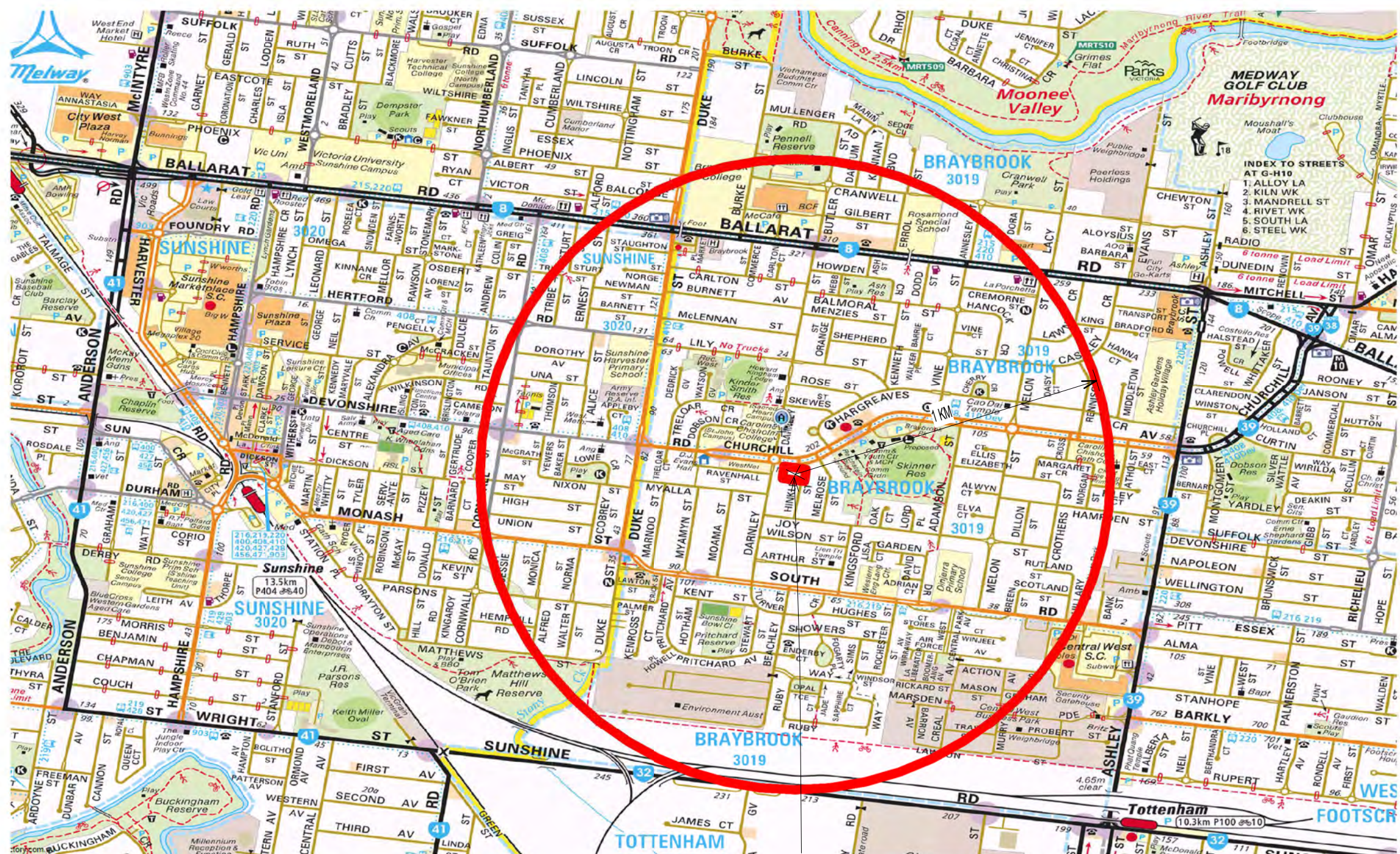


19 HINKLER STREET, BRAYBROOK VIC 3012



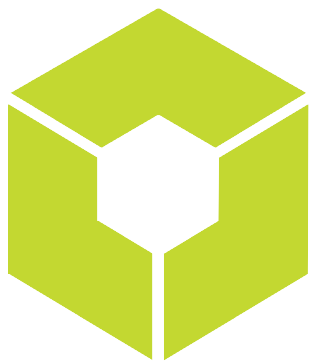
LOCALITY PLAN

SUBJECT SITE

CITY OF MARIBYRNONG
ADVERTISED PLAN



3D IMPRESSIONS





SITE DESCRIPTION

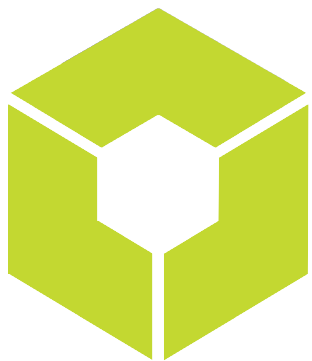
- Existing houses in the area vary from a mix of single and double storey fibro houses and brick veneer houses from different periods. Some examples of dual occupancies also exist in the area.
- There are few vegetation on site. However, there are a number of small to medium trees which will be removed.
- Fencing in the area consist of picket, paling, iron fence between 1m - 1.8m high, while a few properties have no fence.
- The site is also close to major road access and bus routes servicing the surrounding area.
- Existing crossover of the site is close to the south west boundary of the site
- The site has north south orientation.

OPPORTUNITIES

- Site consists of land approx. 740m².
- Northern orientated open spaces to receive maximum amount of daylight.
- Great access to nearby amenities including schools, local neighbourhood shops, medical centres, child care centres and parks.
- Ease of access to primary arterial roads.
- Existing traffic calming measures help ease the traffic flow throughout the area.
- Adding diverse dwelling types to the area - catering for the large range of market segments.

CONSTRAINTS

- Potential overlooking into neighbouring properties.
- Potential internal overlooking needs to be considered.
- Potential overshadowing into adjacent property to the southnd west of the subject site.
- Any proposed double storey building forms to be sympathetic to the area and try not to dominate the existing dwellings in the area.
- Access to be considered with vehicle maneuverability in and out of the site.
- Adjoining north facing habitable windows
- Easement to the West and North. Sewer main in the easement.



ARC ZERO PTY LTD

PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

Site Analysis Plan

A: 179-185 Peel street, North Melbourne, VIC 3051

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E: info@arczero.com.au

W: www.arczero.com.au

ACN: 139 748 128

ISSUE: TOWN PLANNING RF

DATE: 04 MARCH 2025

1 : 250 @ A1

A 0.2

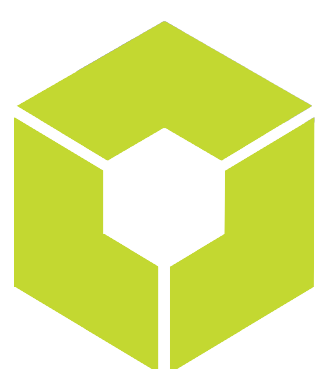


DESIGN RESPONSE

- The proposal is to build three (3) double storey dwellings with associated garages.
- The proposal can still respectfully fit into its surrounding neighbourhood despite its distinct and contemporary appearance by keeping the overall massing appropriate to the neighbourhood. The gable roof form which can be found at several recent developments within the area, is interpreted and articulated into the facade design, offering interesting interface to the corner streetscape of a major road. Also, materials and colour selection are inspired by the local palettes to complement the neighbourhood's characters that promotes robustness and durability.
- Impact of overshadow is not a major issue due to the advantageous orientation of the site. However, the built form is thoroughly studied to minimise excessive shadowing onto adjoining private properties, as well as the new north-facing private open spaces. Refer to attached Shadow diagrams.
- Windows facing adjoining neighbours or to other dwellings within the development are treated appropriately in accordance with the Residential Development Standards (ResCode). These openings either have sill height at least 1.7m above the finished floor level (FFL), or are installed with obscured glass fitted permanently to any part below 1.7m above the FFL.
- Wherever possible, appropriate tree planting is provided along all boundaries to provide a natural buffer and transition between the new dwellings and their surroundings.
- The existing crossover on the northeast corner of the site is retained. One (1) new crossovers is proposed on the southeast corner of the site, and this crossover will be constructed to the satisfaction of Relevant Authority. Despite the increment in number of crossover, the proposal strive to improve the site's amenities while ensuring the safety of both pedestrian and vehicle.

LEGEND

- ① Adjoining existing neighbouring private open spaces to be protected from unreasonable overlooking and overshadowing.
- ② Articulated forms to control building's mass and bulk.
- ③ Appropriate front, side and rear setbacks.
- ④ Private open spaces that are at the front and adjacent to existing neighbouring gardens & secluded private open spaces, offering opportunity for landscaping and informal screening.
- ⑤ North facing habitable windows protected from overshadowing
- ⑥ Existing crossover to be retained.
- ⑦ New crossover constructed to satisfaction of Relevant Authority.



