



FRONT OF DWELLING



REAR OF DWELLING



EAST SIDE LOOKING NORTH



WEST SIDE OF DWELLING LOOKING SOUTH

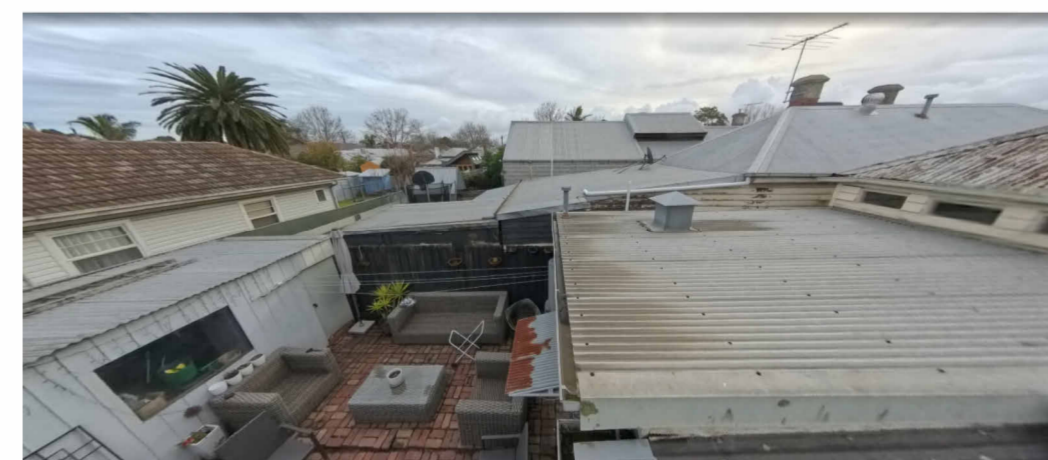


REAR YARD LOOKING EAST

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



REAR YARD LOOKING SOUTH



REAR YARD LOOKING WEST



No 21A BROWNING STREET, SEDDON

SUBJECT SITE

No 25 BROWNING STREET, SEDDON

- LEGEND:**
- INDICATES ITEMS TO BE DEMOLISHED
 - TPZ- TREE PROTECTION ZONE (TPZ)
 - SRZ- STRUCTURAL ROOT ZONE (SRZ)
 - INDICATES LOCATION OF EXISTING TREE TO BE REMOVED

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

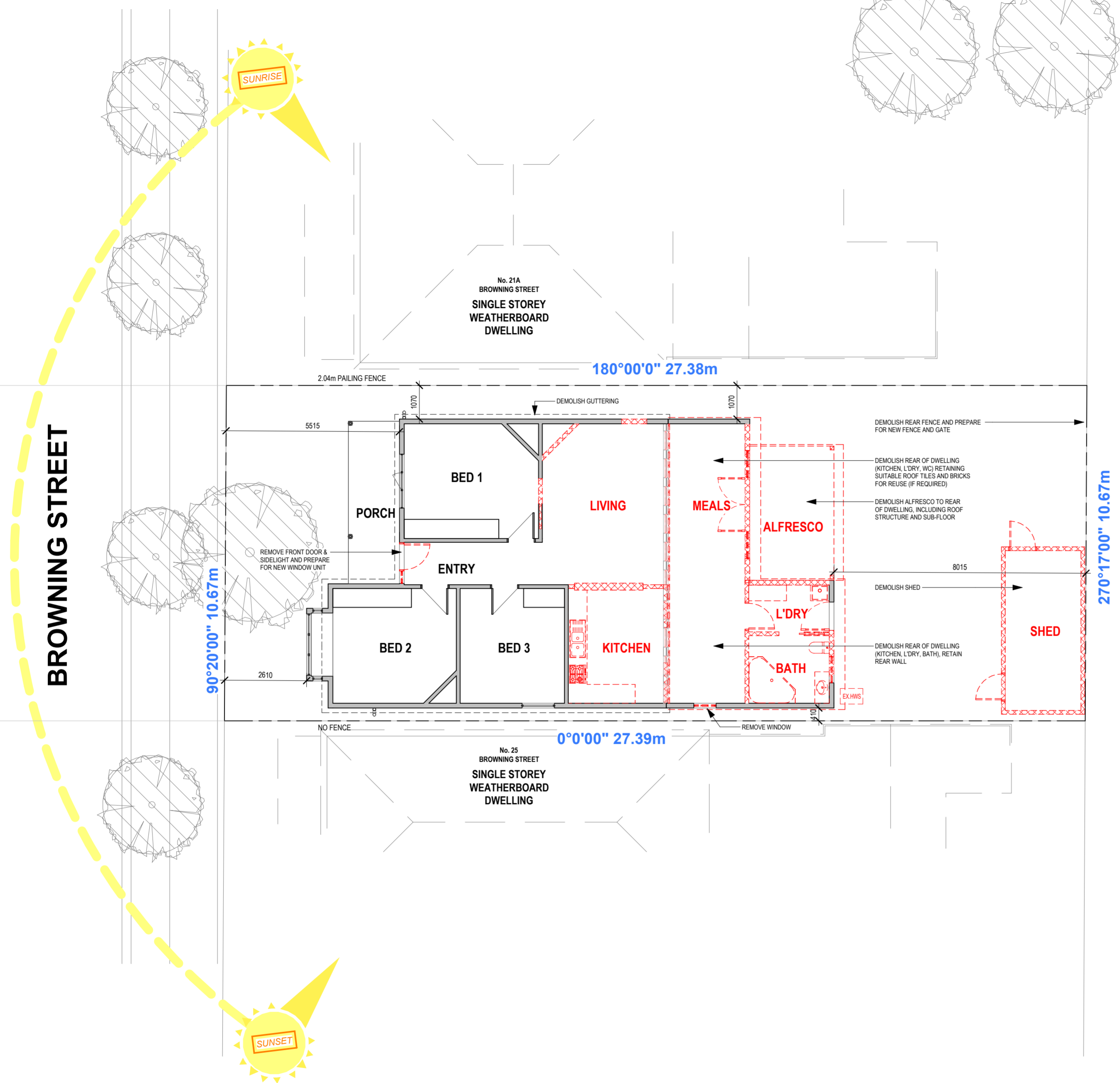
CLIMATE ZONE
 CLIMATE ZONE 6
 THE LOCATION OF MELBOURNE IS DEFINED AS CLIMATE ZONE 6. FOUR DISTINCT SEASONS, HIGH DIURNAL (DAY/NIGHT) TEMPERATURE RANGE INLAND, COLD TO VERY COLD WINTERS WITH MAJORITY OF RAINFALL, HOT DRY SUMMER, LOW HUMIDITY.

