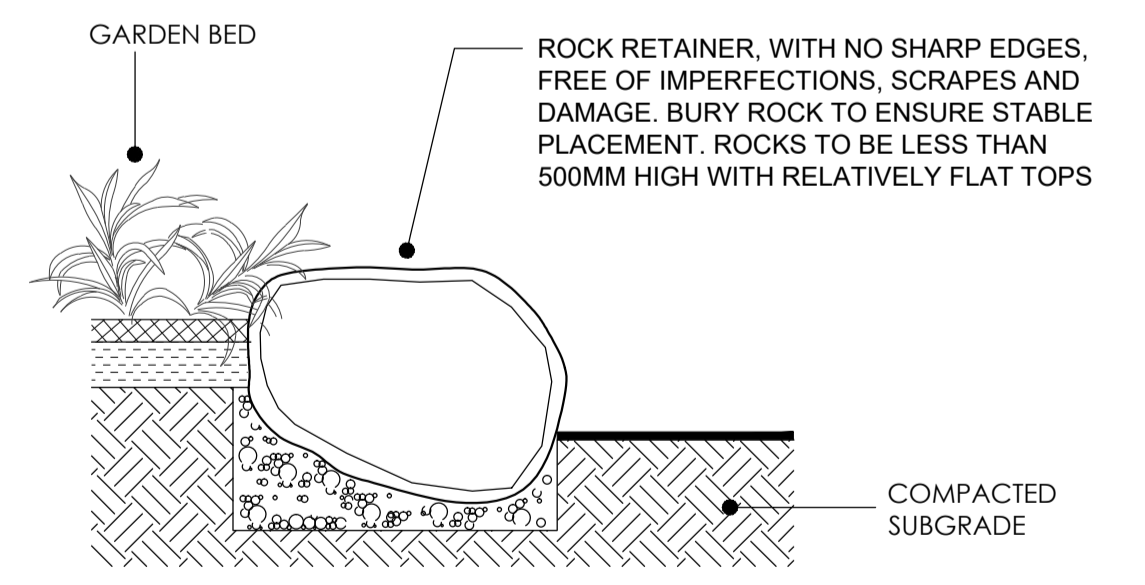


LANDSCAPE DETAIL: 4~ L3

## METAL EDGING DETAIL (TYP)

SECTION  
DETAIL 1:10

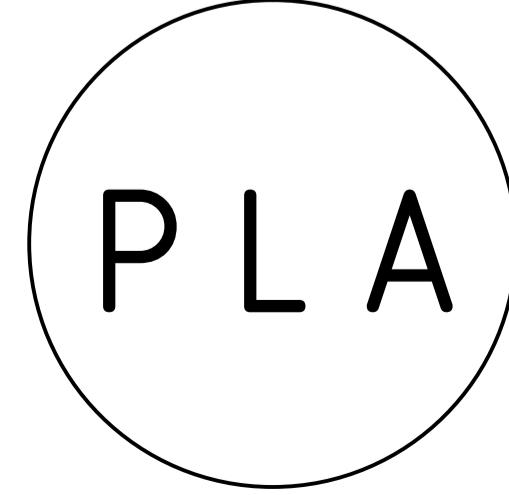
NOTE: CONTRACTOR IS TO ENSURE STABLE ROCK PLACEMENT WITH NO LOOSE ROCKS. BURY ROCKS SECURELY INTO CUT (1/3 MIN. EMBEDMENT)



LANDSCAPE DETAIL: 8~ L3

## ROCK DETAIL (TYP)

SECTION  
DETAIL 1:20



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ISSUE:	DATE:	REVISION:	APPROVED:
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## CONCEPT PLAN ONLY

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PLA PROJECT: CONCEPT LANDSCAPE DESIGN	PROJECT DATE: FEB 2026	NORTH POINT: SCALE: 1: 100 @ A1 1: 200 @ A3
SITE ADDRESS: 8 BROWNING STREET, SEDDON, VIC	CLIENT: ANTHONY G & ASSOCIATES	
PAGE TITLE: PLANTING SCHEDULE & LANDSCAPE DETAILS	PLA JOB REFERENCE: 26-2212	REVISION: A PAGE: L3

**CITY OF MARIBYRNONG  
ADVERTISED PLAN**