ARC ZERO PTY LTD

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Design Response

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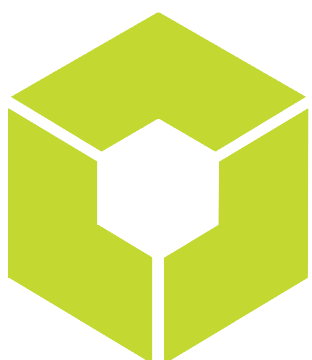
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A 0.3



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As indicated @ A1

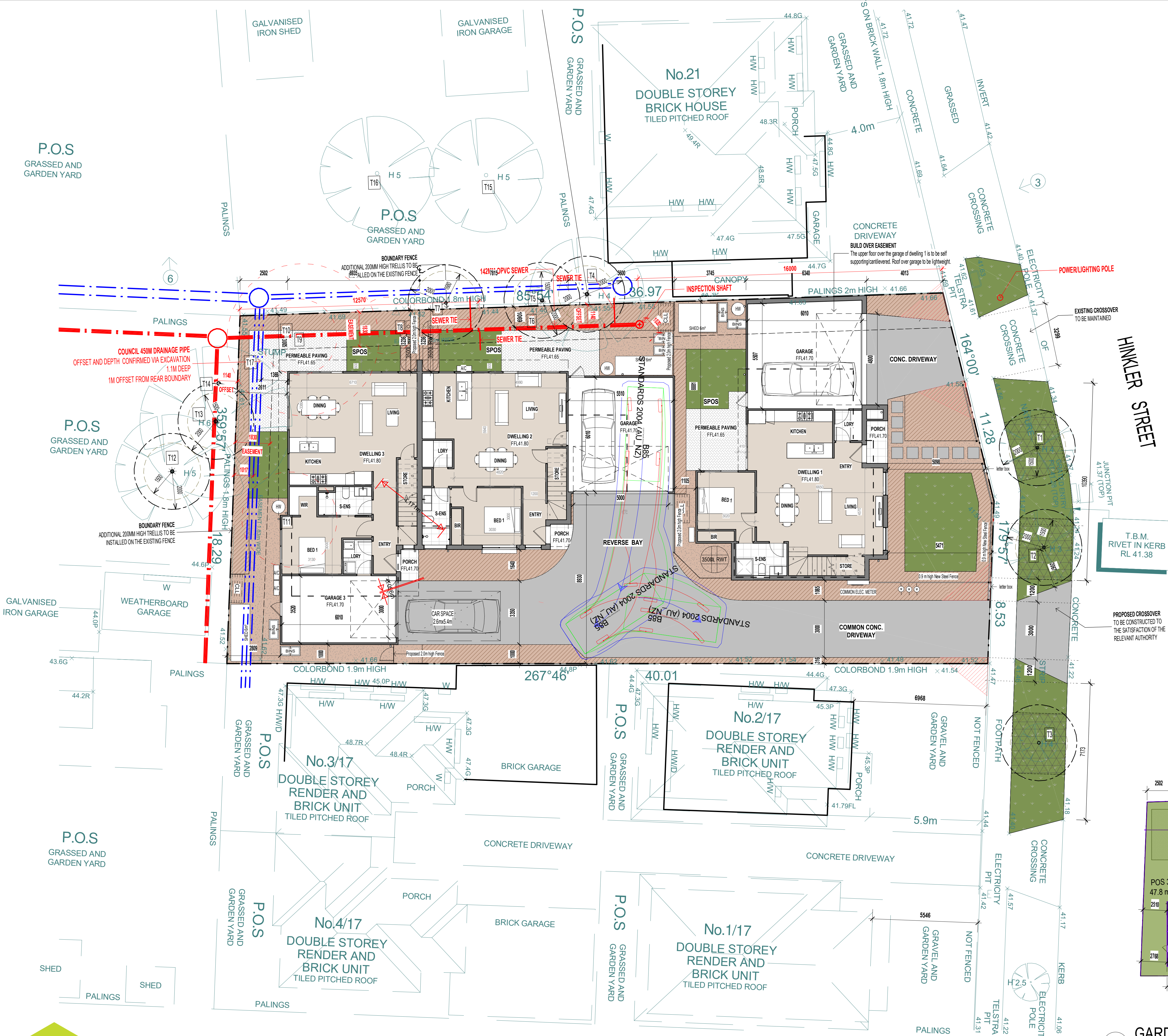
PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

Ground Floor Plan

GARDEN AREA PLAN

1: 200

A 1.1



| DW1 BUILDING AREA | |
|-------------------|----------------------|
| DW 01 GROUND | 74.2 m ² |
| DW 01 GARAGE | 37.4 m ² |
| DW 01 FIRST | 80.7 m ² |
| Grand total | 192.2 m ² |

| DW1 OPEN AREAS | |
|----------------|----------------------|
| SPOS 1 | 33.5 m ² |
| POS 1 | 5.2 m ² |
| POS 1 | 9.9 m ² |
| POS 1 | 52.3 m ² |
| Grand total | 100.8 m ² |

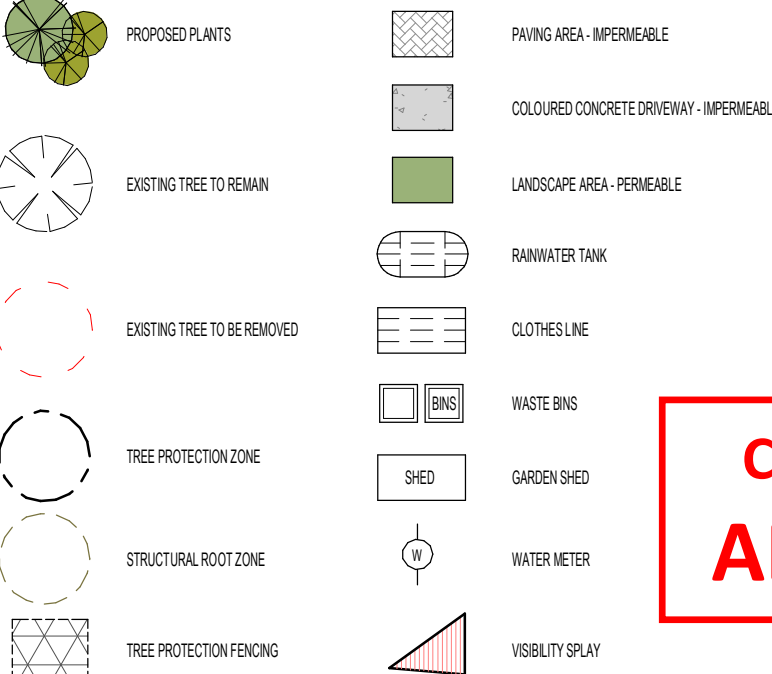
| DW2 BUILDING AREA | |
|-------------------|----------------------|
| DW 02 GROUND | 106.8 m ² |
| DW 02 FIRST | 81.3 m ² |
| Grand total | 188.0 m ² |

| DW2 OPEN AREAS | |
|----------------|---------------------|
| SPOS 2 | 47.6 m ² |
| Grand total | 47.6 m ² |

| DW3 BUILDING AREA | |
|-------------------|----------------------|
| DW 03 GROUND | 74.0 m ² |
| DW 03 FIRST | 77.5 m ² |
| DW 03 GARAGE | 22.6 m ² |
| Grand total | 174.1 m ² |

| DW3 OPEN AREAS | |
|----------------|---------------------|
| SPOS 3 | 29.2 m ² |
| POS 3 | 47.8 m ² |
| Grand total | 77.0 m ² |

LEGEND

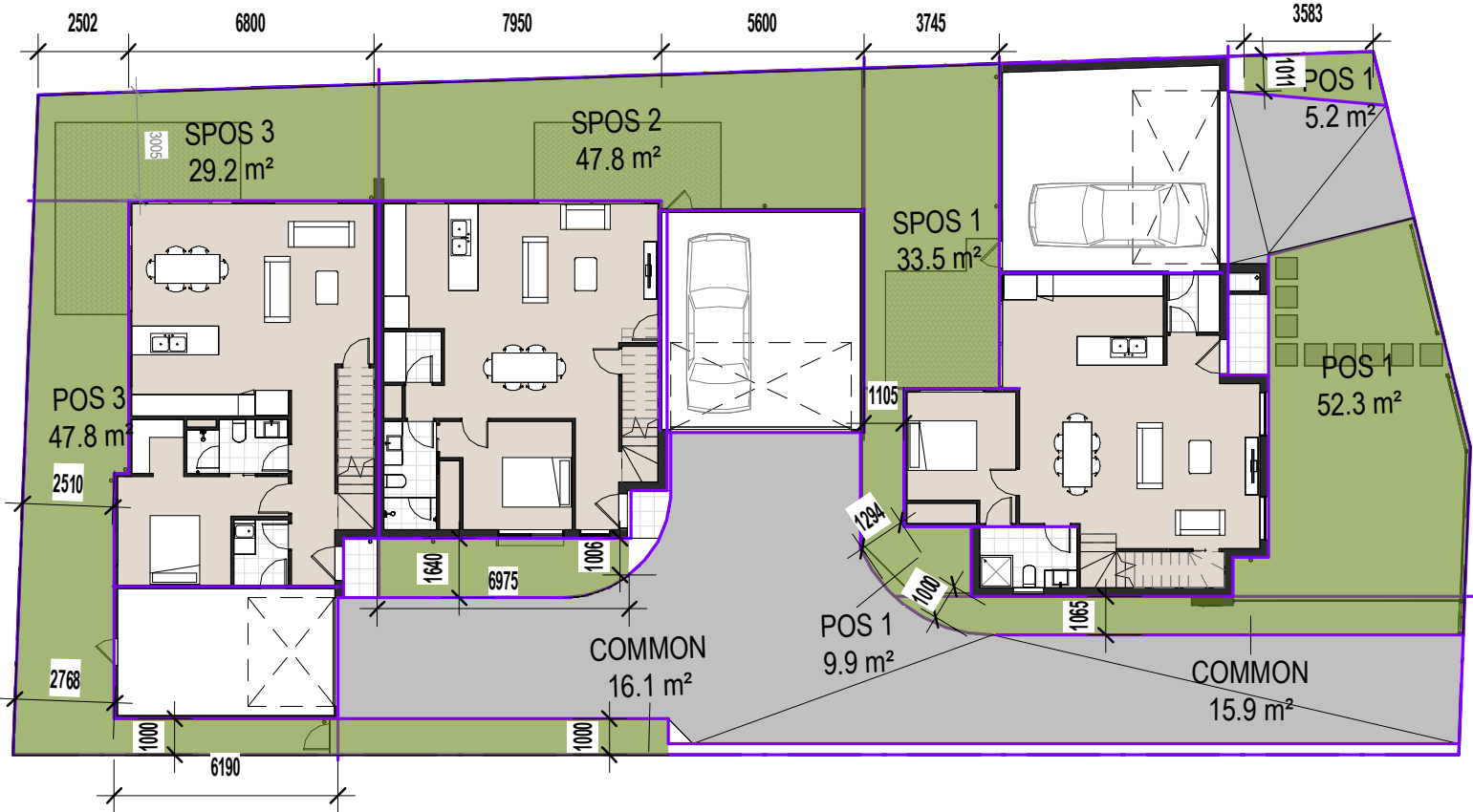


DEVELOPMENT ANALYSIS

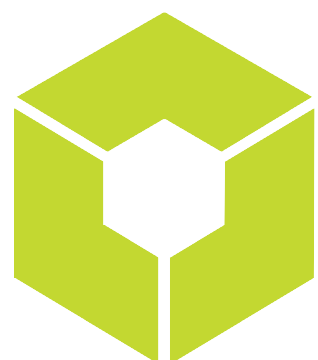
| | |
|-----------------------------|----------------------------|
| SITE AREA | 740.0 m ² |
| BUILT ON AREA/SITE COVERAGE | 342.0 m ² (46%) |
| PAVED AREA | 150.0 m ² |
| TOTAL IMPERVIOUS AREAS | 492.0 m ² |
| % SITE PERMEABILITY | 33.5% |
| REQUIRED GARDEN AREA | 259.0 m ² (35%) |
| PROVIDED GARDEN AREA | 260.9 m ² |
| TOTAL CAR SPACES REQUIRED | 6 |
| TOTAL CAR SPACES PROVIDED | 6 |