STORMWATER
 NEW DOWNPIPES CONNECTED TO EXISTING STORM WATER SYSTEM TO LOCAL AUTHORITIES REQUIREMENTS

SITE NOTES
 EXTERNAL F.G.L. TO BE GRADED AWAY FROM BUILDING AND DRAINED TO PREVENT WATER PONDING AND PENETRATING ONTO FOOTINGS.
 BUILDER/CONTRACTOR TO ENSURE THAT SIGNIFICANT & ADEQUATE PROTECTION OF ADJOINING PROPERTIES AND COUNCIL UTILITIES ARE IN PLACE PRIOR TO ANY EXCAVATION WORKS WHERE REQUIRED.
 BUILDER TO ENGAGE A LICENSED LAND SURVEYOR TO CHECK AND VERIFY ALL DIMENSIONS/SETBACKS AND SETOUT ON SITE TO LOCATE PROPOSED BUILDING WORKS PRIOR TO COMMENCEMENT OF ANY WORKS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE. DO NOT SCALE. ARCHITECTURAL DRAWINGS TO BE VIEWED AND READ IN CONJUNCTION WITH ALL ENGINEERS DRAWINGS AND DETAILS, AND ANY OTHER CONSULTANTS DOCUMENTATION AND PERMITS AS PART OF THIS BUILDING PERMIT. BOLTHOLE DESIGN & DRAFTING'S APPROVAL TO BE OBTAINED BEFORE ANY VARIANCE FROM THESE DRAWINGS.
 BUILDER/CONTRACTOR TO ENSURE THAT ALL SERVICES ARE LOCATED CLEARLY IDENTIFIED AND TERMINATED (OR PROTECTED) PRIOR TO ANY DEMOLITION WORKS.
 ALL DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES SHEET.

TITLE BOUNDARY
 TITLE: 23 BROWNING STREET, SEDDON 3011
 VOLUME: 08239 FOLIO NUMBER: 455
 AREA: 292.20m²
 SITE BOUNDARIES BASED ON TITLE INFORMATION ONLY. TITLE BOUNDARIES HAVE NOT BEEN RE-ESTABLISHED BY A LICENSED LAND SURVEYOR.

PLANNING
 ZONE: NEIGHBOURHOOD RESIDENTIAL ZONE (NRZ1)
 A PERMIT REQUIRED TO CONSTRUCT OR EXTEND ONE DWELLING ON A LOT UNDER 500 SQUARE METRES.
 THERE ARE NO ADDITIONAL CLAUSE 54 REQUIREMENTS SPECIFIED IN THE SCHEDULE TO THE ZONE.
 MAXIMUM BUILDING HEIGHT MUST NOT EXCEED 9.0M (OR 10.0M WHERE SLOPE CONDITIONS ARE MET)



EXISTING CONDITIONS & DEMOLITION PLAN
 SCALE: 1 : 100

BOLTHOLE DESIGN & DRAFTING
 PH: 0415 200 422
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REGISTERED
 Building Practitioner

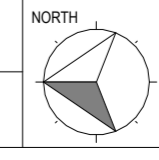


ISSUE	DETAILS	DATE
C1	ISSUED WITH CHIMNEY ADJUSTMENT	27.03.26
C	ISSUED RESPONSE TO RFI	20.02.26
B	ISSUED FOR PLANNING APPLICATION	23.12.25
A	ISSUED FOR PLANNING REVIEW	09.12.25
R	ISSUED KITCHEN FLIP OPTION	29.07.25
S	ISSUED WITH BUILD OUT ALFRESCO	25.07.25
4	ISSUED SMALLER SCOPE OPTION	20.06.25

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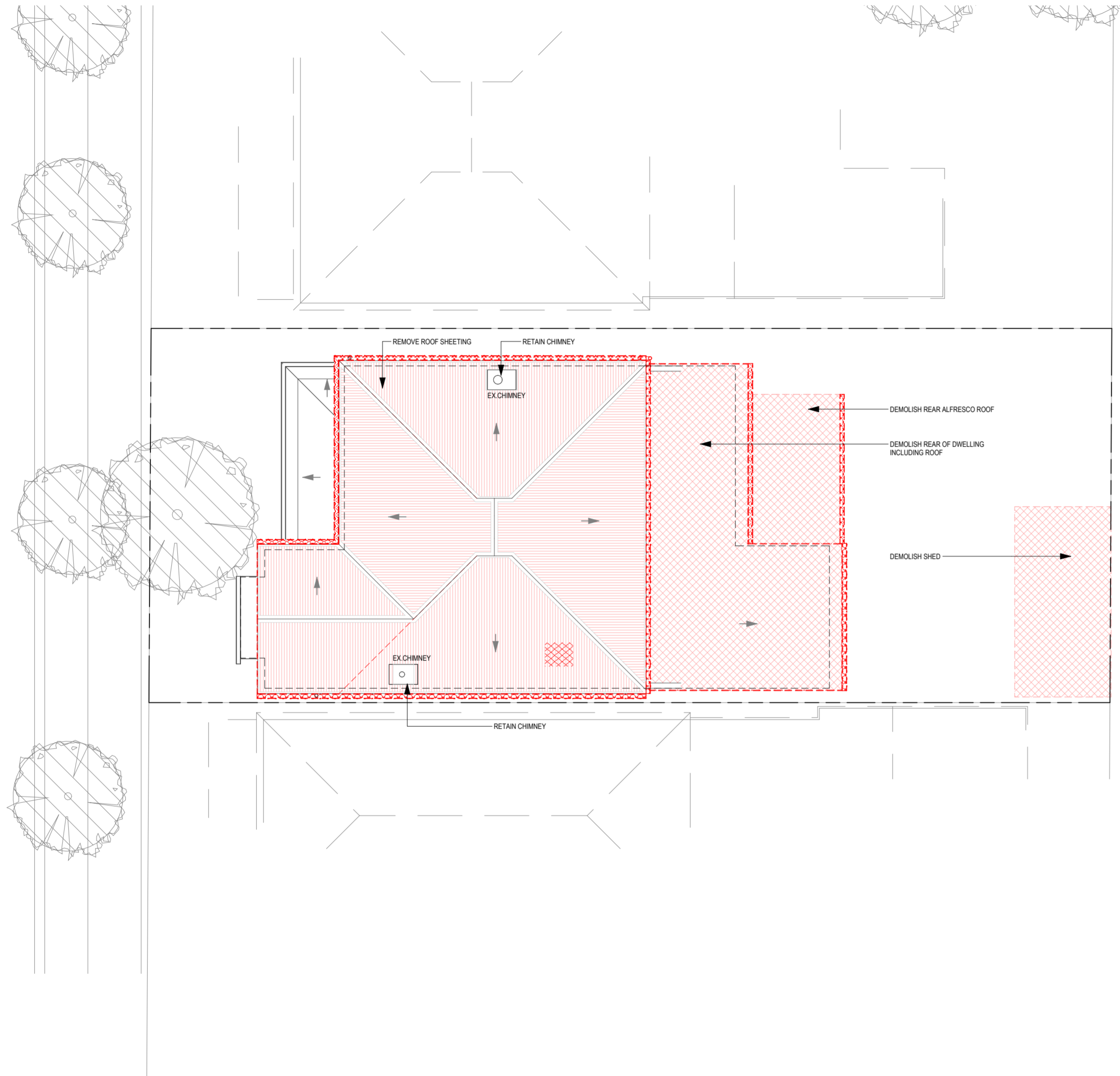
PROPOSED ALTERATIONS & ADDITIONS
 SITE ADDRESS
 23 BROWNING STREET, SEDDON 3011

