

PROPOSED DUAL OCCUPANCY
No.44 CURTIN STREET, MAIDSTONE
FOR: VV CONSTRUCTIONS

CITY OF MARIBYRNONG
ADVERTISED PLAN

CITY OF MARIBYRNONG
RECEIVED
04/03/2025
URBAN PLANNING

1 OF 4	PROPOSED SITE & GROUND FLOOR PLANS
2 OF 4	PROPOSED SITE & FIRST FLOOR PLANS
3 OF 4	PROPOSED ELEVATIONS AND COLOUR & MATERIAL SCHEDULE
4 OF 4	GARDEN AREA & STORMWATER ASSESSMENT PLANS
P1 OF P1	3D PERSPECTIVES
S1 OF S1	SHADOW DIAGRAMS AND STREETSCAPE
D1 OF D2	SITE ANALYSIS
D2 OF D2	DESIGN RESPONSE
L1 OF L2	LANDSCAPE PLANS
L2 OF L2	PLANTING SCHEDULE



3D FACADE PERSPECTIVE
(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE

SITE AND GROUND FLOOR PLANS

SCALE 1:100

CITY OF MARIBYRNONG
RECEIVED
04/03/2025
URBAN PLANNING

TBM NAIL
IN PIT
R.L. 36.51

CURTIN STREET

SHED

FLOOR PLAN

ELEVATION -A-

ELEVATION -C-

SHED TO BE CONSTRUCTED OF COLOURBOND WALLS & ROOF 22° ROOF PITCH
SHED PLAN & ELEVATIONS - DWELLING 2
SCALE 1:100

ENCROACHMENT INTO TPZ		
TREE #	TRZ LOSS m2	TRZ LOSS %
4	4.71 m2	37.50 %
5	2.56 m2	17.47 %

VISIBILITY SPLAY.
REFER TO VISIBILITY SPLAY
NOTE IN TITLE PANEL

6740
FRONT SETBACK TO GARAGE 2

MIN. 3.0m WIDE DRIVEWAY

CARSPACE (2)
5.4 x 2.6

PROPOSED LETTER BOX
& NEWSPAPER SLEEVE

EXISTING VEHICLE
CROSSING TO BE
REMOVED AND NEW
VEHICLE CROSSING
CONSTRUCTED

COMMS
PIT

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CARSPACE (2)

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SITE AND FIRST FLOOR PLANS

SCALE 1:100

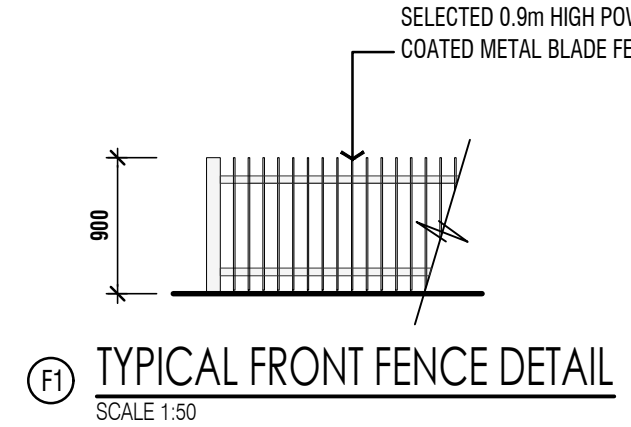
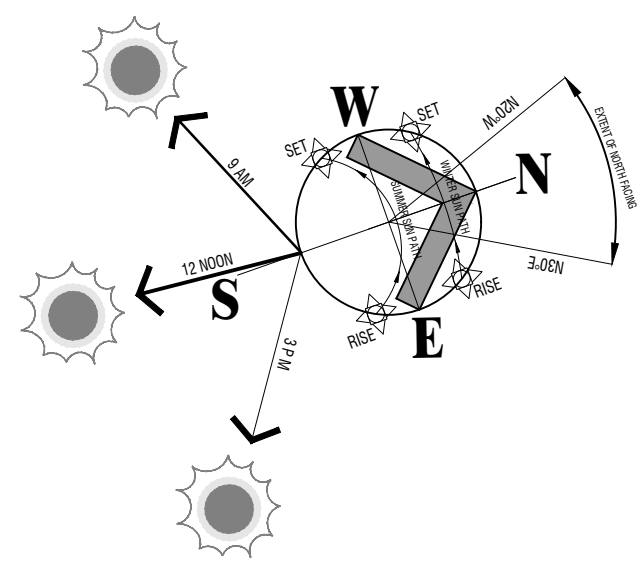
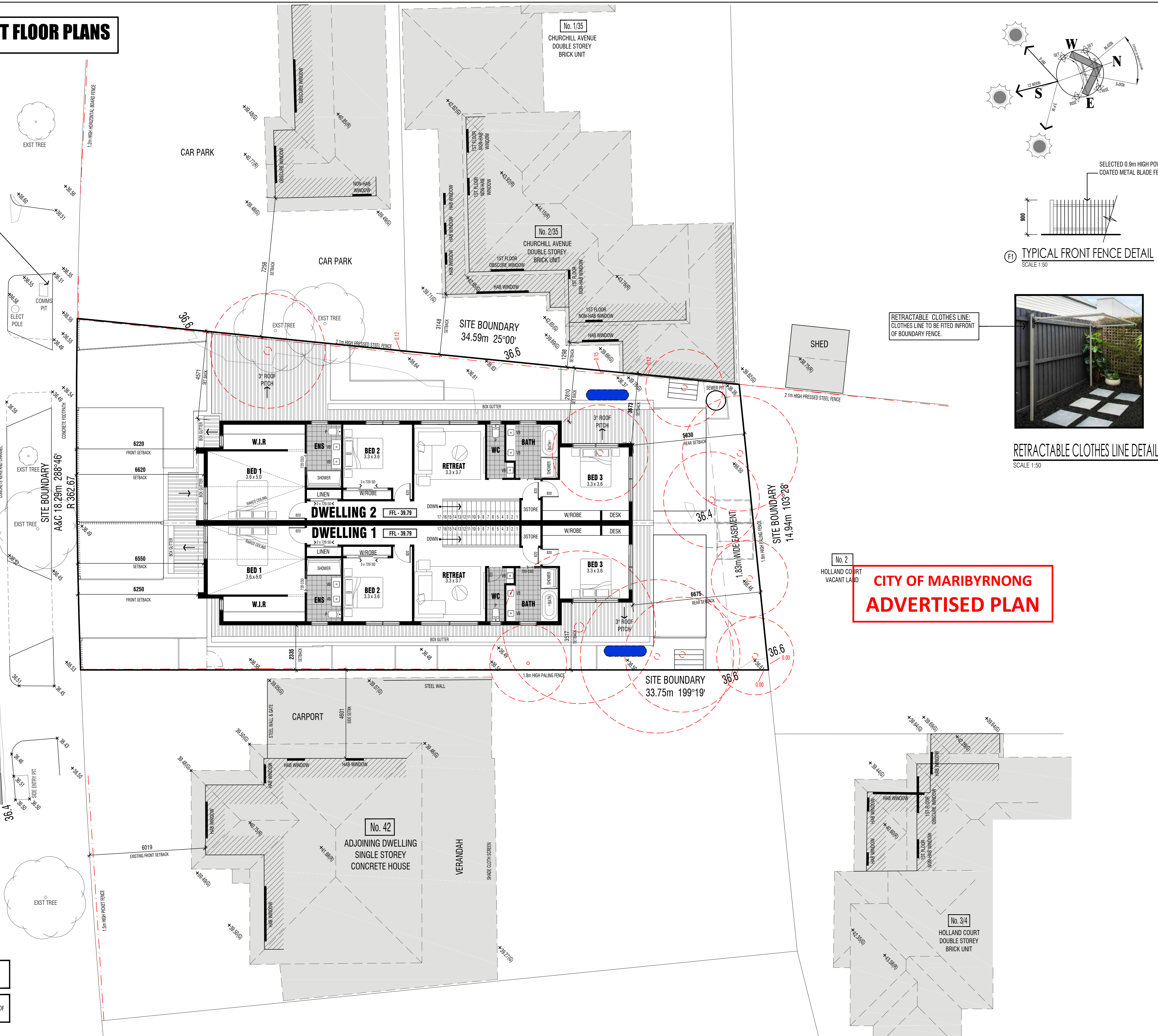
CITY OF MARIBYRNONG
RECEIVED
04/03/2025
URBAN PLANNING

TBM NAIL
IN PIT
R.L. 36.51

CURTIN
STREET

THIS APPLICATION SEEKS PERMISSION TO REMOVE
STREET TREE. REMOVAL OF TREE AS PER COUNCIL
REQUIREMENTS

THIS APPLICATION SEEKS PERMISSION TO REMOVE
TREES LOCATED ON THE SUBJECT SITE. REMOVAL OF
TREE AS PER COUNCIL REQUIREMENTS



CITY OF MARIBYRNONG
ADVERTISED PLAN

FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1

GROUND FLOOR: 127.46 msq. / 13.72 SQ's
FIRST FLOOR: 113.00 msq. / 12.16 SQ's
GARAGE (1): 23.23 msq. / 2.5 SQ's
PORCH: 4.47 msq. / 0.48 SQ's

TOTAL: 268.16 msq. / 28.86 SQ's

FRONT YARD P.O.S.: 34.94 msq.
S.P.O.S.: 71.23 msq.

DWELLING 2

GROUND FLOOR: 146.35 msq. / 15.75 SQ's
FIRST FLOOR: 113.03 msq. / 12.17 SQ's
GARAGE (2): 27.05 msq. / 2.91 SQ's
PORCH: 4.47 msq. / 0.48 SQ's

TOTAL: 290.90 msq. / 31.31 SQ's

FRONT YARD P.O.S.: 29.71 msq.
S.P.O.S.: 71.29 msq.

SITE AREA: 561.69 msq.
% LAND COVERAGE WITH O/H: 333.18 msq. / 57.28 %
(INCLUDES EXTERNAL STORAGE SHED AREAS)
% PERMEABILITY: 197.78 msq. / 33.98 %
DRIVEWAYS & PATHS: 47.08 msq.

GARDEN AREA

SITE AREA: 561.69 msq.
MINIMUM REQUIRED OPEN SPACE FOR SITE 561.69 msq. (30%) - 174.507 msq.
TOTAL SITE OPEN SPACE - (33.76%) - 196.37 MSQ

STORM RATING AREAS

DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 141.09 msq IS TO BE
COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK
WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 162.86msq IS TO BE
COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK
WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING

LANDSCAPE NOTE:

LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION
PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT
SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS,
CONCRETE AREAS AND DECKING.