VISIBILITY SPLAY (VPP 52.06-9)

HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2 METRES ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5 METRES ALONG THE EXIT LANE FROM THE FRONTAGE, TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 800MM IN HEIGHT.



CITY OF MARIBYRNONG
ADVERTISED PLAN



ARC ZERO PTY LTD

PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

First Floor Plan

A 1.2

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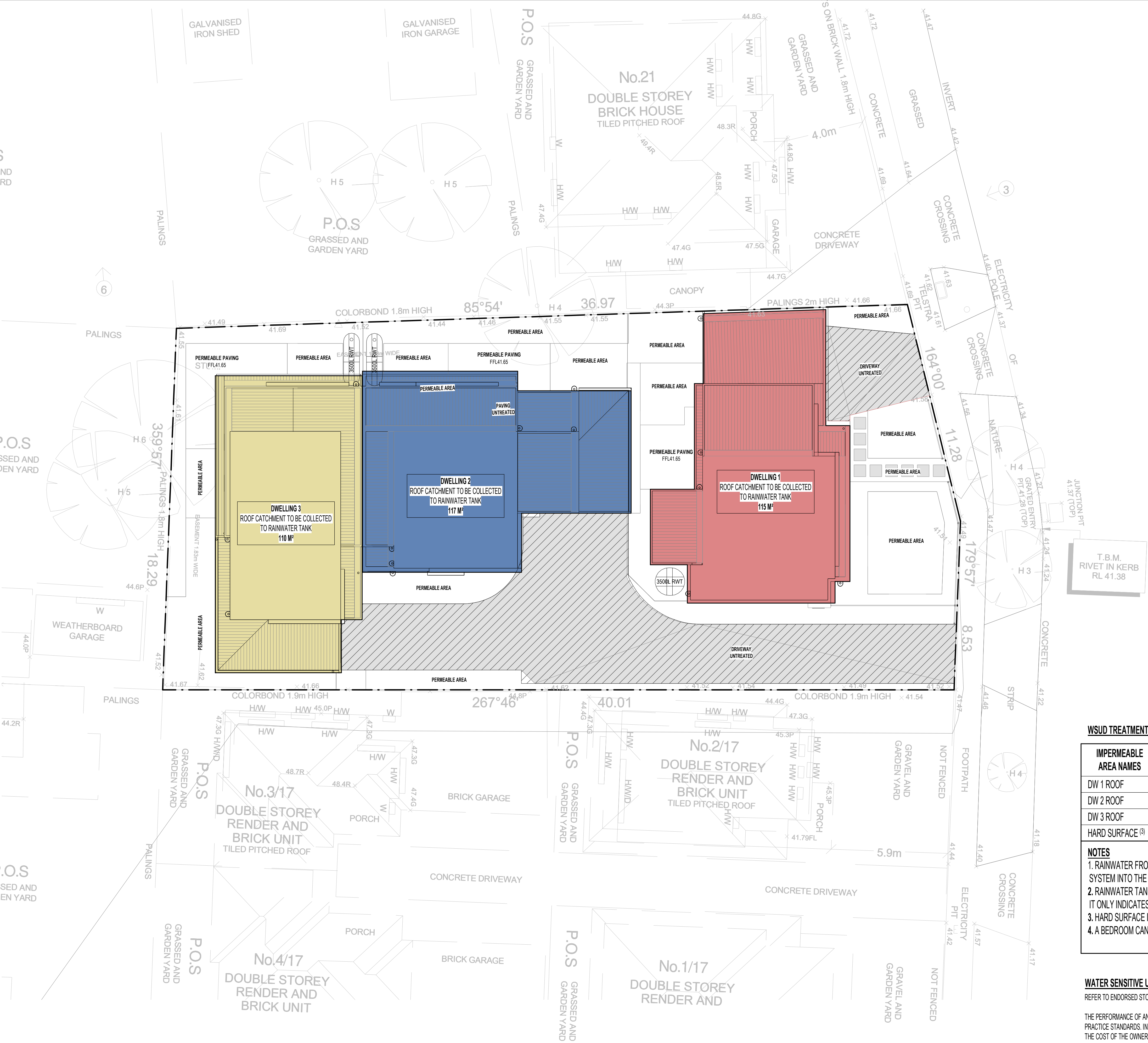
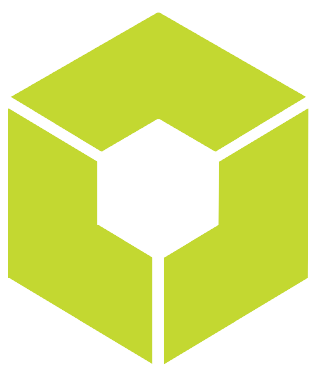
W: www.arczero.com.au

ACN: 139 748 128

ISSUE: TOWN PLANNING RF

DATE: 04 MARCH 2025

1 : 100 @ A1



Melbourne Water STORM Rating Report

TransactionID: 0
Municipality: MARIBYRNONG
Rainfall Station: MARIBYRNONG
Address: 19 HINKLER ST

BRAYBROOK VIC 3020
Assessor: ARCZERO
Development Type: Residential - Multiunit
Allotment Site (m2): 740.00
STORM Rating %: 100

| Description | Impervious Area (m2) | Treatment Type | Treatment Area/Volume (m2 or L) | Occupants / Number Of Bedrooms | Treatment % | Tank Water Supply Reliability (%) |
|-----------------|----------------------|----------------|---------------------------------|--------------------------------|-------------|-----------------------------------|
| DWELLING 1 ROOF | 115.00 | Rainwater Tank | 2,500.00 | 4 | 140.40 | 84.30 |
| DWELLING 2 ROOF | 117.00 | Rainwater Tank | 2,500.00 | 4 | 139.70 | 84.30 |
| DWELLING 3 ROOF | 110.00 | Rainwater Tank | 2,500.00 | 4 | 151.60 | 82.90 |
| UNTREATED | 150.00 | None | 0.00 | 0 | 0.00 | 0.00 |

CITY OF MARIBYRNONG
ADVERTISED PLAN

Date Generated: 04-Mar-2025

Program Version: 1.0.0

WSUD TREATMENT SUMMARY

| IMPERMEABLE AREA NAMES | IMPERMEABLE AREA (m ²) | TREATMENT | | NUMBER OF BEDROOMS ⁽⁴⁾ | CONNECTION ^(1,4) | |
|-----------------------------|------------------------------------|----------------|------------------------------|-----------------------------------|-----------------------------|---------|
| | | TYPE | MIN. SIZE (l) ⁽²⁾ | | TOILETS | LAUNDRY |
| DW 1 ROOF | | RAINWATER TANK | 2500 L | 4 | YES | NO |
| DW 2 ROOF | | RAINWATER TANK | 2500 L | 4 | YES | NO |
| DW 3 ROOF | | RAINWATER TANK | 2500 L | 4 | YES | NO |
| HARD SURFACE ⁽³⁾ | | N/A | | | | |

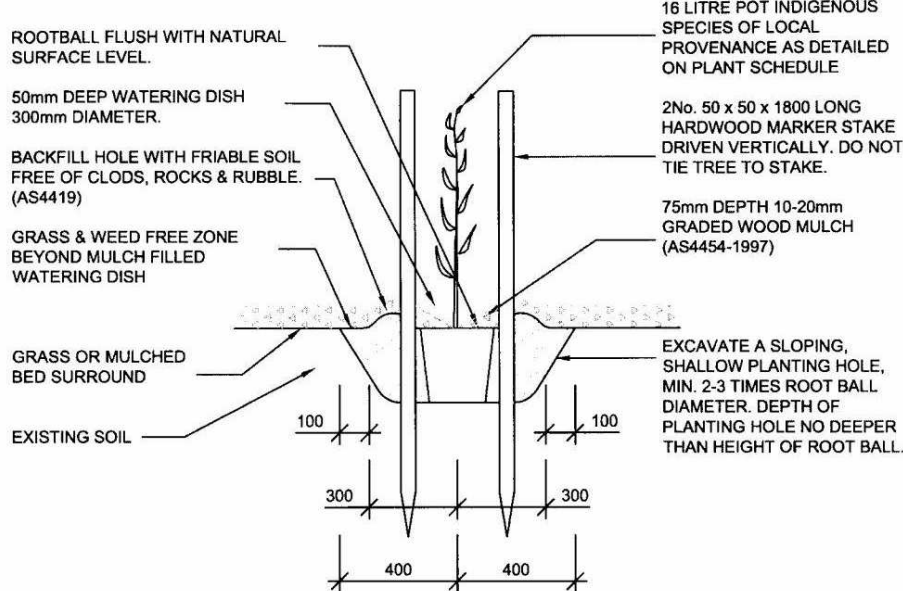
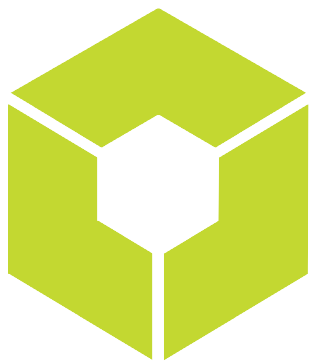
- NOTES
1. RAINWATER FROM THE ENTIRE ROOF CATCHMENT AREA OF EACH DWELLING IS TO BE COLLECTED AND DISCHARGED VIA A CHARGED SYSTEM INTO THE ASSOCIATED RAINWATER TANK WHICH IS CONNECTED TO ALL TOILETS FOR FLUSHING.
 2. RAINWATER TANK CAPACITY NOTED IN THE TABLE ABOVE, ASSOCIATED STORM, AND BESS REPORTS IS NOT THE FULL SIZE OF THE TANK. IT ONLY INDICATES STORM TREATMENT CAPACITY (RAINWATER RETENTION/ REUSE).
 3. HARD SURFACE INCLUDES UNTREATED IMPERMEABLE AREAS AND ROOF AREA.
 4. A BEDROOM CAN BE ADDED TO DWELLING'S TOTAL NUMBER OF BEDROOMS IF THE RAINWATER TANK IS CONNECTED TO THE LAUNDRY.