SHEET CONTENT
 SITE PLAN & EXISTING CONDITIONS
 CLIENT
 NEROLEE DANIHER & JAMES MITCHELL



SCALE
 AS SHOWN @ A2
DRAWING NUMBER
 02 OF 07

REVISION:
 C1
DRAWN BY
 JD
DESIGN
 JD
JOB NUMBER
 BH1083
DATE
 27.03.26



**CITY OF MARIBYRNONG
ADVERTISED PLAN**

EXISTING ROOF PLAN

SCALE: 1 : 100

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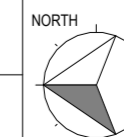


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NEROLEE DANIHER & JAMES MITCHELL

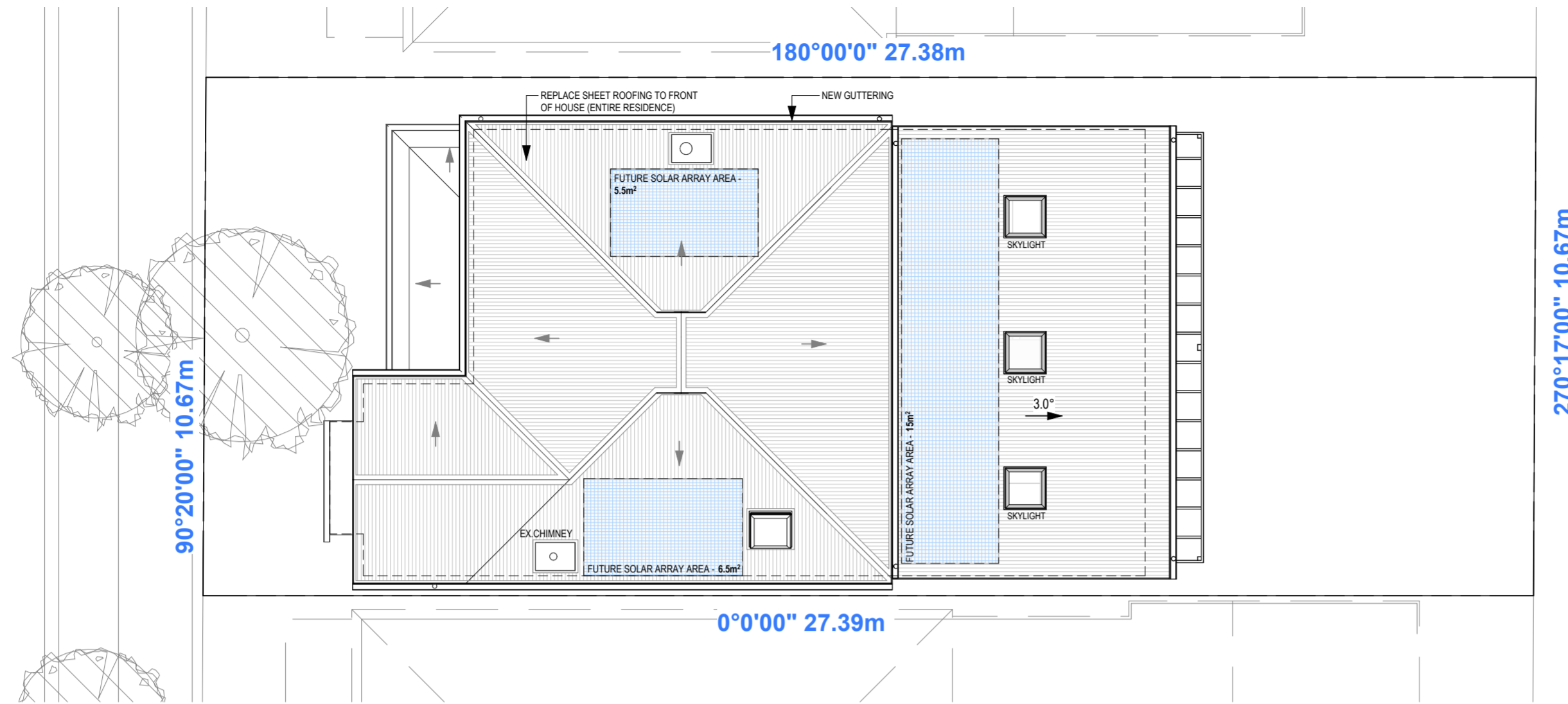


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REVISION:
C1

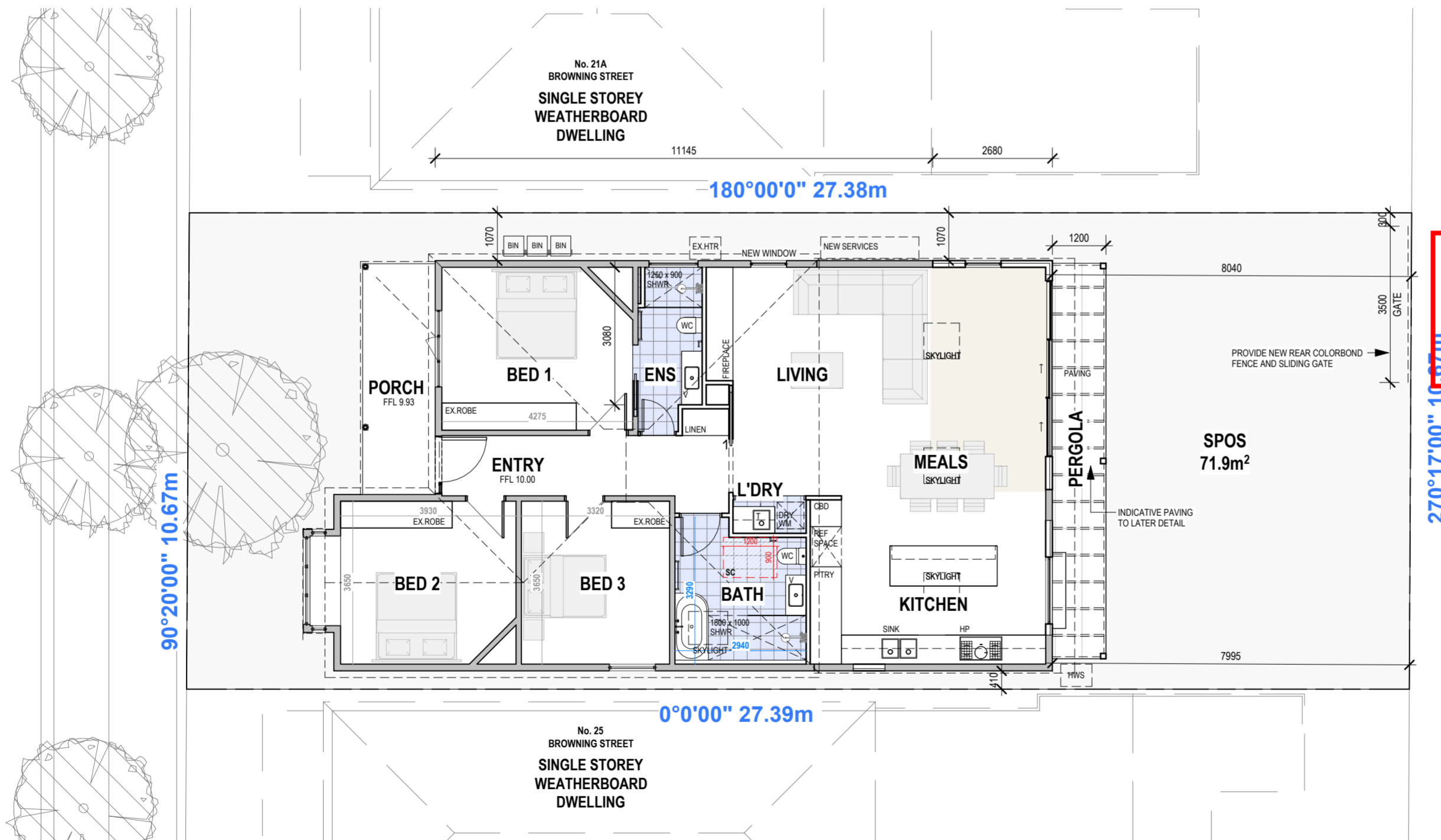
DRAWN BY JD	JOB NUMBER BH1083
DESIGN JD	DATE 27.03.26

BROWNING STREET



EXISTING ROOF PLAN
SCALE: 1 : 100

BROWNING STREET



GROUND FLOOR PLAN
SCALE: 1 : 100

LEGEND:

- INDICATES EXISTING WALLS TO BE RETAINED
NOMINAL EXISTING WALL THICKNESS:
INTERNAL: 120mm
EXTERNAL: 150mm (WEATHERBOARD)
- INDICATES NEW 150mm WEATHERTEX WEATHERGROOVE SMOOTH 150 WALL WITH PLASTERBOARD LINING INTERNALLY
- INDICATES NEW 90mm TIMBER WALLS WITH PLASTERBOARD LINING
- DENOTES LOCATION OF A FULL-HEIGHT BRICKWORK EXPANSION JOINTS IN ACCORDANCE WITH AS 3700 AND SOIL REPORT RECOMMENDATIONS
- INDICATES SELECTED TILE FLOORING