FENCE NOTE:

- F 0.9m HIGH SELECTED POWDER COATED METAL BLADE FENCE
- F1 1.8m HIGH TIMBER PAILING FENCE
- F2 1.8m HIGH TIMBER PAILING FENCE
- F3 2.1m HIGH PRESSED STEEL FENCE
- F4 0.6m HIGH WIRE MESH FENCE

IMPORTANT ARBORIST NOTE:

DRAWINGS MUST BE READ IN CONJUNCTION AND COMPLY WITH
ARBORISTS REPORT.
REFER TO THE ARBORICULTURAL IMPACT ASSESSMENT REPORT
PREPARED BY:
MOLLOY ARBORICULTURE PTY. LTD.
ISSUED: 18/02/2025

VISIBILITY SPLAY NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)

ACCESSWAYS MUST HAVE A CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF
VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE
ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5m ALONG THE EXIT LANE FROM
THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH
OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY
INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS
PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN
THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 3 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@: 44 CURTIN STREET,
MAIDSTONE

for: VV CONSTRUCTIONS

PROPOSED ELEVATIONS AND COLOUR & MATERIAL SCHEDULE

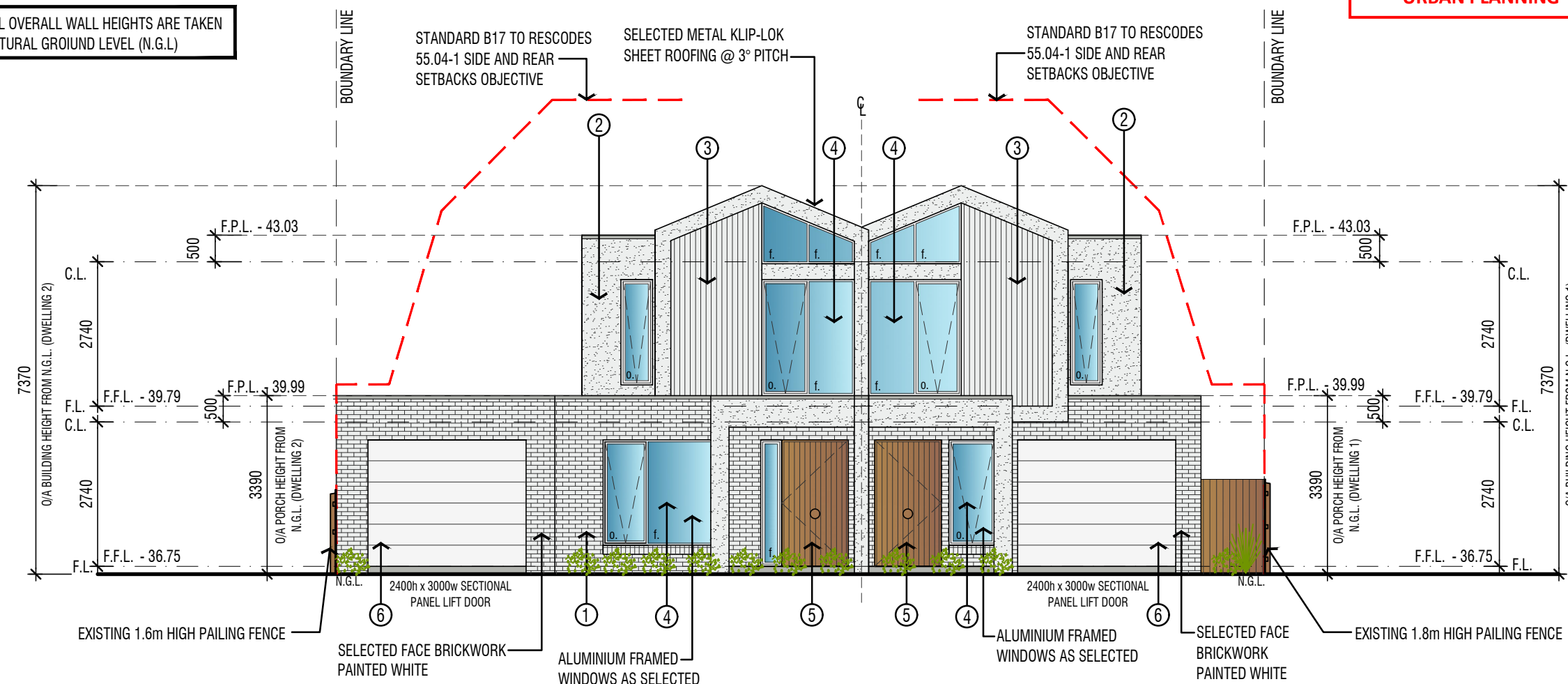
SCALE 1:100

NOTE: ALL OVERALL WALL HEIGHTS ARE TAKEN FROM NATURAL GROUND LEVEL (N.G.L.)

CITY OF MARIBYRNONG
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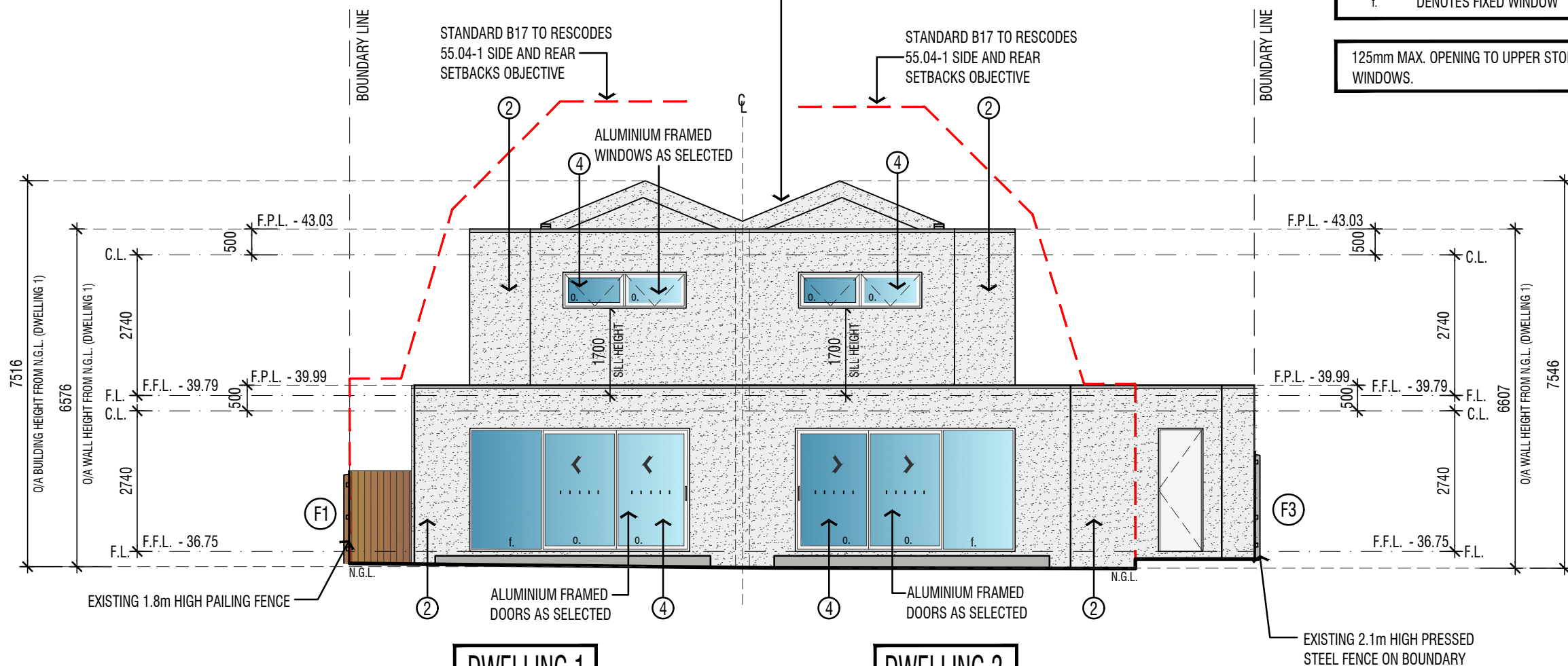
LEGEND:
N.G.L. DENOTES NATURAL GROUND LINES
a. DENOTES OPENABLE WINDOW
t. DENOTES FIXED WINDOW

125mm MAX. OPENING TO UPPER STOREY WINDOWS.