WATER SENSITIVE URBAN DESIGN (WSUD)

REFER TO ENDORSED STORM REPORT.

THE PERFORMANCE OF ANY WATER SENSITIVE URBAN DESIGN (WSUD) DEVICE MUST BE MONITORED AND MAINTAINED SUCH THAT IT CONTINUES TO MEET BEST PRACTICE STANDARDS. IN THE EVENT THAT THE DEVICE FAILS TO MEET BEST PRACTICE STANDARDS IT MUST BE REPAIRED OR REPLACED WITH AN ALTERNATE AT THE COST OF THE OWNER/OPERATOR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

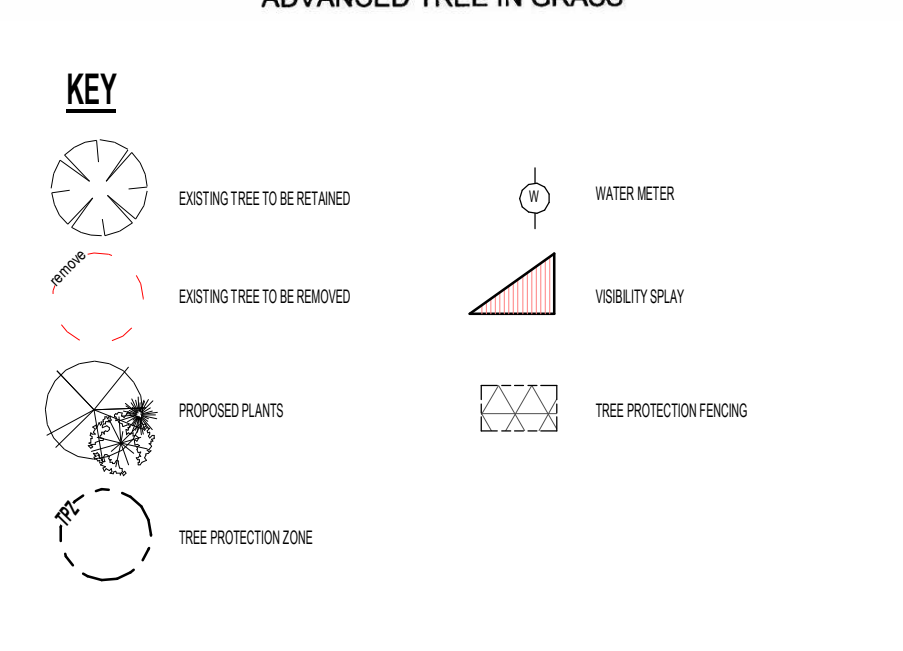
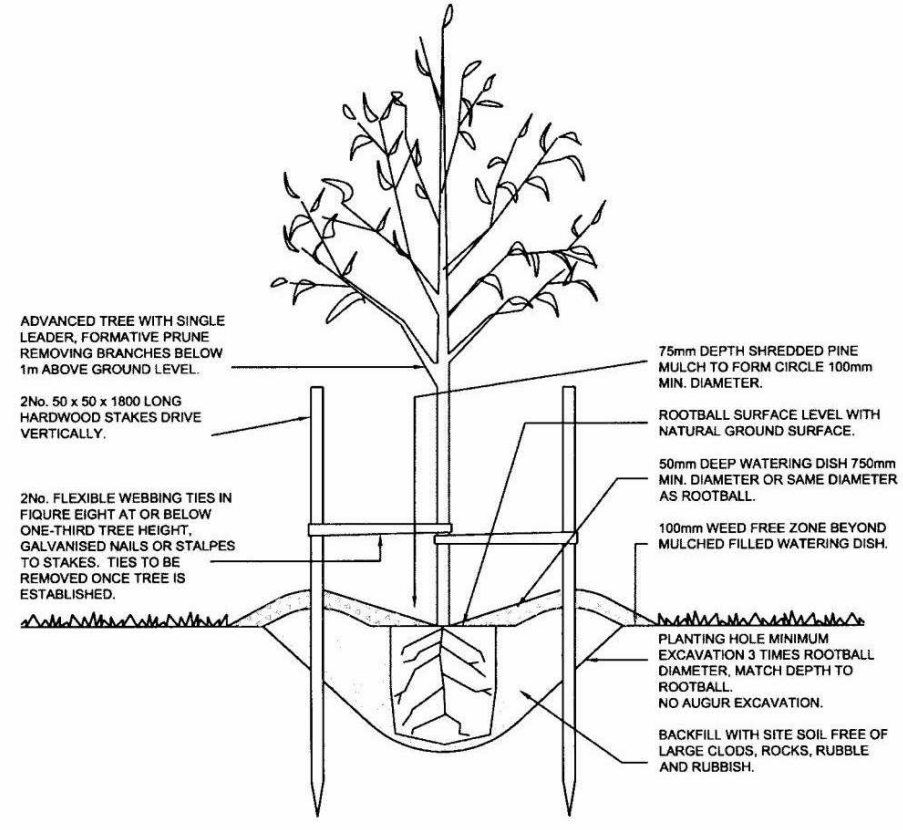
REFER TO THE URL FOR GUIDANCE AVAILABLE FROM EPA MELBOURNE WATER ABOUT THE MANAGEMENT OF EROSION AND SEDIMENT BE DURING CONSTRUCTION:
<https://www.clearwater.vic.com.au/resource-library/guidelines-and-strategy/keeping-our-stormwater-clean-a-builders-guide.php>



PLANT IN MULCHED GARDEN BED

NOTES:

1. AUGER EXCAVATION NOT PERMITTED.
2. SPRAY PLANTING SITE WITH GLYPHOSATE BASED HERBICIDE MIN. 2 WEEKS PRIOR TO CULTIVATION. REPEAT SPRAY TO ACHIEVE COMPLETE WEED KILL.
3. PLANTS TO CONFORM TO REQUIREMENTS OF NATSPEC #2 GUIDE "PURCHASING LANDSCAPE TREES - A FIELD GUIDE TO ASSESSING TREE QUALITY".
4. EACH PLANT TO RECEIVE 10 LITRES OF WATER IMMEDIATELY AFTER PLANTING.



| MATERIAL SCHEDULE | | | | |
|---------------------------|---|--|--|--|
| Name | Specifications | | | |
| Paving | Light coloured pavers, concrete, or similar. Size and style are as selected. | | | |
| Garden beds & mulch | 10mm pine bark mulch to a depth of 75mm. | | | |
| Garden edging | 75mm x 19mm treated pine. | | | |
| Driveway | Weatherproofing coloured concrete driveway as selected. | | | |
| Clothesline | Ground mounted folding clothesline as selected. | | | |
| Toppings | 50mm compacted or 60mm loose layer of selected pebbles or tuscan toppings as path. | | | |
| Lawn areas & Grass strips | Low maintenance, drought tolerant, non-invasive species turf on 50mm topsoil or use mulch as substitute during drought periods. | | | |

| PLANTING SCHEDULE | | | | |
|----------------------------|-----|-------------------------------------|--------------------|-------------|
| ID | Qty | Botanical Name | Common Name | Pot Size |
| 01. Groundcovers/ Tussocks | | | | |
| bm | 88 | Brachyscome multifida 'Break O Day' | Native Daisy | 0.3 x 0.5m |
| cr | 17 | Curio repens syn. Senecio serpens | Blue Chalk Sticks | 0.15 x 0.6m |
| 02. Shrubs | | | | |
| gr | 35 | Grevillea rosmarinifolia | Crimson Vellea | 0.9 x 0.9 m |
| heg | 31 | Hebe 'Emerald Green' | Hebe Emerald Green | 0.6 x 0.6 m |
| cg | 23 | Correa glabra 'Ivory Lantern' | Rock Correa | 0.6 x 0.6m |
| 04. Small to Medium Tree | | | | |
| av | 1 | Allocasuarina verticillata | Drooping She-oak | 5m-10m |

PREPARING A GARDEN BED FROM A BUILDING SITE

- Cleaning:**
- Clean the site of debris and weeds.
 - If soil is contaminated by paint or concrete wash - which shall be avoided - it must be dug out and removed. If in a tree protection zone (TPZ) - more reason to prevent - it shall be hand excavated to avoid cutting roots. The topsoil shall be replaced with site soil or imported topsoil that complies with 'AS 4419 - 2003 Soils for landscaping and garden use'.