- CEILING MOUNTED SMOKE DETECTOR IN ACCORDANCE WITH AUSTRALIAN STANDARD (AS) 3786-2014 HARD WIRED TO MAINS SUPPLY WITH 9 VOLT BATTERY BACK-UP & INTERCONNECTED. (IF EXISTING SMOKE DETECTOR IN VICINITY, RETAIN IF SUITABLE)
- INDICATES CEILING MOUNTED EXHAUST FAN DUCTED DIRECTLY OUTSIDE IN ACCORDANCE WITH NCC PART H4D7
- INDICATES PROPOSED LOCATION OF NEW 90mm CIRCULAR PVC DOWNPIPE
- INDICATES LOCATION OF A SPREADER ATTACHED TO A DOWNPIPE
- INDICATES PROPOSED LOCATION OF NEW SELECTED RAINWATER HEAD TO 90mm CIRCULAR PVC DOWNPIPE
- INDICATES LOCATION WATER METER
- INDICATES LOCATION OF GAS METER
- INDICATES LOCATION OF METERBOX
- INDICATES LOCATION OF HOT WATER SYSTEM
- INDICATES LOCATION OF LETTERBOX
- INDICATES LOCATION OF GARBAGE / RECYCLING / GREEN WASTE / GLASS BINS

AREA SCHEDULE

EXISTING BUILDING AREA SCHEDULE:

GROUND FLOOR (EX)	123.85 m ²
SHED (EX)	14.11 m ²
ALFRESCO (EX)	11.44 m ²
PORCH	8.41 m ²

EXISTING LAND AREA SCHEDULE:

SITE AREA:	292.19 m ²
SITE COVERAGE	54.01% OR 157.81 m ²
PERMEABLE AREA	45.99% OR 134.38 m ²

PROPOSED BUILDING AREA SCHEDULE:

GROUND FLOOR	137.60 m ²
PERGOLA (NEW)	10.63 m ²
PORCH	8.41 m ²

PROPOSED LAND AREA SCHEDULE:

SITE AREA:	292.19 m ²
SITE COVERAGE	54.74% OR 159.95 m ²
STANDARD A5	60% (MAX) OR 175.31 m ²
PERMEABLE AREA	50.09% OR 146.35 m ²
STANDARD A6	20% (MIN) OR 58.43 m ²