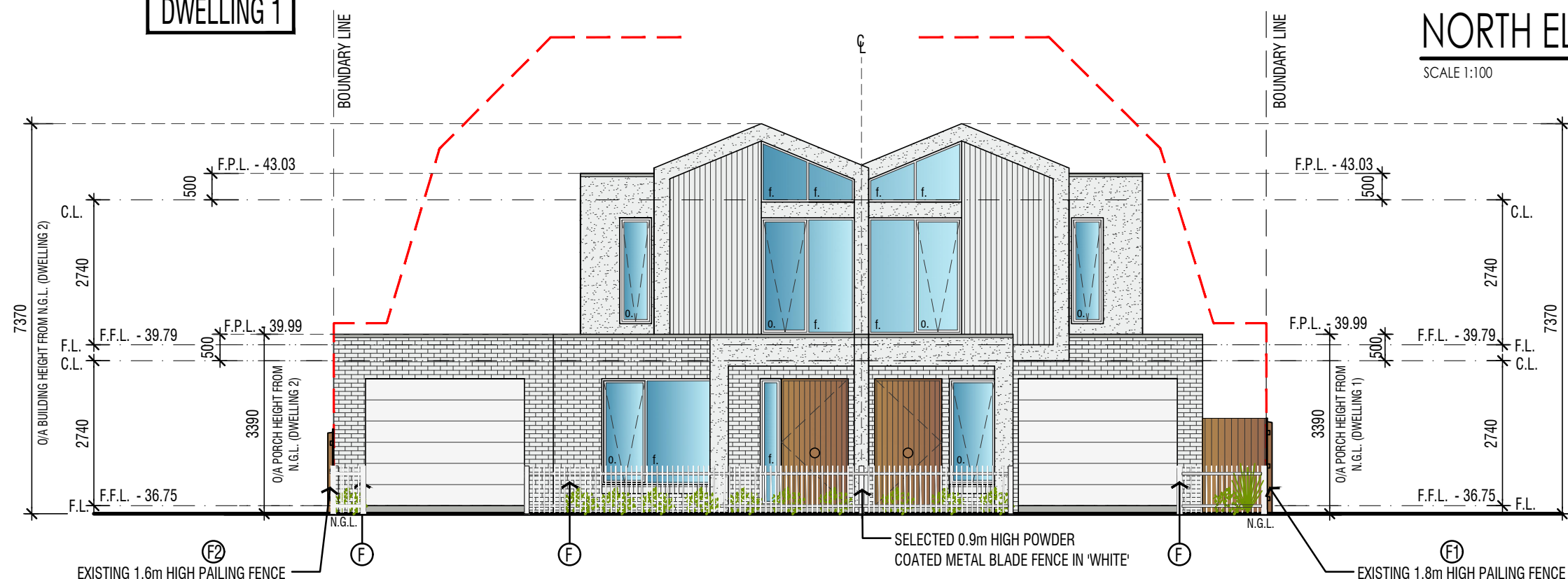
DWELLING 2
SOUTH ELEVATION
SCALE 1:100

DWELLING 1



DWELLING 1
NORTH ELEVATION
SCALE 1:100

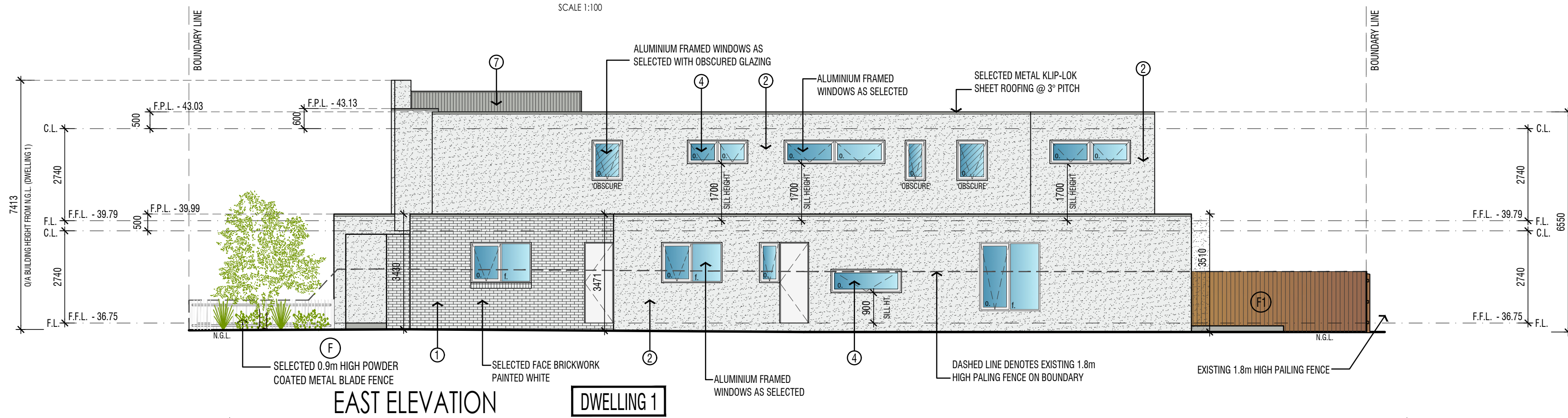
DWELLING 2



DWELLING 2
SOUTH ELEVATION 2
SCALE 1:100

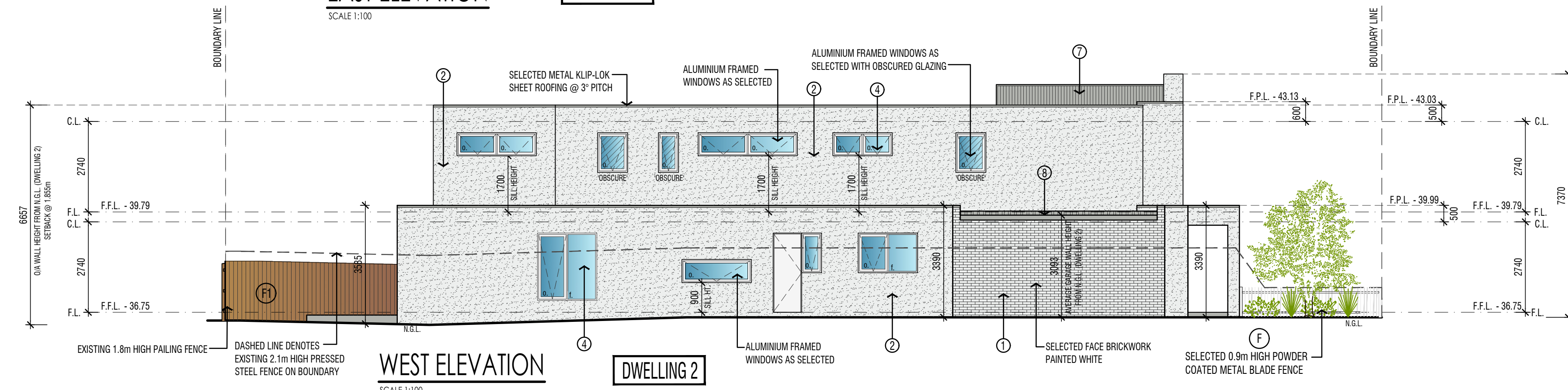
DWELLING 1

CITY OF MARIBYRNONG
ADVERTISED PLAN



DWELLING 1
EAST ELEVATION
SCALE 1:100

DWELLING 2



DWELLING 2
WEST ELEVATION
SCALE 1:100

DWELLING 1

MATERIALS LEGEND

- BRICKWORK: WHITE
- RENDER / PAINT - MASTER WALL: WHITE
- PAINTED / AXON CLADDING: WHITE
- WINDOWS/DOORS: WHITE
- ENTRY DOORS: TIMBER
- GARAGE DOORS: WHITE
- ROOF SHEETING: COLORBOND SHALE GREY
- FASCIA AND GUTTERS: COLORBOND SHALE GREY

LANDSCAPE NOTE:
LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

FENCE NOTE:
F 0.9m HIGH SELECTED POWDER COATED METAL BLADE FENCE
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REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 3 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

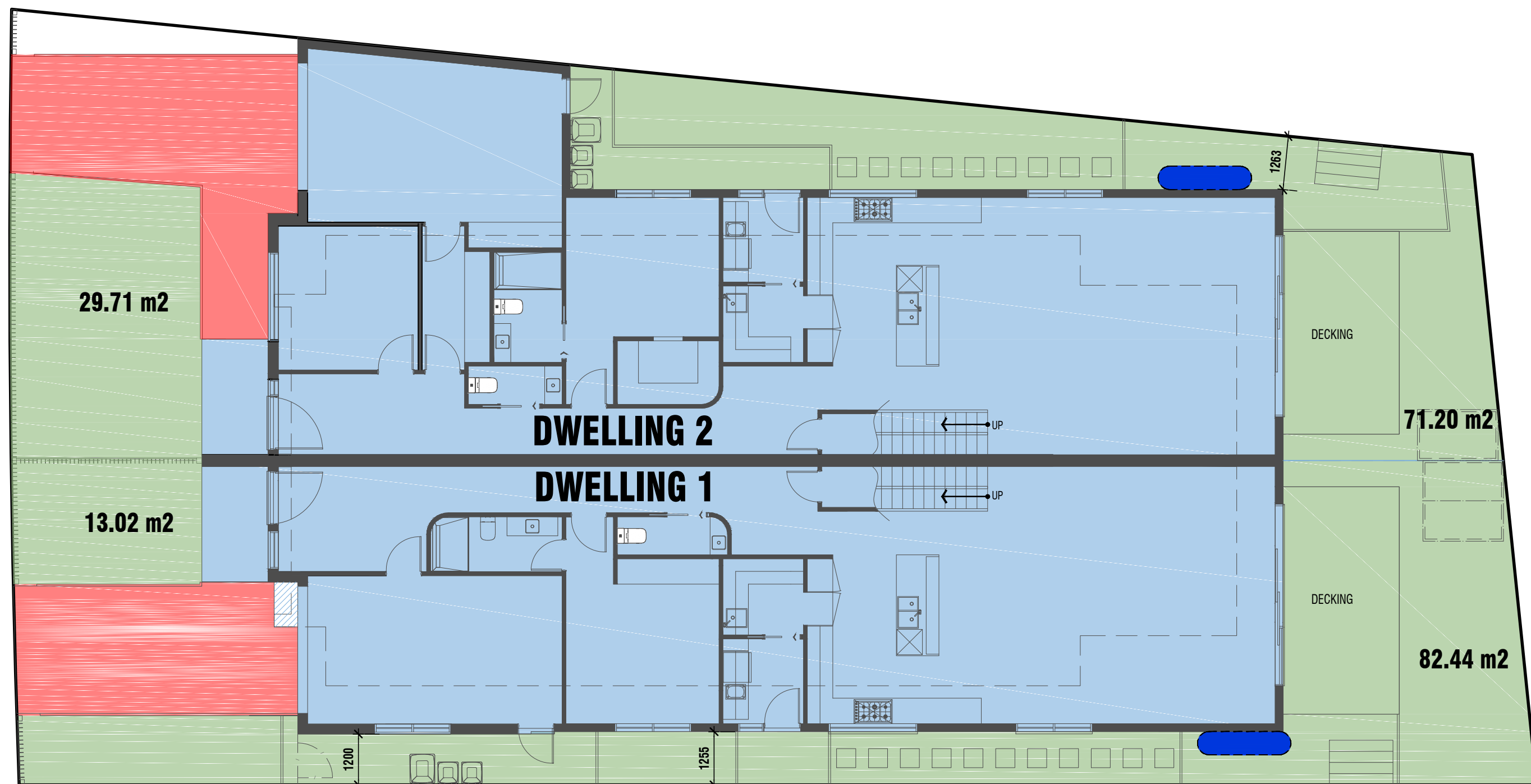
@: 44 CURTIN STREET,
MAIDSTONE

for: VV CONSTRUCTIONS

GARDEN AREA AND STORMWATER ASSESSMENT PLANS

SCALE 1:100

CITY OF MARIBYRNONG
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GARDEN ASSESSMENT PLAN

SCALE 1:100

CITY OF MARIBYRNONG
ADVERTISED PLAN

GARDEN AREA AND STORMWATER ASSESSMENT PLAN LEGENDS:

GARDEN AREA LEGEND:

- GARDEN AREA (MINIMUM 1m WIDE)
- PROPOSED FLOOR PLANS (NOT CALCULATED INTO GARDEN AREA)
- DRIVEWAY (NOT CALCULATED INTO GARDEN AREA)
- PROPOSED UPPER FLOOR OVERHANG (NOT CALCULATED INTO GARDEN AREA)

GARDEN AREA

SITE AREA: 581.69 msq.
MINIMUM REQUIRED OPEN SPACE FOR SITE 581.69 msq. (30%) - 174.507 msq.
TOTAL SITE OPEN SPACE - (33.76%) - 196.37 MSQ

STORMWATER ASSESSMENT LEGEND:

- TREATED ROOF AREA TO WATERTANK
- UNTREATED ROOF AREA, DRIVEWAY & COMMON DRIVEWAY
- TREATED ROOF AREA TO R/GARDEN
- PERMEABLE DRIVEWAY (WATERPAVE DRIVEVEC OR SIMILAR)
- 3000lty RAIN WATER TANKS
- 100mm RAINGARDEN

STORM RATING AREAS

DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 141.09 msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 162.86msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING

REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 3 JANUARY 2025 - FEB '25

PROPOSED DUAL OCCUPANCY

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MAIDSTONE

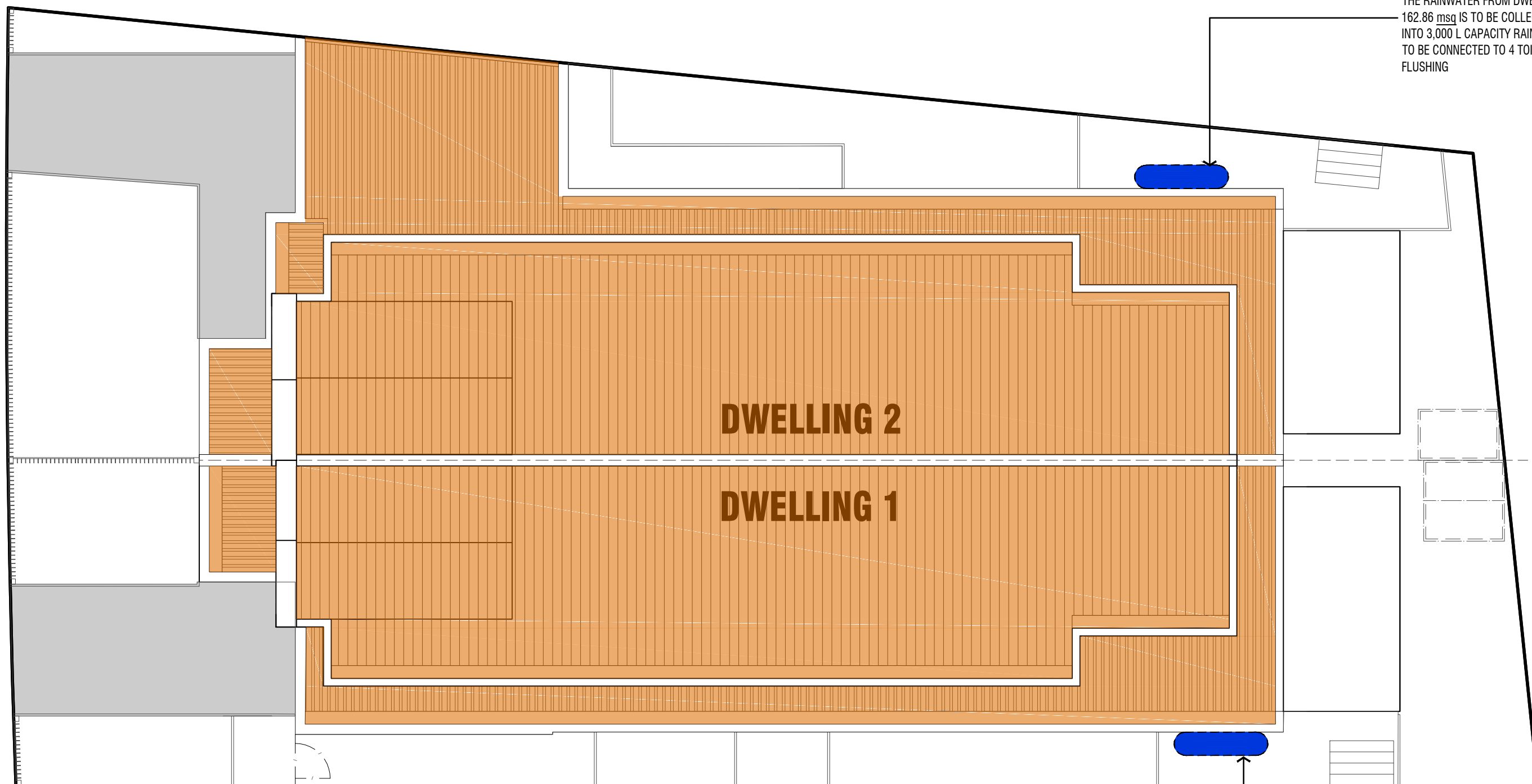
for: VV CONSTRUCTIONS

STORM Rating Report

TransactionID: 0
Municipality: MARIBYRNONG
Rainfall Station: MARIBYRNONG
Address: 44 CURTIN STREET

Maidstone
VIC 3012
Assessor: Daniel Grima
Development Type: Residential - Multiunit
Allotment Site (m2): 582.00
STORM Rating %: 108

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 1 TREATED TO W/TANK	141.09	Rainwater Tank	3,000.00	4	129.60	89.50
DWELLING 2 TREATED TO W/TANK	162.86	Rainwater Tank	3,000.00	4	117.50	90.00
UNTREATED DRIVEWAY DWELL 1	18.58	None	0.00	0	0.00	0.00
UNTREATED DRIVEWAY DWELL 2	22.96	None	0.00	0	0.00	0.00



STORMWATER ASSESSMENT PLAN

SCALE 1:100

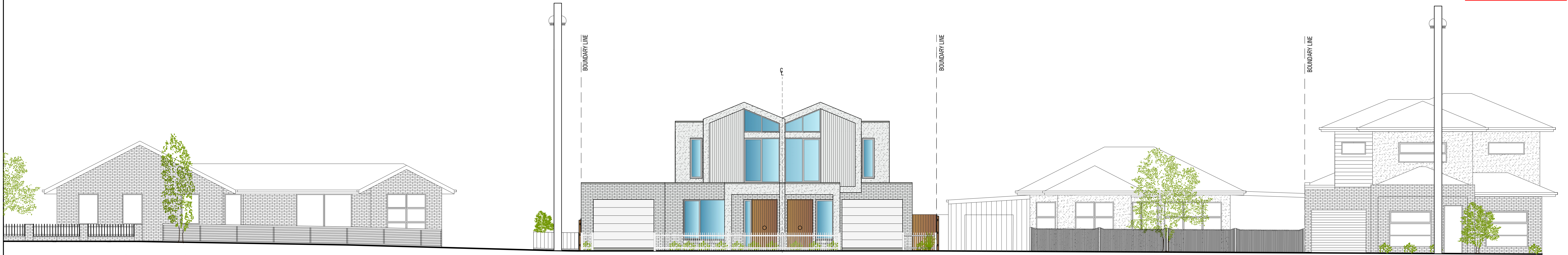
THE RAINWATER FROM DWELLING 2 ROOF AREA OF 162.86 msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING

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STREET SCAPE & 3D PERSPECTIVE VIEWS

SCALE 1:100

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No. 35

CHURCHILL AVENUE

ADJOINING DWELLING

DWELLING 2

DWELLING 1

SUBJECT SITE - No.44

PROPOSED DEVELOPMENT

No. 42

ADJOINING DWELLING

No. 1/40

ADJOINING DWELLING

STREETSCAPE OF CURTIN STREET, MAIDSTONE

SCALE 1:100

CITY OF MARIBYRNONG
ADVERTISED PLAN



3D SIDE PERSPECTIVE

(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE



3D SIDE PERSPECTIVE

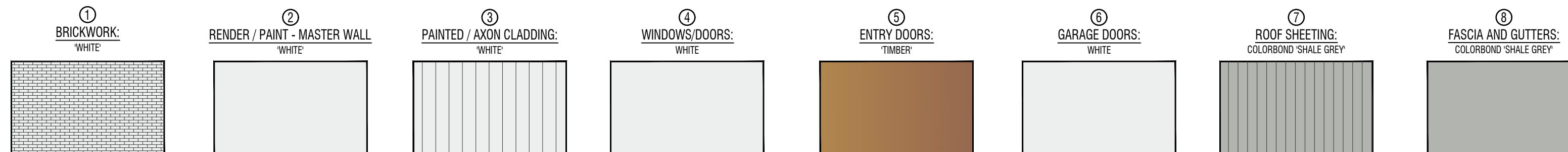
(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE



3D SIDE PERSPECTIVE

(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
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MATERIALS LEGEND



PROPOSED DUAL OCCUPANCY

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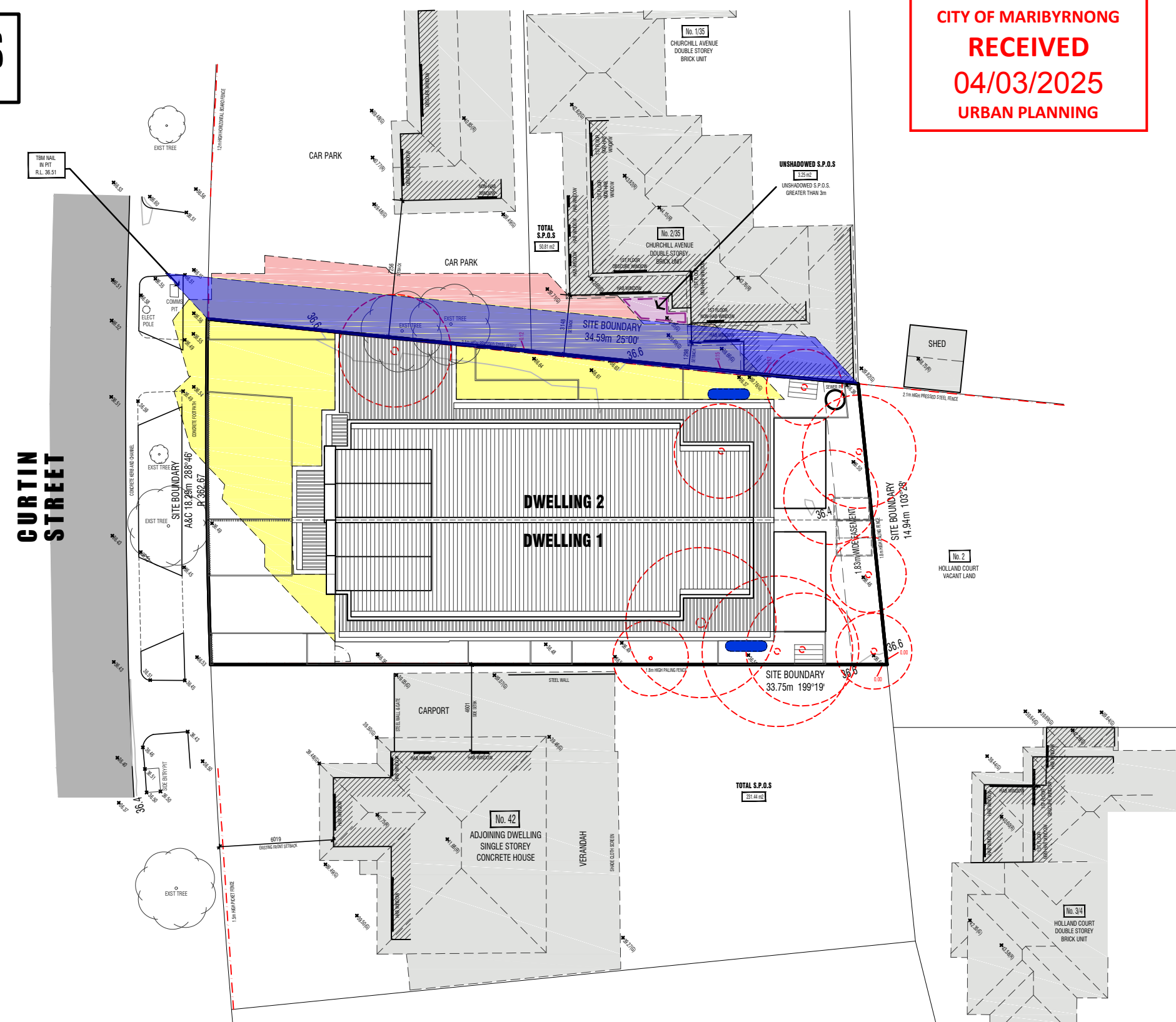
for: VV CONSTRUCTIONS

DWG. NO.	DATE	DRAWN BY	CHECKED BY	SCALE	SHEET NO.
DD210-24	NOV - 2024	S. RAMZ	D. CRIMA (DP-ADSS3)	NOT TO SCALE	P1 OF P1
draftmode					
designs pty ltd					
A - 28 Thomas Street, Airport West 3042 P - 9330 3434 E - enquiries@draftmode.com.au					