- Grading and Drainage:**
- In areas with existing topsoil that will be paved the topsoil can be excavated (Unless in TPZs) and stockpiled - to be later used on garden beds.
 - Grade the area into garden beds (slightly higher) and lawn or gravel areas. Garden beds shall be edged with sustainable sourced materials eg treated pine. The treated pine timber (or similar) is to be 75mm x 25mm in size, secured with 300mm long stakes at 1000mm spacings.
 - Check the drainage of the area by running a sprinkler for 5-10 minutes (check water restrictions) and look where the water flows, noting any water tracks or ponding in areas. Adjust grading accordingly. Garden beds, paths and lawn or gravel areas shall all drain towards a drainage grate, pit or rain garden.
 - Drainage issues may be addressed by the creation of a swale, which can be covered with rock pieces or a sump pit filled with crushed rock wrapped in porous geotextile and covered with lawn or stones.

- Improving soils:**
- Existing garden beds can be prepared with added organic material such as well rotted manures or materials from plant and animal sources sold as soil improvers or compost and prepared to AS 4454 - 2003. These can just be top dressed (placed over the top of the soil) and then covered with mulch. If there is no existing topsoil left then imported topsoil that complies with AS 4419 - 2003 shall be used with organic mulch on top.

- Plants and Planting:**
- Trees and plants supplied are to be healthy and free from insects, diseases and weeds. The pot sizes indicated in the plant schedule are the minimum size to be supplied and installed.
 - When each planting area is prepared, if soil is dry, fill with water and allow to drain away completely. Plant roots are to be banded outdoors if roots are matted in pot. Place plant in centre of hole and ensure that the top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Soil is to be backfilled firmly into the hole and thoroughly watered in.
 - Trees are to be staked with two hardwood stakes driven firmly into the ground but not through the rootball. Trees are to be secured to the stakes with strong but flexible tree ties that are tight enough to support the trees in windy conditions but loose enough to stimulate good tree growth and development. The tree ties must not injure tree bark or restrict tree growth for at least the first three years of tree growth.
 - A slow release fertiliser (e.g. Osmocote or similar) is to be applied to all garden beds as specified by the manufacturer and be kept away from the plant trunks and then watered immediately.
 - Plants of the Proteaceae family (Gnolias, Banksias, Hakeas and Leucadendrons) shall only be fertilised with a low phosphorous preparation (often sold as native preparations).
 - Plants of the Legume (eg wattle or pea) or Casuarina (eg She Oak) families shall be fertilised with a low nitrogen preparation or not fertilised at all.
 - Hard clay sub soils can be fractured or ripped to break them up without destroying their structure. This can be done in small areas with vertical action by a garden fork or spade and subsequent placement of organic matter into the vertical spaces. This shall be top dressed with organic material and then mulch added over the top.

- Others:**
- Soil excavation shall not be carried out in Tree Protection Zones.
 - Clay soils shall never be cultivated in any way when they are wet.
 - Use of plastic weed mats, solid or woven are inappropriate as they deprive soil of oxygen.
 - Garden beds shall be mulched to a depth of 75 - 100mm with a sustainably sourced material with average particle size of 10mm.

MAINTENANCE NOTES

- Watering:** Plants shall be watered immediately after planting, then weekly for the first month, then fortnightly for the first 3 months. Watering is unnecessary if there has been enough recent rain. Additional watering is required on days over 30°C or high wind days. Drought tolerant species are selected but all plants will look better if given fortnightly irrigation over hot dry periods.
- Weeding:** Removal of weeds by hand and/or by a weedicide preparation once a month or as required. Take care to avoid spray drift and follow manufacturers' instructions.
- Pruning:** Shrubs and young trees shall be pruned at 3 months, 6 months and then yearly for: dead, diseased, misshaped or crossed branches and general shaping. Young trees shall be formatively pruned of competing stems to ensure a single main trunk. Stakes shall be removed after one year.
- Pest and disease control:** Check plants for damage once a month and use relevant sprays to manufacturer's recommendations.
- Fertilisers:** A general organic low phosphorous fertiliser shall be placed under mulch or incorporated into the soil with a vertical spade cut once every 6 months.
- Lawns:** Mowing every 3 to 6 weeks, depending on time of year, rainfall and growth to 50mm height. Pest, weed control and fertilising with a liquid preparation once every 6 months.
- General:** Remove rubbish and replace dead plants with the same species. Maintain mulch levels.

TREE PROTECTION GUIDELINES

- The Tree Protection Zone (TPZ) radius shall be determined by measuring the trunk diameter (DBH) at 1.4m above the ground in metres and multiplying it by 12. The TPZ is an area isolated from construction disturbance - which includes excavation, compacted fill and machine trenching - so that the tree remains viable. Any root excavation within the TPZ shall be avoided and this is to be done during the design and planning stage. If it is unavoidable, then Council's Arborist shall be contacted on Ph. 9298 8125.
- The Tree Protection Zone is to be fenced and clearly marked at all times. The fence shall be chain wire mesh panels (2.4m wide x 2.1m high) attached to concrete footbase or similar.
 - If temporary access is required through a TPZ area then a geotabric shall be laid down within the TPZ, with a 100mm depth of no fines mulch/woodchip with a rumble board strapped together laid on top and reinstated immediately after works.
 - Any underground service installations shall be bored within the TPZ.
 - No fuel, oil drums, chemicals, materials, equipment, vehicles or temporary buildings shall be allowed in the TPZ. Nothing whatsoever shall be attached to any tree including wires, nails, screws or other devices.
 - Supplementary watering shall be provided to all trees throughout any dry or windy periods during and after the construction process.
 - Any pruning required must be carried out by a trained and competent Arborist to comply with Australian Standard AS 4373 - 1996 Pruning of Amenty Trees.
 - Activities to be restricted within the TPZ and other notes are outlined in the Australian Standard AS 4370 - 2009 "Protection of Trees on Development Sites".

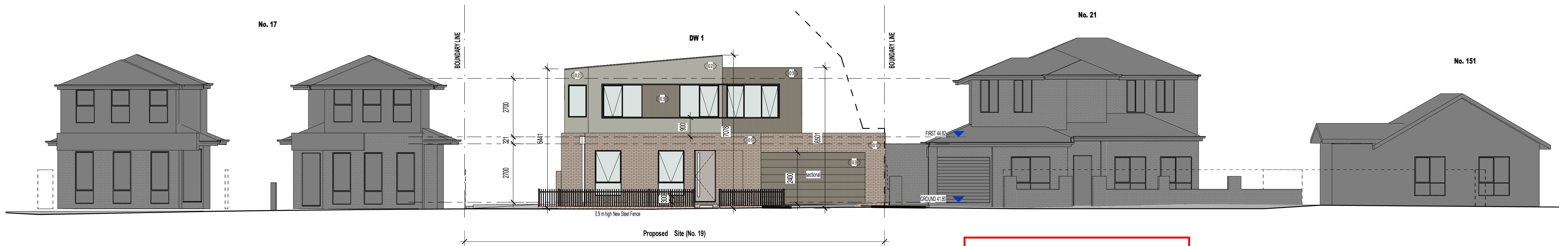
VISIBILITY SPLAY

- Have a corner splay or area at least 50 per cent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 0.9m in height.

GENERAL NOTES

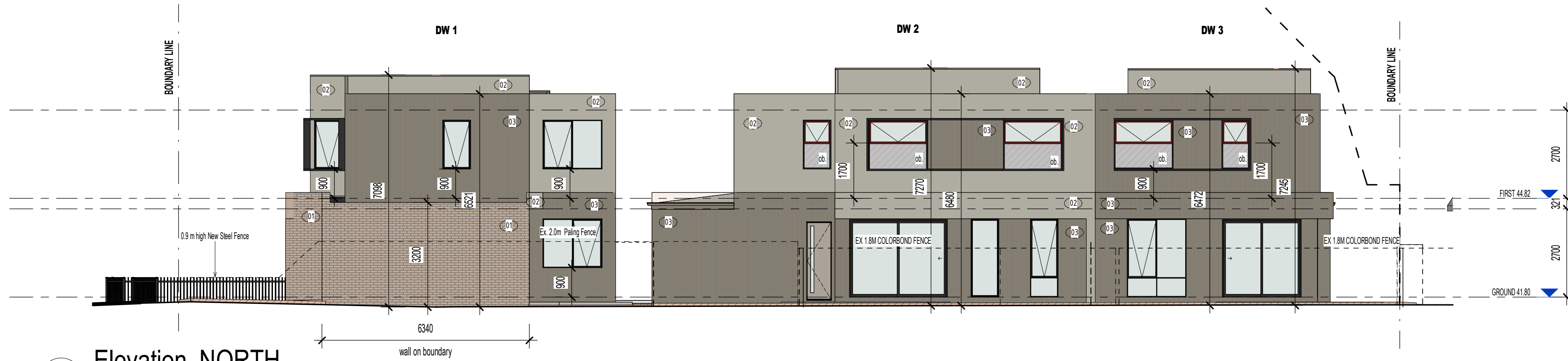
- This landscape plan is intended for planting guide and general layout only.
- All dimensions, locations, conditions, etc. are to be verified on site.
- This plan is supposed to be read in conjunction with other relevant plans and town planning permit conditions.