MINIMUM GARDEN AREA

LOT SIZE UNDER 400m² NO MINIMUM AREA REQUIREMENT

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AREA: 292.19m²

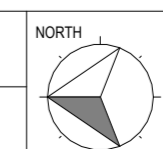
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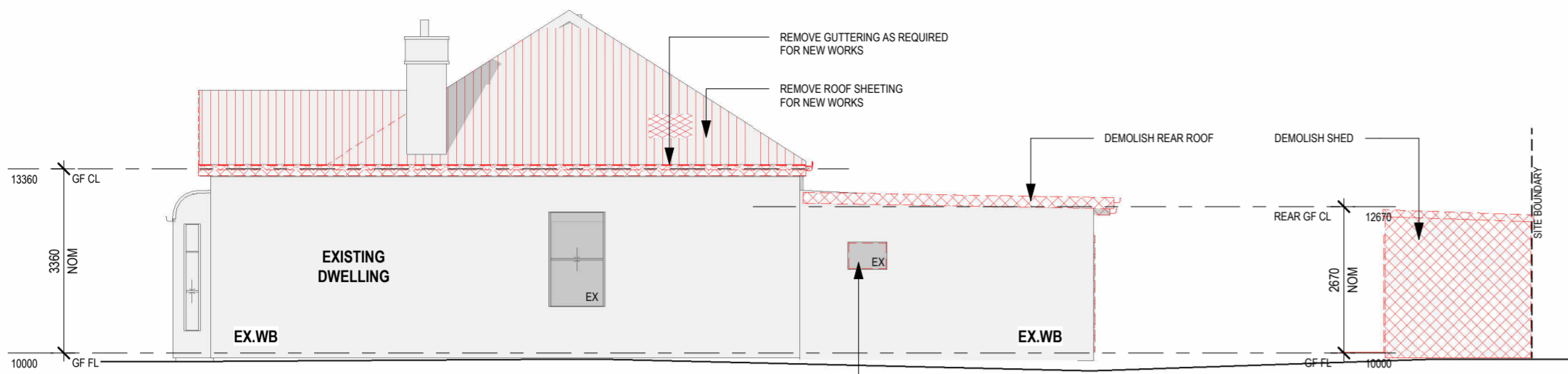
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PROPOSED GROUND FLOOR PLAN
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NEROLEE DANIHER & JAMES MITCHELL



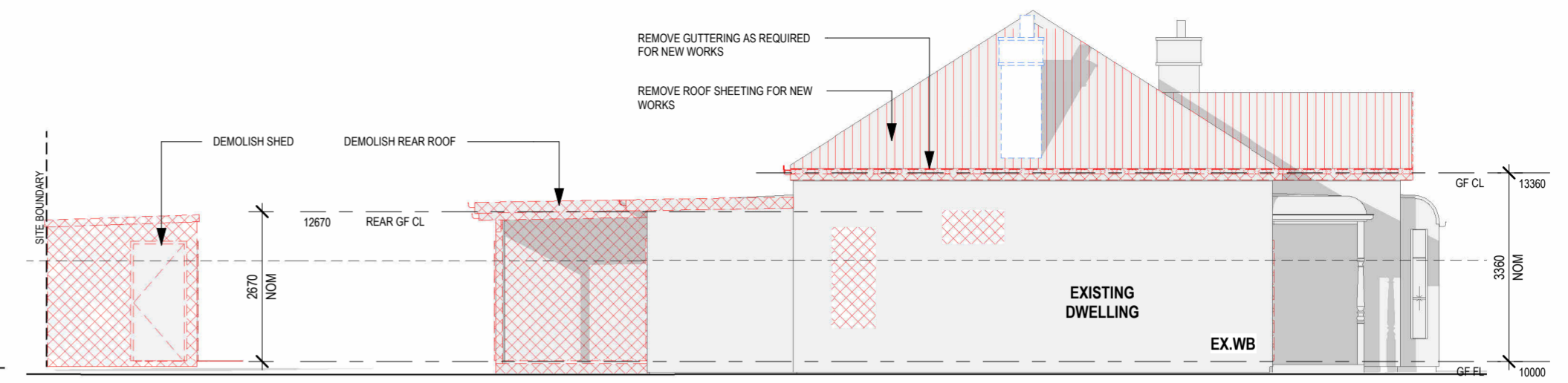
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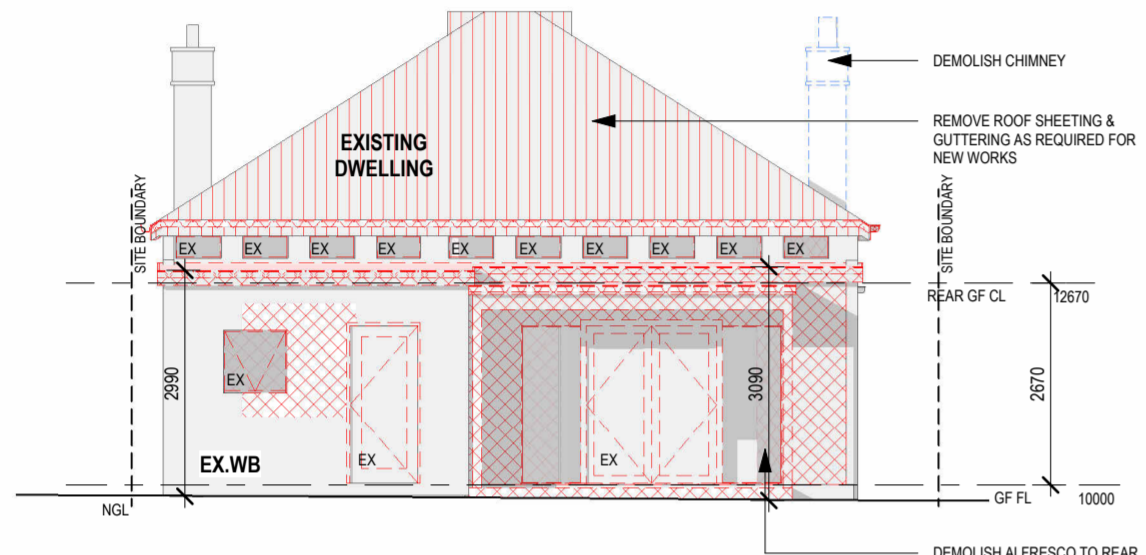
WEST ELEVATION (EXISTING)

SCALE: 1 : 100



EAST ELEVATION (EXISTING)

SCALE: 1 : 100



SOUTH ELEVATION (EXISTING)

SCALE: 1 : 100



NORTH ELEVATION (EXISTING)