SHADOW DIAGRAMS

SCALE 1:250

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04/03/2025
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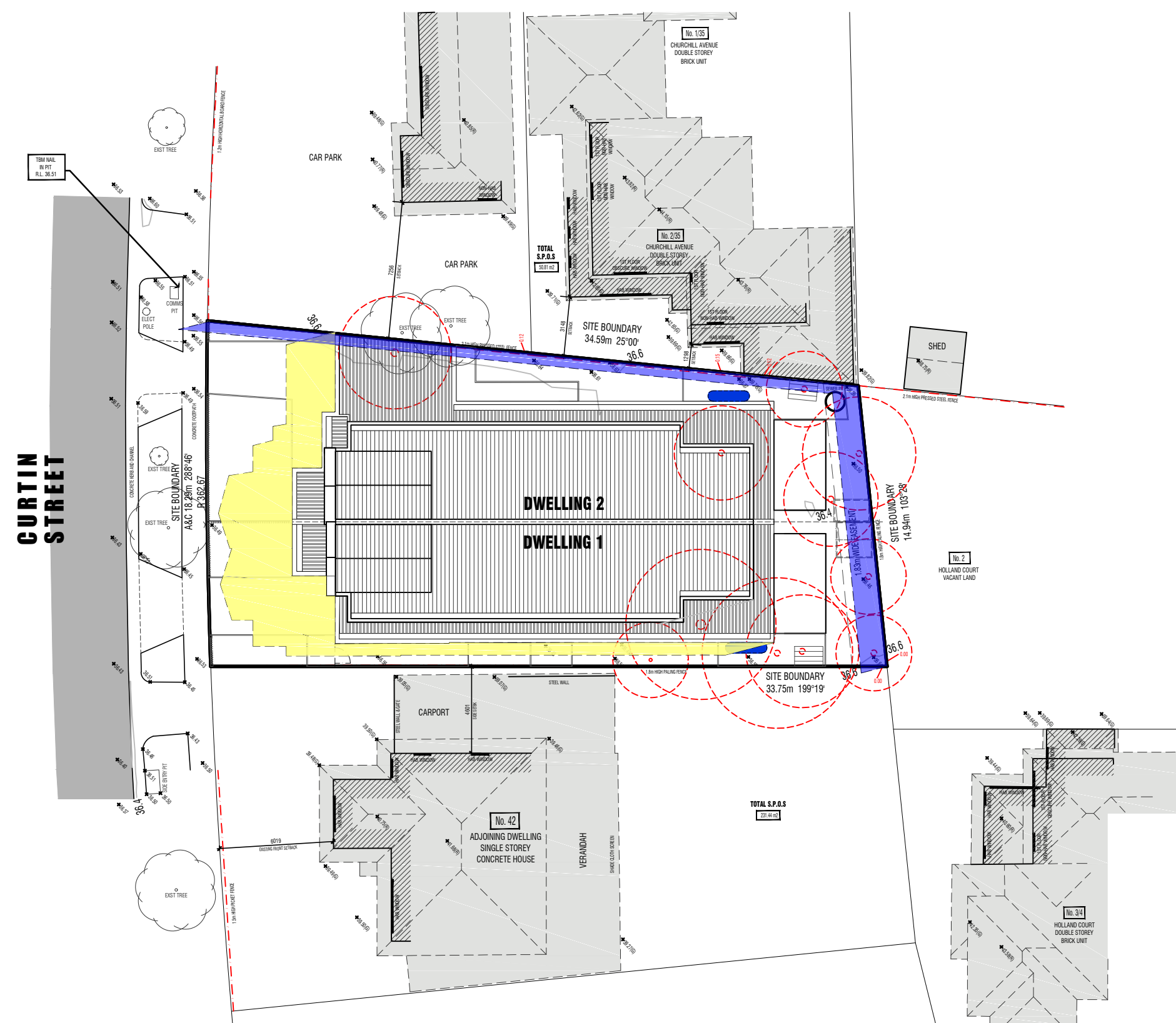


9 AM SHADOW CAST FENCE LINE ADDITIONAL SHADOW

9am Shadow Diagrams

SCALE 1:250

*ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ADJOINING NEIGHBOURS S.P.O.S. AT 2/35 CHURCHILL AVENUE, MAIDSTONE @ 9am, HOWEVER THERE IS STILL UNSHADOWED S.P.O.S TO REMAINING ADJOINING PROPERTIES AS SHOWN ABOVE

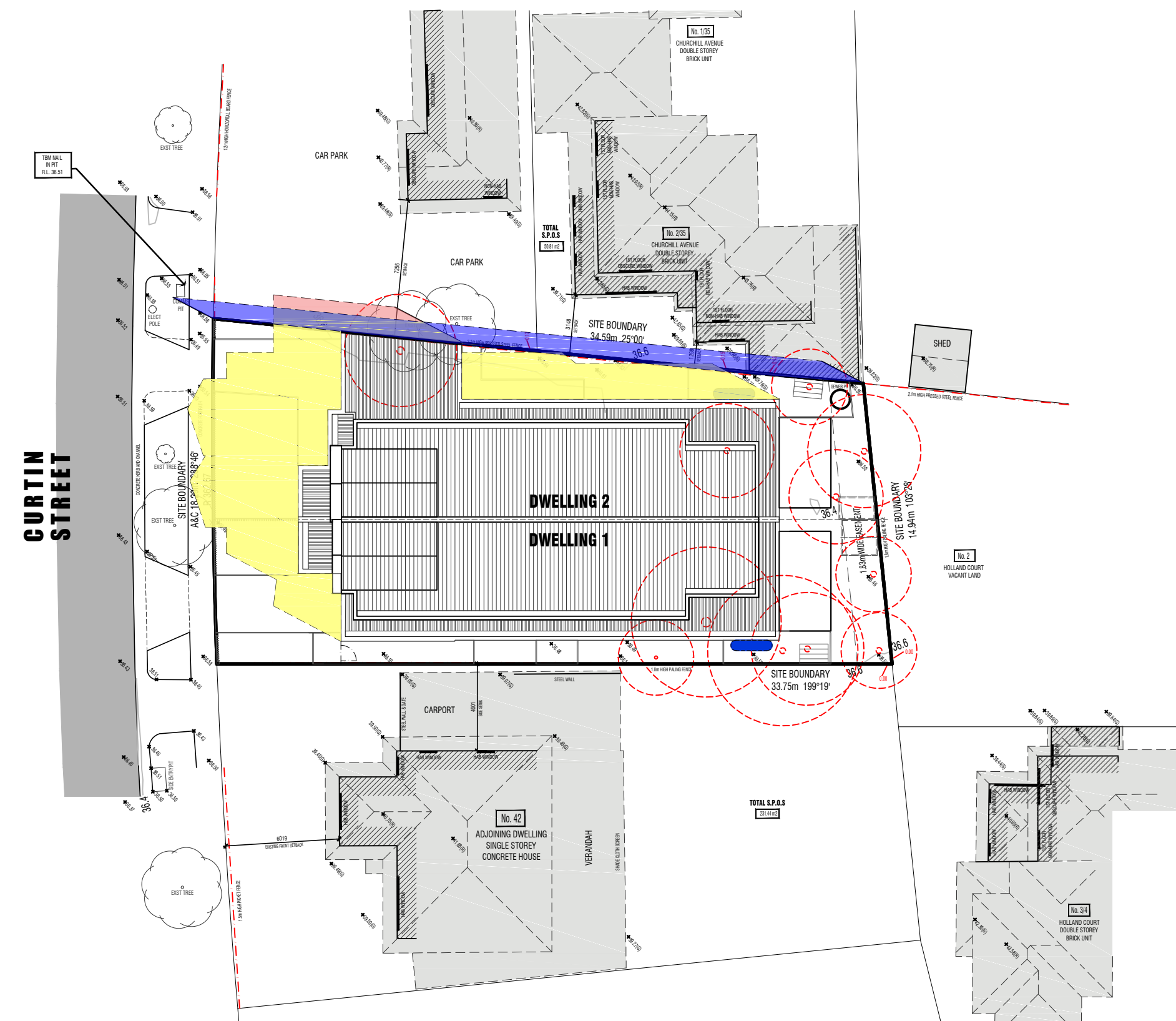


12 Noon SHADOW CAST FENCE LINE ADDITIONAL SHADOW

12 Noon Shadow Diagrams

SCALE 1:250

* NO ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ADJOINING NEIGHBOURS S.P.O.S. @ 12 Noon.

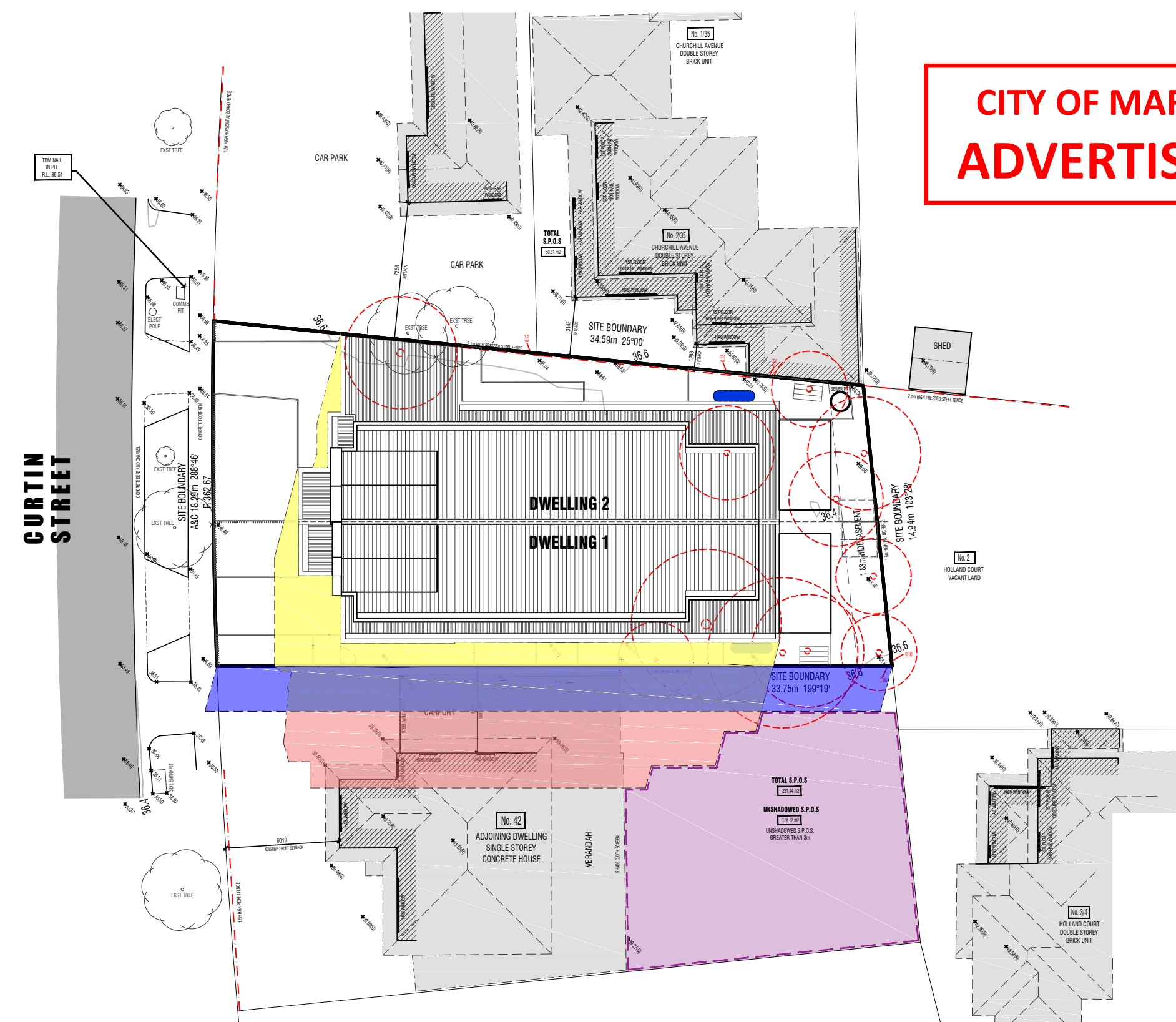


10 AM SHADOW CAST FENCE LINE ADDITIONAL SHADOW

10am Shadow Diagrams

SCALE 1:250

* NO ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ADJOINING NEIGHBOURS S.P.O.S. @ 10am.