CITY OF MARIBYRNONG
ADVERTISED PLAN

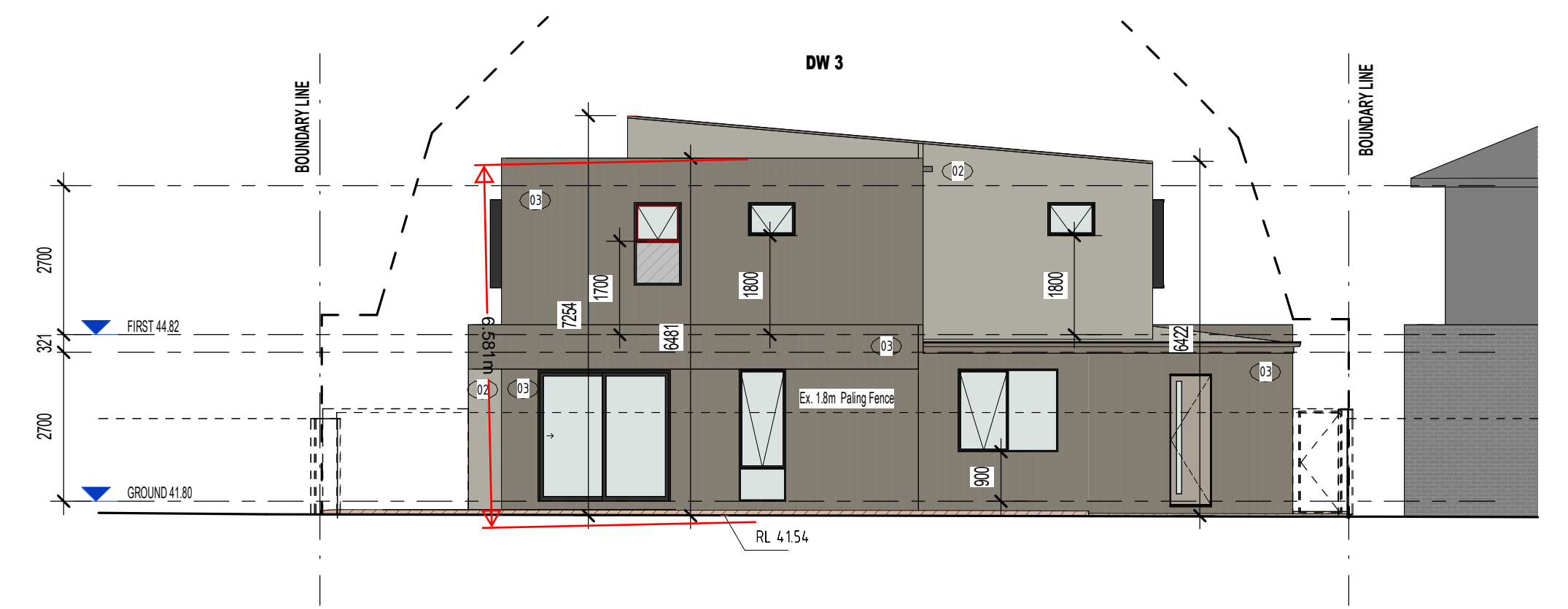


7 Elevation_EAST_Hinkler Streetscape
1 : 100

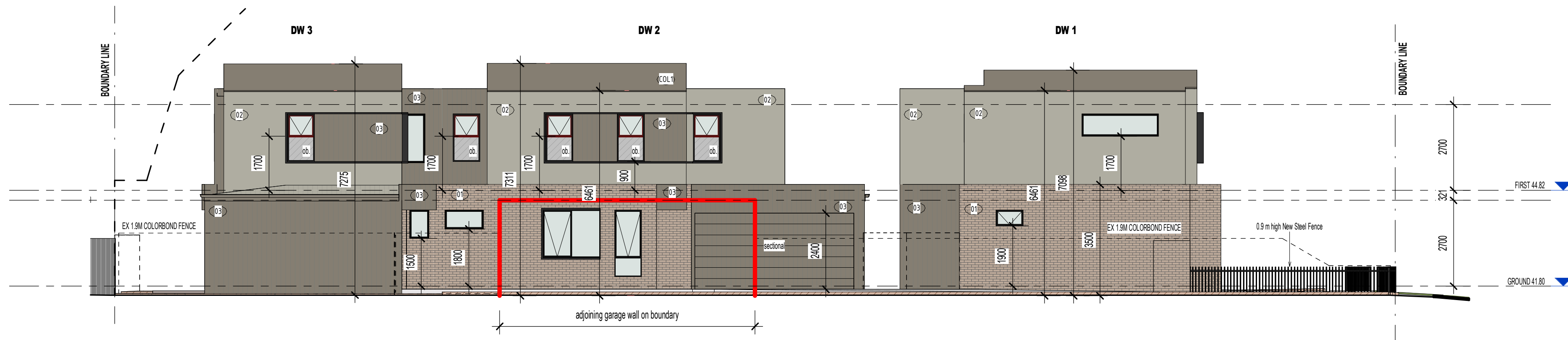
**CITY OF MARIBYRNONG
ADVERTISED PLAN**



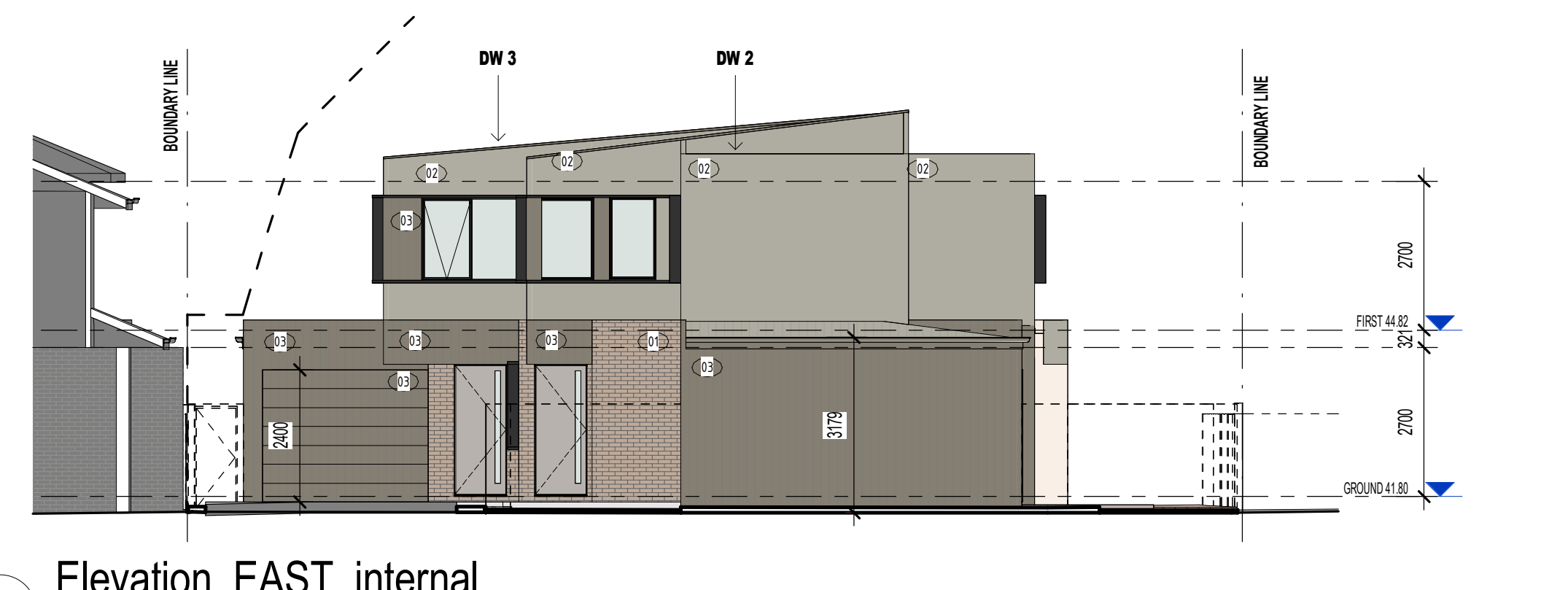
1 Elevation_NORTH
1 : 100



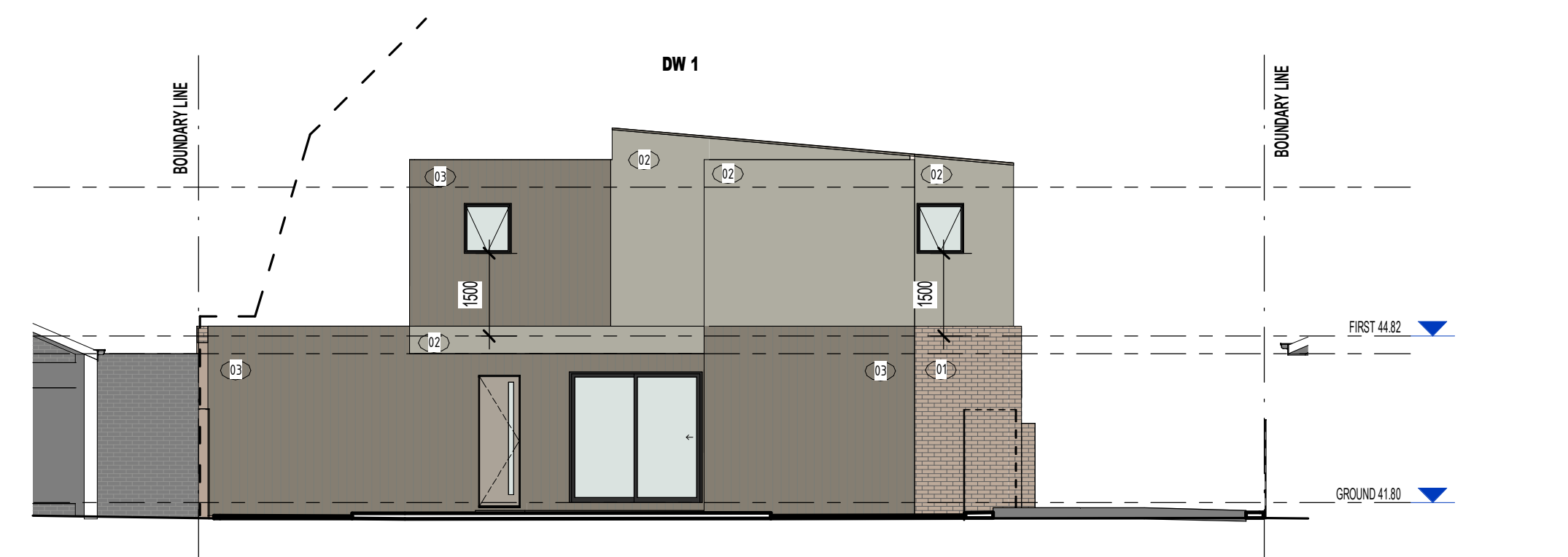
3 Elevation_WEST
1 : 100



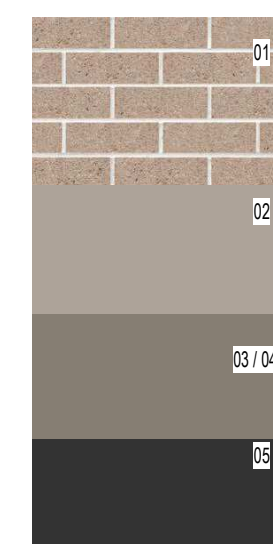
2 Elevation_SOUTH
1 : 100



4 Elevation_EAST_internal
1 : 100



5 Elevation_WEST_internal
1 : 100

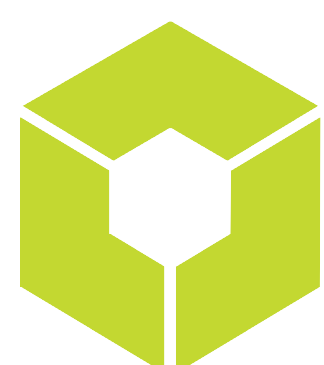


MATERIAL SCHEDULE

- 01 BRICK face finish, "Everyday life engage" by Austral Bricks or similar
- 02 PAINT FINISH, "Dune" by Dulux or similar
External wall cladding_JH fine texture
Roof_colorbond
- 03 PAINT FINISH, "Gully" by Dulux or similar
External wall cladding_JH Axon 133mm smooth
- 04 COLORBOND FINISH, "Gully" or similar
Garage panel
Fascia/ Gutter/ Capping
- 05 COLORBOND/POWDER COATED FINISH
Window frame/shroud
Steel front fence

WINDOW NOTE

ob. Fixed obscure glazing at 1700mm above finish floor level (film is not allowed)