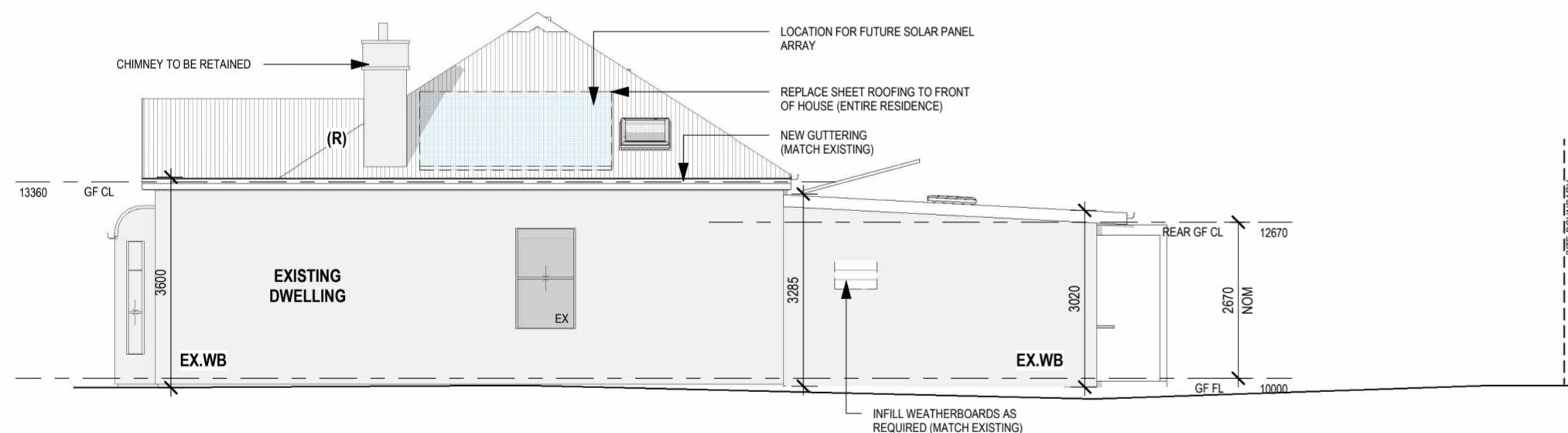
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NORTH ELEVATION 3D (EXISTING)

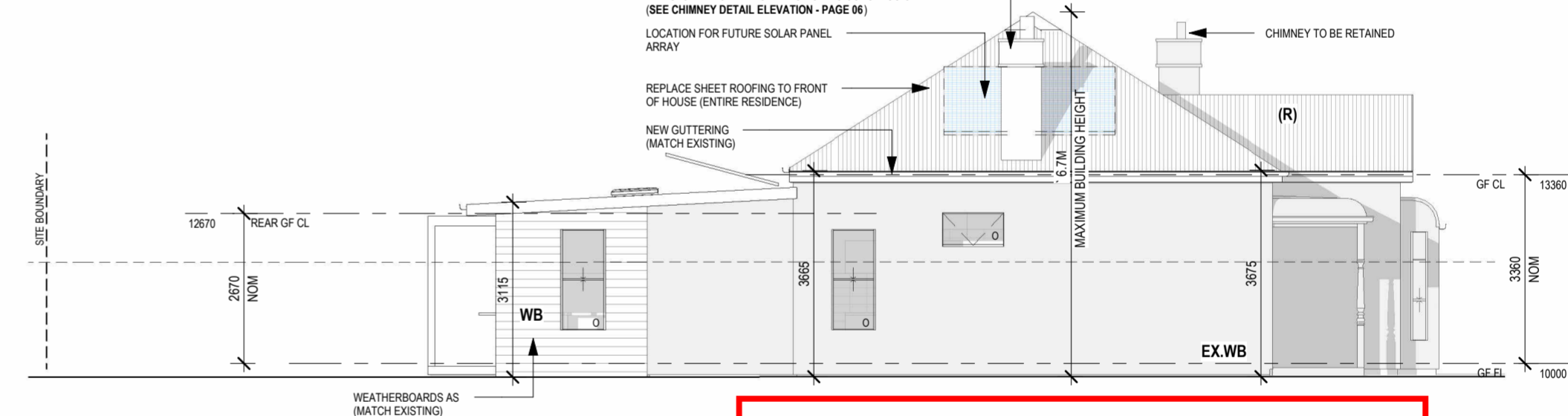
LEGEND:

- DENOTES EXTERNAL ELEMENT TO BE DEMOLISHED
- DENOTES EXISTING EXTERNAL ELEMENT
- EX.#**
- WB - WEATHERBOARD
- DENOTES SELECTED WEATHERBOARDERS (TO MATCH EXISTING) REUSE EXISTING WHERE SUITABLE
- WB**
- COLOUR - TO MATCH EXISTING (SEE COLOURBOARD)
- DENOTES SELECTED TRAY DECK ROOF SHEET
- (R)**
- COLOUR - ZINCALUME OR Z600 (SEE COLOURBOARD)