3 PM SHADOW CAST FENCE LINE ADDITIONAL SHADOW

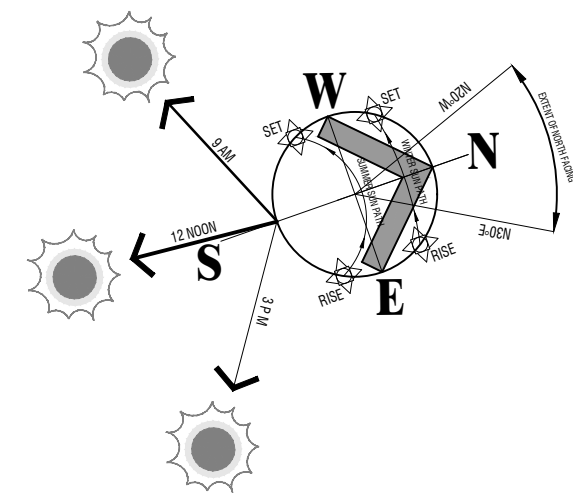
3pm Shadow Diagrams

SCALE 1:250

* ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ADJOINING NEIGHBOURS S.P.O.S. AT 42 CURTIN STREET, MAIDSTONE @ 3pm, HOWEVER THERE IS STILL 178.72m2 UNSHADOWED S.P.O.S AS SHOWN ABOVE WHICH MEETS THE OBJECTIVE

SHADOW DIAGRAMS
DISPLAYED @ 22nd SEPTEMBER
EQUINOX DATUM

- SHADOWS CAST FROM PROPOSED DWELLINGS ON SUBJECT SITE
- SHADOWS CAST FROM EXISTING BOUNDARY FENCES ON SUBJECT SITE
- ADDITIONAL SHADOWS CAST FROM PROPOSED DWELLINGS ON SUBJECT SITE



CITY OF MARIBYRNONG
ADVERTISED PLAN

REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 3 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@: 44 CURTIN STREET,
MAIDSTONE

for: VV CONSTRUCTIONS

DWG NO.	DATE	DRAWN BY	CHECKED BY	SCALE	SHEET NO.
DD210-24	NOV - 2024	S. RAMZ	D. CRIMA (DP-AD583)	1:250	S1
draftmode designs Pty Ltd					
A - 28 Thomas Street, Airport West, 3042 P - 9 320 3434 E - enquiries@draftmode.com.au					

SITE ANALYSIS PLAN
SCALE 1:500



44 CURTIN STREET, MAIDSTONE - STREETSCAPE



44 CURTIN STREET, MAIDSTONE - (OPPOSITE SIDE) STREETSCAPE

CITY OF MARIBYRNONG
ADVERTISED PLAN



44 CURTIN STREET, MAIDSTONE - SUBJECT SITE



35 CHURCHILL AVE, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE LEFT)



42 CURTIN STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE RIGHT)

CITY OF MARIBYRNONG
RECEIVED
04/03/2025
URBAN PLANNING

SITE ANALYSIS PLAN: LEGEND

- ORIENTATION**
A SITE HAS A SOUTH/EAST TO NORTH/WEST FACING ORIENTATION
- TOPOGRAPHY**
B LAND HAS A DECLINE OF APPROX. 0.30m FROM BACK TO FRONT (REFER TO LEVELS ON PLAN PROVIDED)
- VEGETATION**
C1 EXISTING SITE TREES & SHRUBS TO BE REMOVED
C2 EXISTING STREET TREES & LANDSCAPE
C3 EXISTING STREET TREE TO BE REMOVED
- ACCESS POINTS**
D1 EXISTING PEDESTRIAN AND VEHICLE ACCESS FROM PAPER ROAD AND PAPER ROAD TO SUBJECT SITE
D2 EXISTING STREET CROSSINGS
- DRAINAGE**
E DRAINAGE POINT - NO UNMANAGABLE DRAINAGE CONSTRAINTS. POINT OF DISCHARGE AS PER COUNCIL REQUIREMENTS
- SERVICE**
F1 SITE HAS ACCESS TO INFRASTRUCTURE (SEWER, WATER SUPPLY, GAS & TELEPHONE)
- FENCES & BOUNDARIES**
G1 600mm HIGH METAL SHEET FENCE
G2 1.2m HIGH TIMBER PAILING FENCE
G3 1.2m HIGH TIMBER PICKET FENCE
G4 NO FENCE
G5 1m HIGH BRICK FENCE WITH METAL INSERT
G6 1m HIGH HORIZONTAL TIMBER FENCE
G7 1.6m HIGH BRICK FENCE
G8 1.6m HIGH METAL PICKET FENCE
G9 1.6m HIGH TIMBER PAILING FENCE
G10 1.2m HIGH METAL FENCE
G11 900mm HIGH METAL SHEET FENCE
G12 1.6m HIGH TIMBER PAILING FENCE
G13 2.1m HIGH HIGH PRESSED STEEL FENCE
G14 1.8m HIGH TIMBER PAILING FENCE
G15 0.9m HIGH POWDER COATED METAL BLADE FENCE

- LOCATION/USE OF SURROUNDING BUILDINGS**
H1 SINGLE STOREY RENDERED DWELLING TO BE DEMOLISHED
H2 SINGLE STOREY RENDERED DWELLING
H3 DOUBLE STOREY BRICK VENEER WITH LIGHTWEIGHT UPPER UNITS
H4 DOUBLE STOREY RENDERED UNITS
H5 SINGLE STOREY BRICK VENEER DWELLING
H6 NO BUILDINGS
H7 DOUBLE STOREY BRICK VENEER UNITS

- EXCLUDED OPEN SPACE**
S.P.O.S. EXCLUDED PRIVATE OPEN SPACES OF SURROUNDING DWELLINGS
- HABITABLE ROOM WINDOWS/DOORS**
HAB. HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)
N/H WIN. NON-HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)

- SOLAR ACCESS**
K POTENTIAL DAYLIGHT ALONG NORTH SIDE OF SITE
- WALLS ON BOUNDARY**
L1 2.8m HIGH WALL ON BOUNDARY
L2 2.3m HIGH WALL ON BOUNDARY

LOCALITY GUIDE			
M1 BASSETT RESERVE	280m	O1 DOBSON RESERVE	160m
M2 HANSEN RESERVE	380m	O2 HALSTEAD STREET	361m
M3 MACDONALD RESERVE	480m	O3 TOTENHAM STATION	156m
M4 WALKER RESERVE	580m	O4 BALLARAT RD	544m
N1 CENTRAL WEST PLAZA	180m	P1 FOOTSCRAY WEST	160m
N2 FOOTSCRAY PLAZA	230m	P2 COORNA SPRING SCHOOL	21m
N3 SHOPPING CENTRE	2140m	P3 GILMORE COLLEGE	21m
N4 BIG W SHOPPING CENTRE	1710m	P4 CAROLINE CHISHOLM CATHOLIC COLLEGE	322m

NOTE: ALL DIRECTIONAL ARROWS & DISTANCES TAKEN FROM SUBJECT SITE INDICATED BY HOUSE ON MAP BELOW



MAP N.T.S.

SYMBOLS

- | | |
|------------------------------------|-----------------|
| EXISTING STREET CROSSING | HD HOUSE DRAIN |
| SS STREET SIGN | TP TELSTRA PIT |
| EP ELECTRICAL POLE | FH FIRE HYDRANT |
| E ELECTRICAL PIT | PT PIT |
| LP ELECTRICAL POLE WITH LIGHT POLE | SW STORMWATER |

PROPOSED UNIT DEVELOPMENT

44 CURTIN STREET, MAIDSTONE VIC.
FOR: VV CONSTRUCTIONS

DRAWN BY	DATE	DESIGNED BY	SCALE	SHEET NO.
DC210-24	NOV - 2024	M. GRIMA (DP-AD383)	1 : 500	D1

draftmode designs pty ltd

A - 28 Thomas Street, Airport West 3042
P - 9 330 3434
E - enquiries@draftmode.com.au

DESIGN RESPONSE PLAN

SCALE 1:500



44 CURTIN STREET, MAIDSTONE - STREETScape



44 CURTIN STREET, MAIDSTONE - (OPPOSITE SIDE) STREETScape

CITY OF MARIBYRNONG
ADVERTISED PLAN



44 CURTIN STREET, MAIDSTONE - SUBJECT SITE



35 CHURCHILL AVE, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE LEFT)



42 CURTIN STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE RIGHT)

CITY OF MARIBYRNONG
RECEIVED
04/03/2025
URBAN PLANNING

DESIGN RESPONSE PLAN: LEGEND

ORIENTATION

A SITE HAS A SOUTH-EAST TO NORTH-WEST FACING ORIENTATION

TOPOGRAPHY

B LAND HAS A DECLINE OF APPROX. 0.30m FROM BACK TO FRONT
(REFER TO LEVELS ON PLAN PROVIDED)

VEGETATION

C1 EXISTING SITE TREES & SHRUBS TO BE REMOVED

C2 EXISTING STREET TREES & LANDSCAPE

C3 EXISTING STREET TREE TO BE REMOVED

ACCESS POINTS

D1 EXISTING PEDESTRIAN AND VEHICLE ACCESS FROM MARSH STREET
TO SUBJECT SITE

D2 EXISTING STREET CROSSINGS

D3 PROPOSED PEDESTRIAN AND VEHICLE ACCESS FROM MARSH STREET
TO SUBJECT SITE

DRAINAGE

E DRAINAGE POINT - NO UNMANAGABLE DRAINAGE CONSTRAINTS.
POINT OF DISCHARGE AS PER COUNCIL REQUIREMENTS

SERVICE

F1 SITE HAS ACCESS TO INFRASTRUCTURE
(SEWER, WATER SUPPLY, GAS & TELEPHONE)

FENCES & BOUNDARIES

G1 900mm HIGH METAL SHEET FENCE

G2 1.2m HIGH TIMBER PAILING FENCE

G3 1.2m HIGH TIMBER PICKET FENCE

G4 NO FENCE

G5 1m HIGH BRICK FENCE WITH METAL INSERT

G6 1m HIGH HORIZONTAL TIMBER FENCE

G7 1.6m HIGH BRICK FENCE

G8 1.6m HIGH METAL PICKET FENCE

G9 1.6m HIGH TIMBER PAILING FENCE

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G12 1.6m HIGH TIMBER PAILING FENCE

G13 2.1m HIGH HIGH PRESSED STEEL FENCE

G14 1.8m HIGH TIMBER PAILING FENCE

G15 0.9m HIGH POWDER COATED METAL BLADE FENCE

LOCATION/USE OF SURROUNDING BUILDINGS

H1 SINGLE STOREY BRICK VENEER DWELLING TO BE DEMOLISHED

H2 SINGLE STOREY BRICK VENEER DWELLING

H3 SINGLE STOREY WEATHERBOARD DWELLING

H4 DOUBLE STOREY BRICK VENEER & LIGHTWEIGHT UPPER UNITS

H5 DOUBLE STOREY BRICK VENEER & RENDERED UPPER UNITS

H6 DOUBLE STOREY RENDERED DWELLING

H7 SINGLE STOREY BRICK VENEER UNITS

H8 SINGLE STOREY RENDERED DWELLING

SECLUDED OPEN SPACE

S.P.O.S. SECLUDED PRIVATE OPEN SPACES OF SURROUNDING DWELLINGS

HABITABLE ROOM WINDOWS/DOORS

HAB. HABITABLE ROOM WINDOWS WITHIN 9m OF SITE
(REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)

N/H WIN. NON-HABITABLE ROOM WINDOWS WITHIN 9m OF SITE
(REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)

SOLAR ACCESS

K POTENTIAL DAYLIGHT ALONG NORTH SIDE OF SITE

WALLS ON BOUNDARY

L1 3.00m HIGH WALL ON BOUNDARY

LAND USE AND DENSITY RESPONDS TO:

Q * LOCATION WITHIN ESTABLISHED RESIDENTIAL AREA
* LACK OF MANAGEABLE INFRASTRUCTURE CONSTRAINTS
* ACCESSIBILITY TO PUBLIC TRANSPORT, LOCAL SHOPS,
RESERVES & SCHOOLS
* SITE DIMENSION & AREA

R MATERIALS, COLOURS & TEXTURES ARE SELECTED
TO HIGHLIGHT THE ARCHITECTURAL FORMS & REFLECT THE
BUILDINGS ADJACENT

LANDSCAPING

S1 LANDSCAPING PROVIDED TO REINFORCE THE PRESENTATION OF
EACH RESIDENCE TO THE STREET

S2 LANDSCAPING PROVIDED TO MAINTAIN PRIVACY BOTH WITHIN &
BEYOND THE DEVELOPMENT

T CREATE PRIVATE NORTH FACING COURTYARDS, MAINTAIN
SUFFICIENT DIMENSIONS TO ENABLE PLANTING OF LARGER
SHADE TREES

REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 3 JANUARY 2025 - FEB 25

SYMBOLS

EXISTING STREET CROSSING

STREET SIGN

ELECTRICAL POLE

ELECTRICAL PIT

ELECTRICAL POLE WITH LIGHT POLE

HOUSE DRAIN

TELSTRA PIT

FIRE HYDRANT

PIT

STORMWATER

SW

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SITE AND GROUND FLOOR LANDSCAPE PLAN

SCALE 1:100

CITY OF MARIBYRNONG
RECEIVED
04/03/2025
URBAN PLANNING

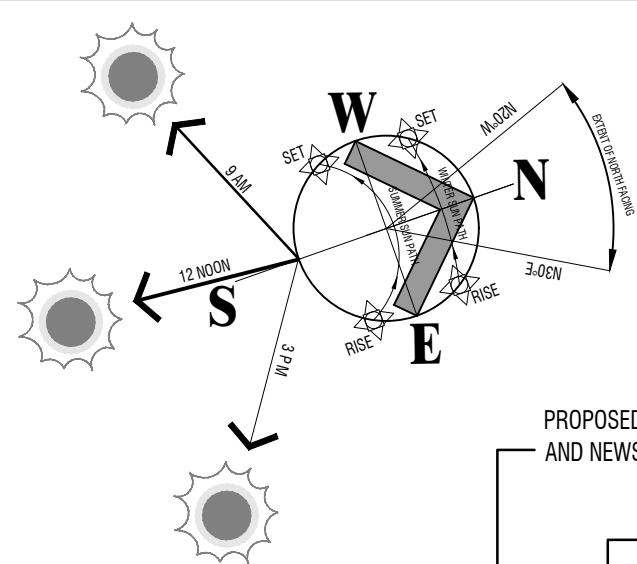
CITY OF MARIBYRNONG
ADVERTISED PLAN

TREE #	TRZ LOSS m ²	TRZ LOSS %
4	4.71 m ²	57.50 %
5	2.56 m ²	17.47 %

CURTIN STREET

SHED PLAN & ELEVATIONS - DWELLING 2

SCALE 1:100



TYPICAL FRONT FENCE DETAIL
SCALE 1:50



RETRACTABLE CLOTHES LINE DETAIL
SCALE 1:50

LANDSCAPE LEGEND:

- TPZ - TREE PROTECTION ZONE
- SRZ - STRUCTURAL ROOT ZONE
- T3 - EXISTING SITE TREE TO BE REMOVED AND THE SELECTED TREE NUMBERS IN ACCORDANCE WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORTS TREE DATA
- T4 - TREE NUMBERS IN ACCORDANCE WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORTS TREE DATA
- TPZ FENCE
- TPZ 'NO GO' ZONE

TREE PROTECTION DURING CONSTRUCTION

THE FOLLOWING ARE GUIDELINES THAT MUST BE IMPLEMENTED DURING EXCAVATION, CONSTRUCTION AND LANDSCAPING TO MINIMISE THE IMPACT OF WORKS ON RETAINED TREES.

THE RETAINED TREE PROTECTION ZONE (TPZ) OF ALL RETAINED TREES IS FENCED AND CLEARLY MARKED AT ALL TIMES. FENCING SHOULD GENERALLY BE COMPLIANT WITH THE SPECIFICATIONS AS CONTAINED WITHIN SECTION 4.4 OF AS4870 AND WHERE FENCING IS NOT PRACTICABLE SUITABLY GROUND PROTECTION IS INSTALLED. THIS FENCE WILL DETER THE PLACEMENT OF BUILDING MATERIALS, ENTRY OF HEAVY EQUIPMENT AND VEHICLES AND ALSO THE ENTRY OF WORKERS AND/OR THE PUBLIC INTO THE TPZ.

IF REQUIRED THE CONSULTANT ARBORIST IS TO BE ON-SITE TO SUPERVISE EXCAVATION WORKS AROUND ANY RETAINED TREES WHERE THE TPZ WILL BE ENCROACHED.

NO PERSONS, VEHICLES OR MACHINERY TO ENTER THE TPZ WITHOUT THE CONSENT OF THE CONSULTING ARBORIST OR SITE MANAGER.

ANY UNDERGROUND SERVICE INSTALLATIONS WITHIN THE TPZ SHOULD BE BORED AND UTILITY AUTHORITIES SHOULD COMMON TRENCH WHERE POSSIBLE.

NO FUEL, OIL, DUMPS OR CHEMICALS SHALL BE ALLOWED IN OR STORED ON THE TPZ AND THE SERVICING AND RE-FUELLING OF EQUIPMENT AND VEHICLES SHOULD BE CARRIED OUT AWAY FROM THE ROOT ZONES.

NO STORAGE OF MATERIAL, EQUIPMENT OR TEMPORARY BUILDING SHOULD TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.

NOTHING WHATSOEVER SHOULD BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE.

SUPPLEMENTARY WATERING SHOULD BE PROVIDED TO ALL TREES THROUGH ANY DRY PERIODS DURING AND AFTER THE CONSTRUCTION PROCESS. TESTING WITH A SOIL PROBE IN A NUMBER OF LOCATIONS AROUND THE TREE WILL HELP ASCERTAIN SOIL MOISTURE LEVELS AND REQUIREMENTS TO IRRIGATE. WATER NEEDS TO BE APPLIED SLOWLY TO AVOID RUNOFF. A DAILY WATERING WITH 5 LITRES OF WATER FOR EVERY 30 MM OF TRUNK CALLIPER MAY PROVIDE THE MOST EVEN SOIL MOISTURE LEVEL FOR ROOTS. WATSON & HAMELCK, 1997. IRRIGATION SHOULD WET THE ENTIRE ROOT ZONE AND BE ALLOWED TO DRY OUT PRIOR TO ANOTHER APPLICATION. WATERING SHOULD CONTINUE FROM NOVEMBER UNTIL APRIL.

FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1

GROUND FLOOR: 127.46 msq / 13.72 SQ's
FIRST FLOOR: 113.00 msq / 12.16 SQ's
GARAGE (1): 23.23 msq / 2.5 SQ's
PORCH: 4.47 msq / 0.48 SQ's

TOTAL: 268.16 msq / 28.86 SQ's

FRONT YARD P.O.S.: 34.94 msq
S.P.O.S.: 71.23 msq

DWELLING 2

GROUND FLOOR: 146.35 msq / 15.75 SQ's
FIRST FLOOR: 113.03 msq / 12.17 SQ's
GARAGE (2): 27.05 msq / 2.91 SQ's
PORCH: 4.47 msq / 0.48 SQ's

TOTAL: 290.90 msq / 31.31 SQ's

FRONT YARD P.O.S.: 29.71 msq
S.P.O.S.: 71.29 msq

SITE AREA: 581.69 msq.

% LAND COVERAGE WITH O/H: 333.18 msq / 57.28 %
(INCLUDING EXTERNAL STORAGE SHED AREAS)
% PERMEABILITY: 197.78 msq / 33.98 %
DRIVEWAYS & PATHS: 47.08 msq.

GARDEN AREA

SITE AREA: 581.69 msq.
MINIMUM REQUIRED OPEN SPACE FOR SITE 581.69 msq (30%) - 174.507 msq.
TOTAL SITE OPEN SPACE - (33.76%) - 196.37 MSQ

STORM RATING AREAS

DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 141.09 msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 162.86msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING

SURFACE SCHEDULE:

- EXPOSED AGGREGATE CONCRETE PAVING
- GRASS AREA
- LILYDALE TOPPING

LANDSCAPE NOTE:

LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

FENCE NOTE:

- F 0.9m HIGH SELECTED POWDER COATED METAL BLADE FENCE
- F1 1.8m HIGH TIMBER PAILING FENCE
- F2 1.6m HIGH TIMBER PAILING FENCE
- F3 2.1m HIGH PRESSED STEEL FENCE
- F4 0.6m HIGH WIRE MESH FENCE

IMPORTANT ARBORIST NOTE:

DRAWINGS MUST BE READ IN CONJUNCTION AND COMPLY WITH ARBORISTS REPORT.
REFER TO THE ARBORICULTURAL IMPACT ASSESSMENT REPORT
PREPARED BY:
MOLLOY ARBORICULTURE PTY. LTD.
ISSUED: 18/02/2025

VISIBILITY SPLAY NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)

ACCESSWAYS MUST HAVE A CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LAND AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 3 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@: 44 CURTIN STREET,
MAIDSTONE

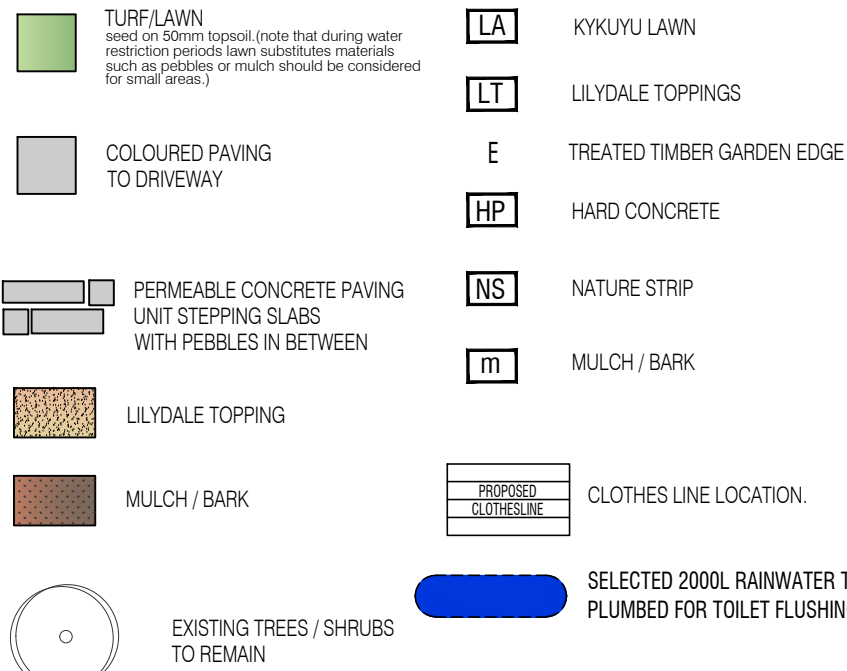
for: VV CONSTRUCTIONS

DWG NO:	DATE	DRAWN BY:	CHECKED BY:	SCALE	SHEET NO:
DO210-24	NOV - 2024	S. RAMZ	D. CRIMA (DP-ADCSB)	1:100	L1

draftmode designs
A - 28 Thomas Street, Airport West 3042
P - 9/330 3454
E - enquiries@draftmode.com.au