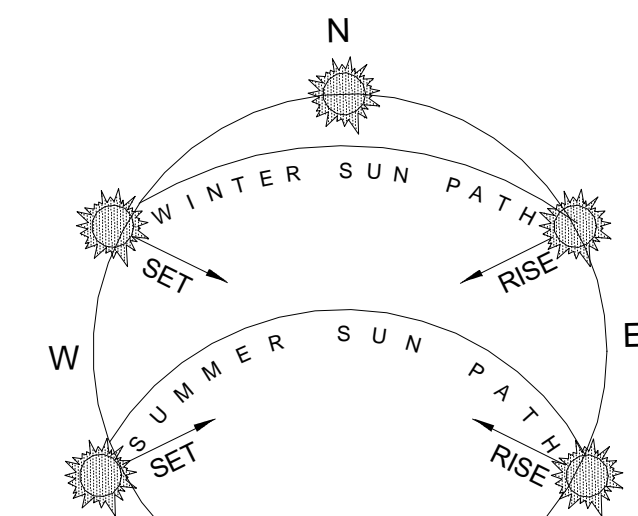
ARC ZERO PTY LTD

PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

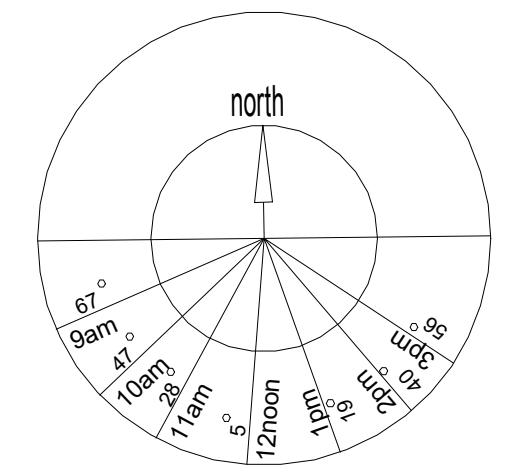
Elevations

A 2.1

CITY OF MARIBYRNONG
ADVERTISED PLAN



DIRECTION OF SUN MOVEMENT



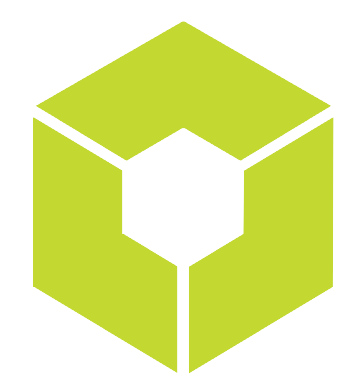
shadows generated from the 22nd September equinox

| TIME | ALTITUDE | SHADOW LENGTH (PER METER HIGH) |
|---------|----------|-----------------------------------|
| 9 am | 32° | 1.60 m |
| 10 am | 41° | 1.15 m |
| 11 am | 46° | 0.87 m |
| 12 noon | 50° | 0.84 m |
| 1 pm | 45° | 1.00 m |
| 2 pm | 36° | 1.30 m |

LEGENDS

- SUBJECT NEIGHBOURS SPOS
- EXISTING SHADOWED SPOS BY FENCE
- EXISTING SHADOWED SPOS BY BUILDING
- ADDITIONAL SHADOWED SPOS

NOTES
THE SHADOW LEGEND ONLY APPLIES TO THE ADJACENT PROPERTIES AND THEIR SECLUDED PRIVATE OPEN SPACES (SPOS) TO DEMONSTRATE OVERSHADOW COMPLIANCE WITH THE CURRENT PLANNING SCHEME.
ALL SHADOW CASTED ON THE SUBJECT DEVELOPMENT SITE OR OUTSIDE OF SUBJECT SPOS IS ONLY SHOWN IN GENERIC GREY COLOUR.

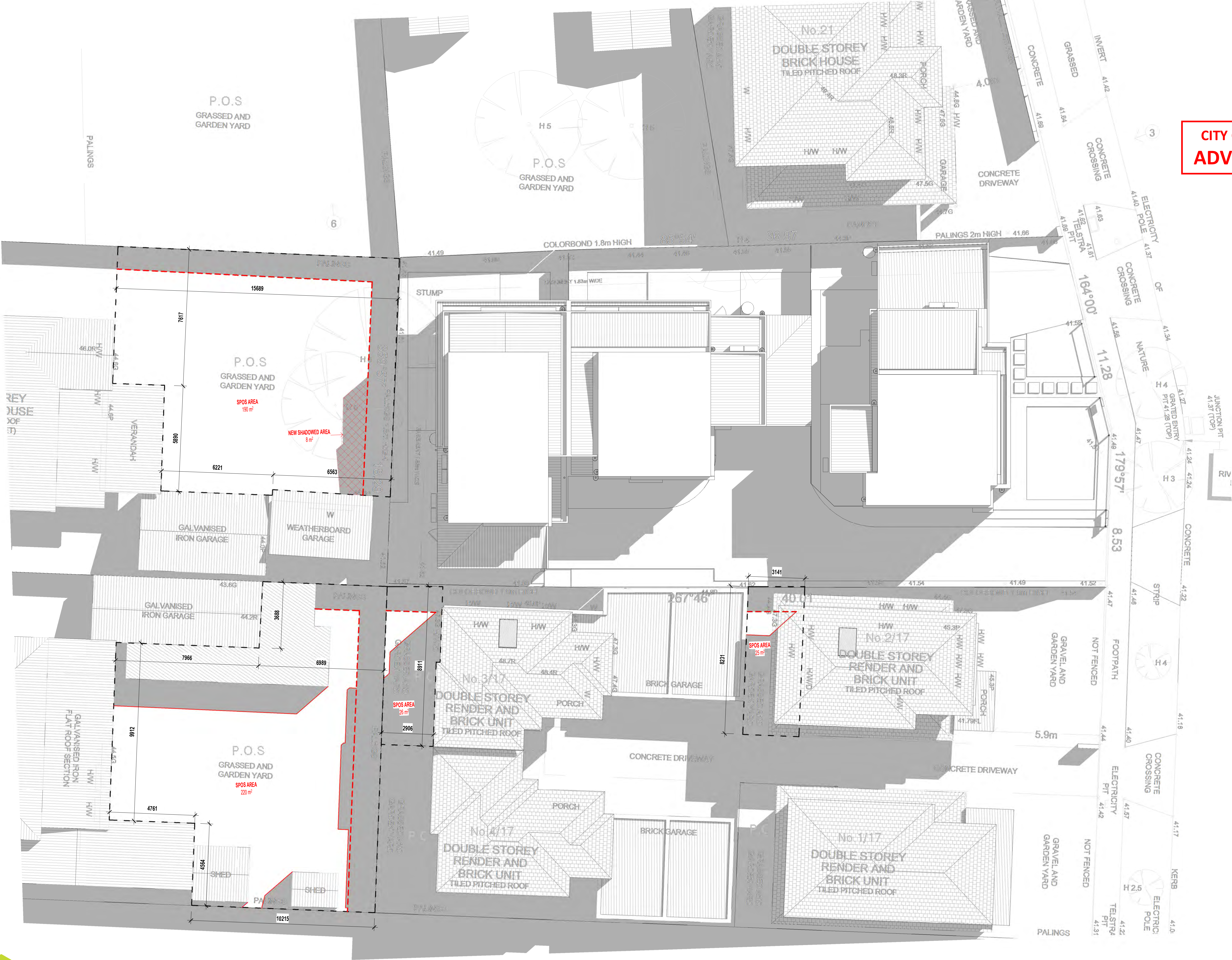
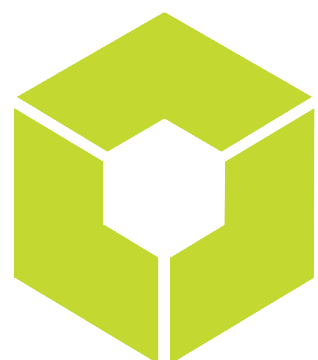