WEST ELEVATION

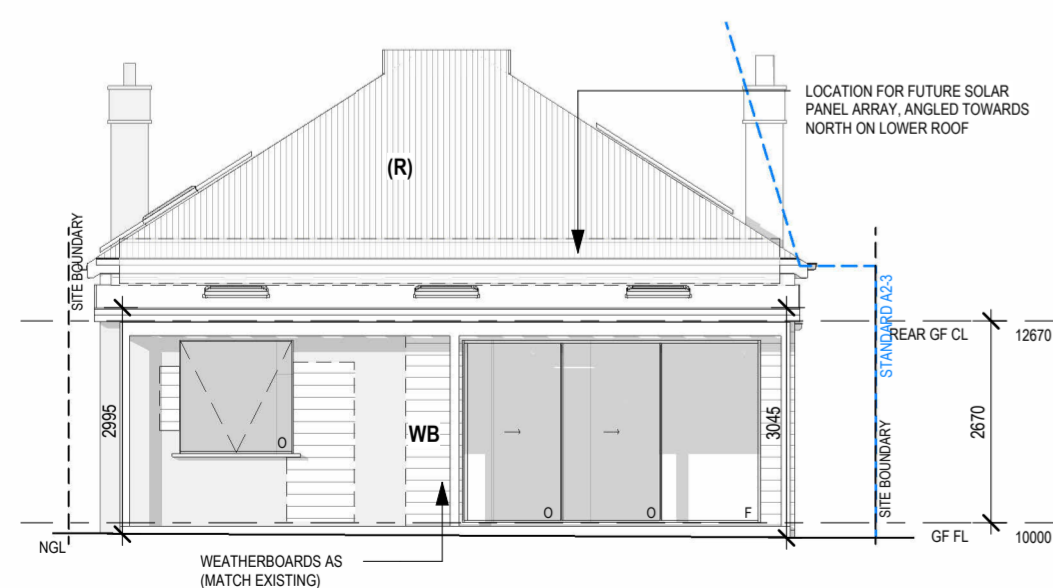
SCALE: 1 : 100



EAST ELEVATION

SCALE: 1 : 100

**CITY OF MARIBYRNONG
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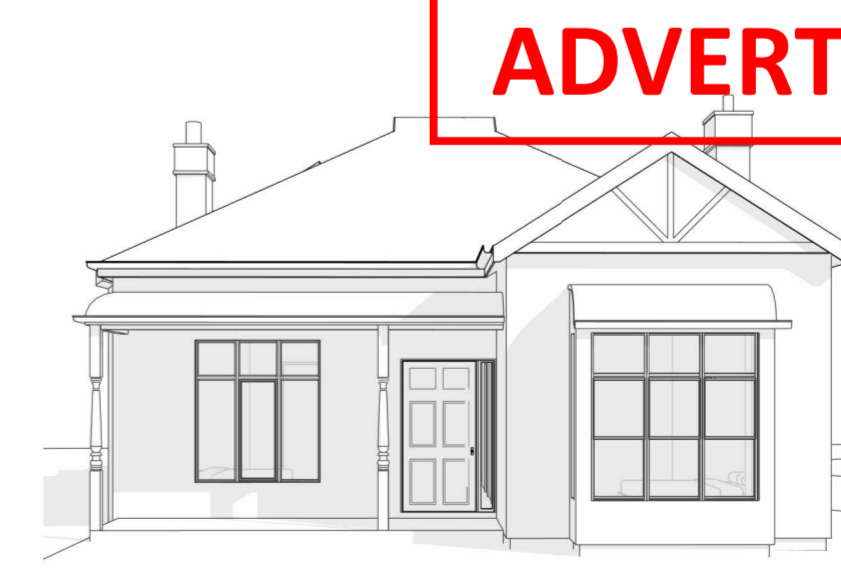
SOUTH ELEVATION

SCALE: 1 : 100



NORTH ELEVATION

SCALE: 1 : 100



NORTH ELEVATION 3D (PROPOSED)

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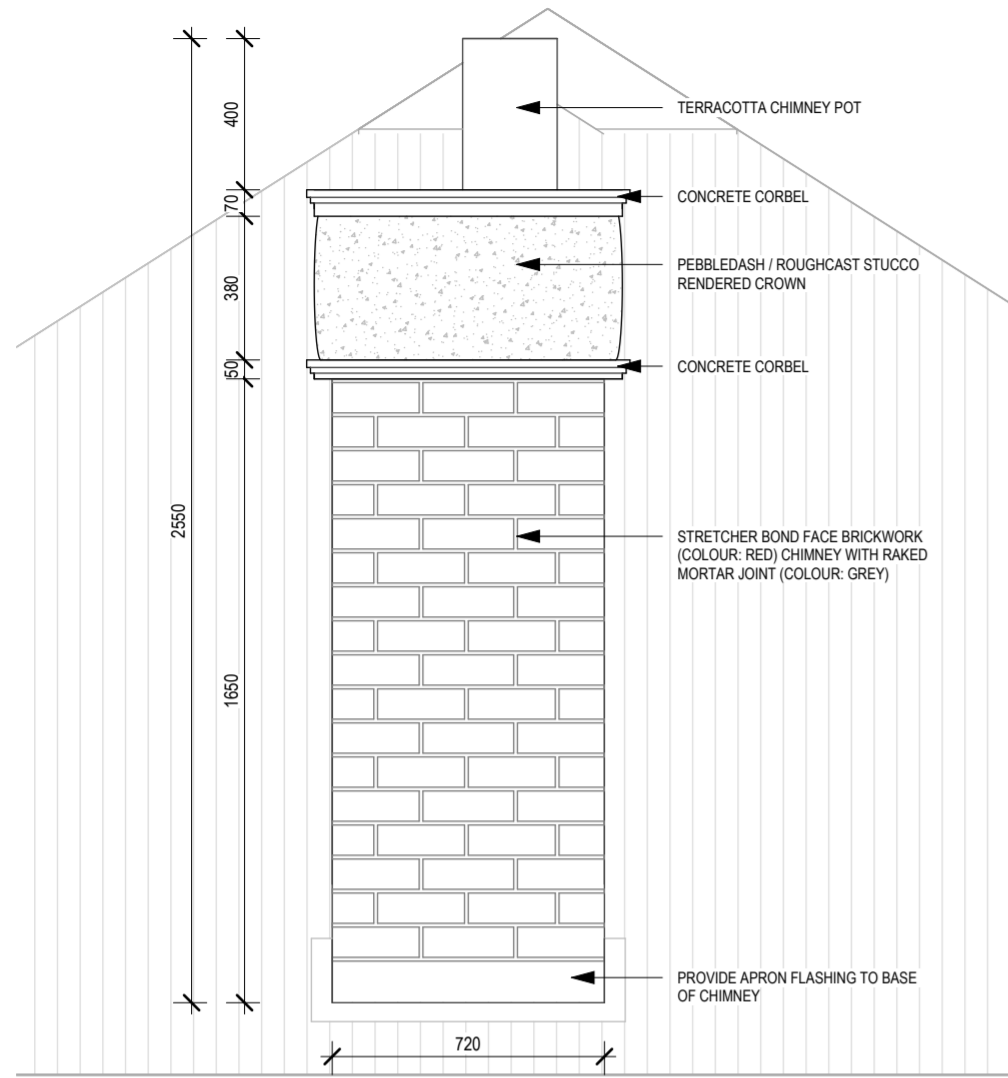
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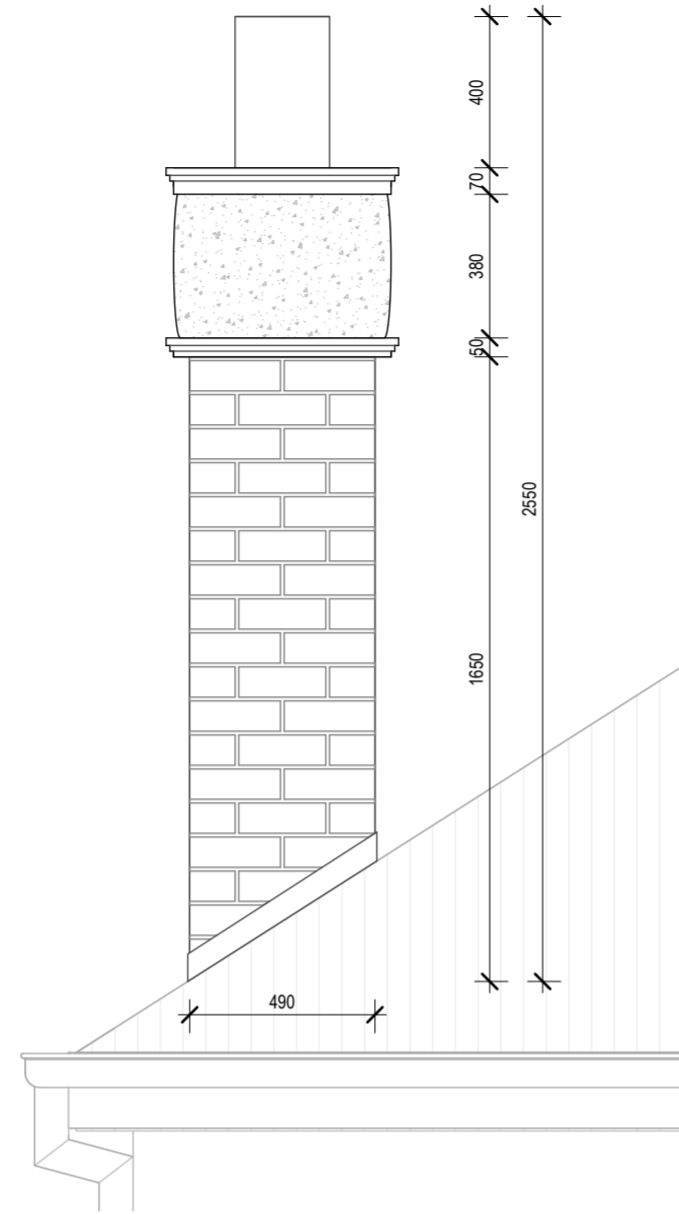
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CHIMNEY TO BE RETAINED (IF POSSIBLE), IF STRUCTURALLY UNSOUND EXISTING CHIMNEY TO BE HAND DEMOLISHED AND STORED FOR REINSTATING DURING CONSTRUCTION