PLANTING SCHEDULE

LEGEND



PROPOSED PLANTING TABLE

	ID	Qty	Common Name	Botanical Name	Height x Width (m)	Pot Size (cm)
Trees						
	Map	2	Manchurian Pear	Pyrus Ussuriensis	7.0 x 4.0	2.0m tall at time of planting
	Lit	-	Crepe Myrtle	Lagerstroemia Indica (Tuscarora)	5.0 x 3.0	2.0m tall at time of planting
	Myl	3	Little Gem	Magnolia Grandiflora "Little Gem"	3.5 x 2.5	25
Shrubs and Groundcovers						
	Ate	11	Dwarf Bower Wattle	Acacia cognata "Fetuccini"	1.0 x 1.0	14
	Orm	-	Twiggy Daisy Bush	Clearia Ramulosa	1.2 x 1.0	14
	Lpb	12	Limonium Perezil Blue	Statice Blue	0.6 x 0.4	14
	Pgl	2	Green Pillar	Pittosporum "Green Pillar"	3.0 x 1.0	14
	Glp	-	Butterfly Bush	Gaura Lillipop Pink	0.6 x 0.6	14
Grasses						
	Dgr	-	Wild Iris	Dietes grandiflora	0.75 x 0.75	14
	Dmo	-	Butterfly Flag	Diplarrena moraea	0.70 x 0.40	14
	Eli	4	Elijah Blue	Festuca "Elijah Blue" Fescue Grass	0.15 x 0.30	14
	Lol	-	Mat Rush	Lomandra Longifolia	0.70 x 0.70	14
	Ljr	16	Lilyturf	Liriope muscari "Just Right"	0.50 x 0.50	14
Creepers						
	Pcp	-	Purple Coaral Pea	Hardenbergia Violacea	0.60 x 3.0	14

EASEMENT PLANTING NOTE:

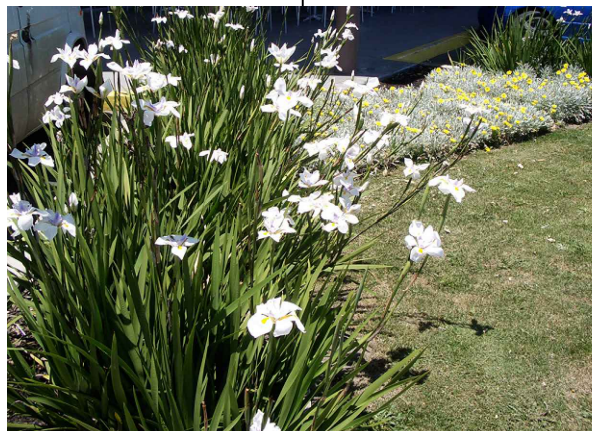
ALL PLANTING IN CLOSE PROXIMITY TO EASEMENTS TO HAVE NON INVASIVE ROOT SYSTEMS.

ROOT BARRIER NOTE:

ROOT BARRIERS TO BE INSTALLED TO ALL CANOPY TREES IF IT IS TO CAUSE ANY DETRIMENT TO STRUCTURAL INTEGRITY OF PROPOSED AND EXISTING SURROUNDING STRUCTURES



CITY OF MARIBYRNONG ADVERTISED PLAN



Extend compacted crushed rock to a min. 100mm to allow for the provision of a concrete haunch

50mm layer of washed river sand

500 x 500mm concrete paving units (to be specified)

Proposed garden bed

100mm (min) timber edge

50mm compacted Lilydale Topping laid over 75mm (min) compacted crushed rock base

800 x 400mm concrete paving units (to be specified)

50mm Washed River Sand

75mm compacted fine crushed rock

CONCRETE PAVING DETAIL

(not to scale)

LILYDALE TOPPING DETAIL

(not to scale)

ADVANCED TREE PLANTING DETAIL

(not to scale)

ADVANCED SHRUB PLANTING DETAIL

(not to scale)

EXISTING SITE TREES TO BE RETAINED AND REMOVED

EXISTING TREES/ SHRUBS TO BE REMOVED OR RETAINED	Tree #	Botanical Name	Common Name	Height (m)	Width (m) NS- EW	D.B.H. (c.m.)	DAB (cm)	Vigour	Structure	ULE	Origin	Age Class	Arb Rating	T.P.Z. (m)	SRZ (m)
RETAINED	1	<i>Lophostemon confertus</i>	Brush Box	2	1 x 1	2	5	Good	Good	20+	Native	Mature	Low	2	1.5
RETAINED	2	<i>Pittosporum undulatum</i>	Sweet Pittosporum	4	3 x 4	6/6/4/3/4/7 (13)	23	Good	Fair	20+	Native	Mature	Low	2	1.79
REMOVED	3	<i>Ficus hirtii</i>	Hills Fig	6	6 x 7	15/15/18/14 (31)	45	Good	Poor	20+	Exotic	Mature	Moderate	3.72	2.37
RETAINED	4	<i>Agonis flexuosa</i>	Willow Myrtle	6.5	5 x 4	8/10/4/5 (14)	18	Good	Fair	20+	Native	Mature	Low	2	1.61
RETAINED	5	<i>Malus domestica</i>	Apple	5	5 x 4	12/14 (18)	20	Good	Fair	20+	Exotic	Mature	Low	2.16	1.68
REMOVED	6	<i>Pittosporum undulatum</i>	Sweet Pittosporum	7.2	6 x 5	15/18/5/4/4/ (25)	34	Good	Good	0-5	Native	Mature	Low	3	2.1
REMOVED	7	<i>Callistemon viminalis</i>	Weeping Bottle brush	5	5 x 2	9/6/2/4/9/5/8/8/6 (35	Good	V. Poor	0-5	Native	Mature	Low		2.13
REMOVED	8	<i>Ligustrum lucidum</i>	Glossy Leaved Privet	7	5 x 8	7/6/3/8/8/9/7/3/7 (20)	38	Good	Poor	0-5	Exotic	Mature	Low	2.4	2.2
REMOVED	9	<i>Pittosporum undulatum</i>	Sweet Pittosporum	7	6 x 7	10/15 (18)	24	Good	Fair	0-5	Native	Mature	Low	2.16	1.82
REMOVED	10	<i>Ligustrum lucidum</i>	Glossy Leaved Privet	6	5 x 6	8/3/3/10/4/3/2/3 (15)	28	Good	Poor	0-5	Exotic	Mature	Low	2	1.94
REMOVED	11	<i>Ligustrum lucidum</i>	Glossy Leaved Privet	5	4 x 5	10/12/12 (20)	20	Good	Fair	0-5	Exotic	Mature	Low	2.4	1.68
REMOVED	12	<i>Pittosporum undulatum</i>	Sweet Pittosporum	7	7 x 8	23	29	Good	Good	20+	Native	Mature	Low	2.76	1.97
REMOVED	13	<i>Pittosporum eugenioides</i>	Variegated Pittosporum	7	5 x 7	19/25 (31)	38	Poor	V. Poor	5-10	Exotic	Mature	Low	3.72	2.2
REMOVED	14	<i>Lophostemon confertus</i>	Brush Box	9.6	7 x 8	25/29 (38)	61	Fair	Poor	20+	Native	Mature	Moderate	4.56	2.69
REMOVED	15	<i>Fraxinus angustifolia</i>	Desert Ash	7	3 x 4	12/8 (14)	25	Good	Poor	0-5	Exotic	Mature	Low	2	1.85

TREE PLANTING NOTES

Dig a shallow, broad planting hole that is up to 3 times the width of the root ball but only as deep as the root ball. The soil under the root ball must not be excavated if it has been dug or disturbed then compact it (with your feet) so that it can support the root ball.

Identify the trunk flare - the point where roots and trunk meet should be just visible at the surface, if it is buried by potting mix or site soil or mulch then remove any such material.

Carefully remove the container and examine the roots. If there are circling roots then prune or remove them. Place the tree at the proper height, do not plant too deeply. It is better to plant a tree a little higher rather than deeper than the natural ground level. If there is a slope then it should be no deeper than the lower slope. Lift the tree by the root ball not by the trunk.

Straighten the tree in the hole before backfilling with the excavated site soil, view the tree from several directions to check it is straight.

Fill the hole gently but firmly with site soil - fill the hole about one third full, then water and gently but firmly pack the soil around the base of the root ball. Then fill hole. Fertiliser use is not recommended.

Stake if necessary - if the tree is properly grown in the nursery and properly planted it will not need staking for support but it can assist with mower damage or very windy conditions. Ties should be loose to allow movement to stimulate the growth of supporting roots. Stakes should be removed after one year.

Mulch the base of the tree-organic mulch such as pine bark can help to retain moisture and suppress weed growth. Do not cover the root ball or trunk with mulch.

Provide follow up care-water once a week if there is no rain and more frequently if temperature exceeds 30C. The first few weeks and the first Spring-Summer-Autumn are vital.

LANDSCAPE NOTES

1. THIS PLAN IS BASED ON GROUND FLOOR PLAN PLAN No. U049-021 BY DRAFT M.O.D.E.

2. Contractor shall note that the required location & dimensions of works may not exactly correspond with existing conditions.

3. Contractor shall use figure dimensions in preference to scale & shall verify all dimensions on site before commencement of works.

4. Contractor shall verify the location of all services, gas, electrical, water, sewage & drainage before commencement of works.

5. The landscape area is to be cleared of all waste. Grass is to be spread over the area at the rate of 15kg/ha & then the area is to be mowed.

6. All plants are to be healthy, disease free specimens. Climatic or similar slow release fertiliser is to be applied to all plants. Thoroughly water in all plants. Stake and tie all canopy trees.

7. Provide either plastic edge or similar between lawn, garden areas and gravel paths. All landscape beds are to be mulched with 100mm minimum depth of wood chip mulch.

8. Plants are to be deep watered once per week until established. Mulch is to be renewed twelve months after planting. In the event of plant dying it is to be replaced.

9. An in-ground irrigation system is to be provided through landscaped areas, to be determined on site.

THIS PLAN IS FOR PLANNING PURPOSES ONLY AND NOT FOR CONSTRUCTION

Refer to Architects plans for existing structures and services to

PAVING
Paving units shall be 800mm x 400mm concrete units (to be specified) laid over a base of 100mm compacted crushed rock and 50mm washed river sand. Allow 6mm joints between paving units and crush fill with 'yellow' jointing compound or similar approved.

All paving shall be to a grade of approximately 1% to aid surface drainage towards garden beds and away from house.

GARDEN BEDS
All garden beds shall be dug down to a depth of 50mm. A standard garden mix from an approved supplier containing topsoil and compost shall be incorporated to garden beds and match paving finished levels.

LILYDALE TOPPING
Lilydale Toppings shall be laid according to manufacturer's instructions and in locations shown on the drawings. Refer TO Detail H404:Architects Plans for indication of levels. Confirm levels prior to construction.

MULCH
Spread in approved Eucalyptus mulch to a minimum depth of 100mm to all finished garden beds.

REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 3 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@ 13 MARSH STREET,
MAIDSTONE

for: **VV CONSTRUCTIONS**

DWG NO.	DATE	DRAWN BY	CHECKED BY	SCALE	PROJECT NO.
DD208-24	OCT - 2024	E. GARRATT	D. GARRATT	1 : 100	L2
draftmode designs pty ltd					
A - 28 Thomas Street, Airport West 3042 P - 9 330 3434 E - enquiries@draftmode.com.au					