CHIMNEY DETAIL (EAST)

SCALE: 1 : 20



CHIMNEY DETAIL (NORTH)

SCALE: 1 : 20

DEMOLITION METHOD STATEMENT

- ROOF PROTECTION:** LAY PROTECTIVE PLY BOARDING OR HEAVY-DUTY CATCH-MATS OVER THE WEATHERED CORRUGATED METAL ROOF SURROUNDING THE CHIMNEY BASE TO PREVENT DAMAGE FROM FALLING DEBRIS OR FOOT TRAFFIC.
- POT REMOVAL:** CAREFULLY DETACH AND MANUALLY REMOVE THE TOP TERRACOTTA CLAY POT. LOWER SAFELY TO THE GROUND.
- CAPPING REMOVAL:** USE HAND TOOLS (POINT CHISELS, SMALL LUMP HAMMERS) TO BREAK APART AND REMOVE THE DECORATIVE CONCRETE/RENDERED COLLAR PIECE BY PIECE. (RETAIN FOR REUSE)
- BRICKWORK DISMANTLING:** SYSTEMATICALLY DISMANTLE THE RED BRICK SHAFT, COURSE BY COURSE, WORKING TOP-DOWN USING HAND TOOLS. LIMIT THE USE OF HEAVY POWER TOOLS TO MINIMIZE IMPACT VIBRATION ON THE OLDER ROOF STRUCTURE. (CLEAN BRICKS AND RETAIN FOR REUSE)
- DEBRIS REMOVAL:** LOWER BRICKS AND RUBBLE TO THE GROUND CONTINUOUSLY USING A SECURE PULLEY SYSTEM OR ENCLOSED RUBBLE CHUTE. DO NOT OVERLOAD THE SCAFFOLDING.
- WEATHERPROOFING:** ONCE DISMANTLED TO THE ROOF LINE, SECURELY COVER AND WEATHERPROOF THE REMAINING FLUE VOID AND ANY EXPOSED TIMBER FRAMING WITH HEAVY-DUTY TARPULINS UNTIL RECONSTRUCTION BEGINS.

CONSTRUCTION METHOD STATEMENT

- SETTING OUT:** SET OUT THE FIRST COURSES OVER THE EXISTING VOID, ENSURING ALIGNMENT, SQUARENESS, AND STABILITY.
- BRICKLAYING:** CONSTRUCT THE NEW BRICK SHAFT IN STRETCHER BOND (MATCHING ORIGINAL BOND). ENSURE ALL COURSES ARE LEVEL, PLUMB, AND SQUARE. TOOL THE MORTAR JOINTS AS WORK PROGRESSES TO MATCH THE ORIGINAL FINISH.
- FLASHING INTEGRATION (CRITICAL STEP):** AS THE BRICKWORK RISES ABOVE THE ROOF LINE, INSTALL THE NECESSARY STEP FLASHINGS, APRONS, AND SOAKERS. ENSURE THESE ARE SPECIFICALLY DRESSED AND SEALED TO MATCH THE PROFILE OF THE CORRUGATED METAL ROOF TO PREVENT WATER INGRESS.
- CAPPING INSTALLATION:** ONCE THE REQUIRED HEIGHT IS REACHED, BED THE ORIGINAL DECORATIVE CONCRETE COPING/COLLAR UNITS IN MORTAR. ENSURE THE DRIP EDGES OVERHANG THE BRICKWORK CORRECTLY.
- POT INSTALLATION:** BED THE EXISTING TERRACOTTA CLAY POT SECURELY INTO THE CENTER OF THE CAPPING USING A SUITABLE MORTAR FLANCHING, ANGLED TO SHED RAINWATER.
- FINAL WEATHERING:** COMPLETE ALL FINAL DRESSING, POINTING, AND SEALING OF THE LEAD FLASHINGS INTO THE BRICKWORK AND ONTO THE METAL ROOF.

NOTE: REUSE EXISTING BRICKWORK, CLAY POT, AND DECORATIVE ELEMENTS UNLESS ALREADY DAMAGED/ WEATHERED AND UNSUITABLE FOR REUSE

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