ARC ZERO PTY LTD

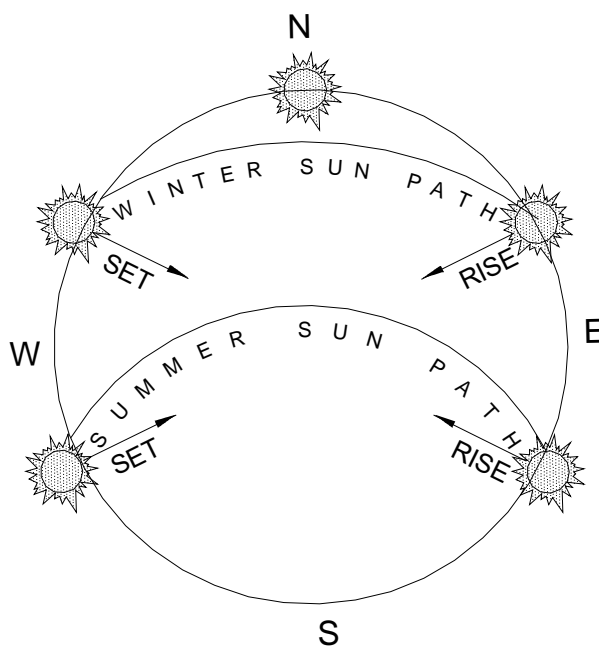
PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

Shadow Diagram_9 am

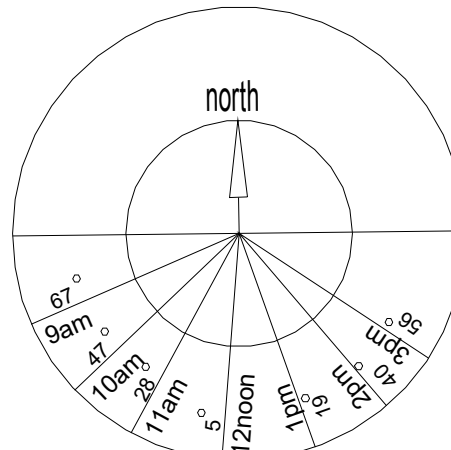
A 3.1



CITY OF MARIBYRNONG
ADVERTISED PLAN



DIRECTION OF SUN MOVEMENT



shadows generated from the 22nd September equinox

| TIME | ALTITUDE | SHADOW LENGTH (PER METER HIGH) |
|---------|----------|-----------------------------------|
| 9 am | 32° | 1.60 m |
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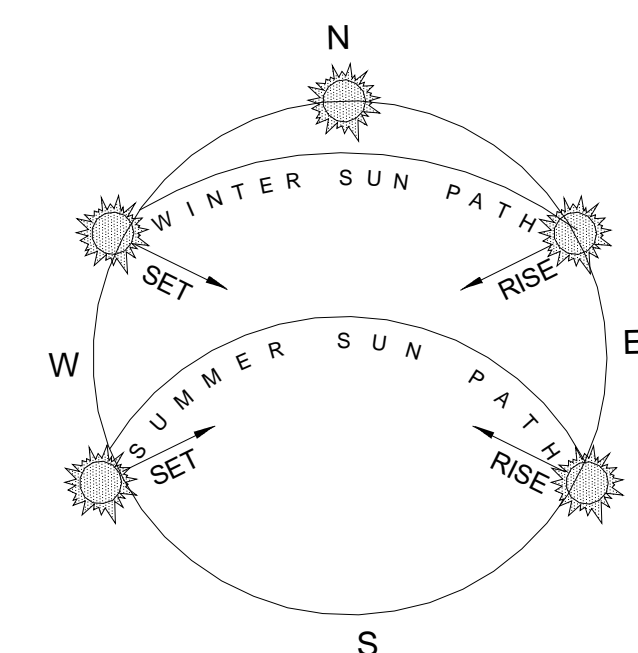
LEGENDS

- SUBJECT NEIGHBOURS SPOS
- EXISTING SHADOWED SPOS BY FENCE
- EXISTING SHADOWED SPOS BY BUILDING
- ADDITIONAL SHADOWED SPOS

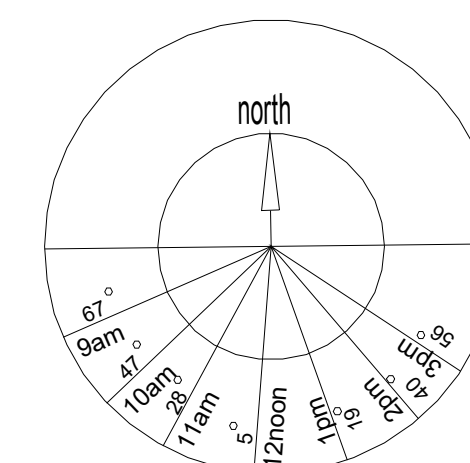
NOTES

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CITY OF MARIBYRNONG
ADVERTISED PLAN



DIRECTION OF SUN MOVEMENT



shadows generated from the 22nd September equinox

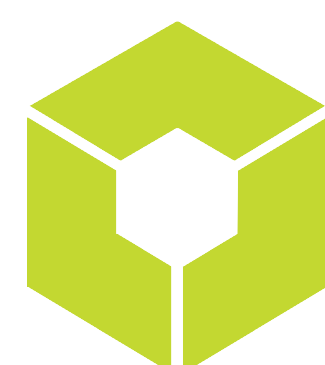
| TIME | ALTITUDE | SHADOW LENGTH (PER METER HIGH) |
|-------|----------|-----------------------------------|
| 9 am | 32° | 1.60 m |
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LEGENDS

- SUBJECT NEIGHBOURS SPOS
- EXISTING SHADOWED SPOS BY FENCE
- EXISTING SHADOWED SPOS BY BUILDING
- ADDITIONAL SHADOWED SPOS

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ARC ZERO PTY LTD

PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

Shadow Diagram_11 am

A 3.3

A: 179-185 Peel street, North Melbourne, VIC 3051

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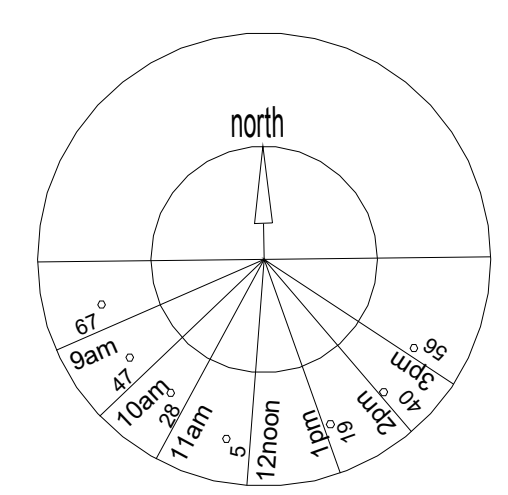
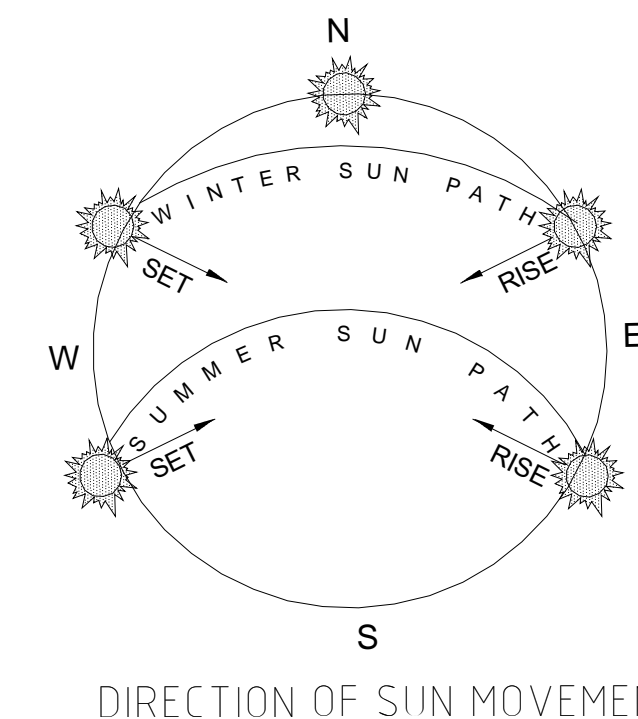
ACN: 139 748 128

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1: 100 @ A1

CITY OF MARIBYRNONG
ADVERTISED PLAN



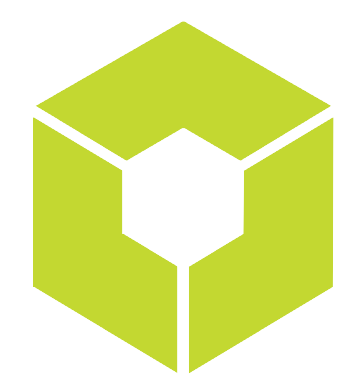
shadows generated from the 22nd September equinox

| TIME | ALTITUDE | SHADOW LENGTH (PER METER HIGH) |
|---------|----------|-----------------------------------|
| 9 am | 32° | 1.60 m |
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LEGENDS

- SUBJECT NEIGHBOURS SPOS
- EXISTING SHADOWED SPOS BY FENCE
- EXISTING SHADOWED SPOS BY BUILDING
- ADDITIONAL SHADOWED SPOS

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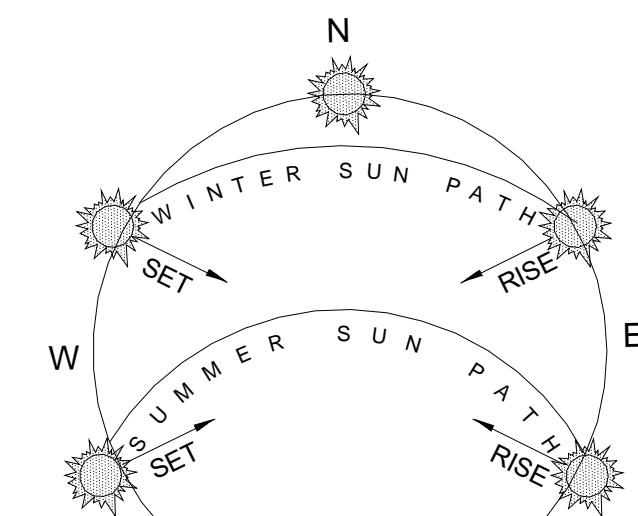


ARC ZERO PTY LTD

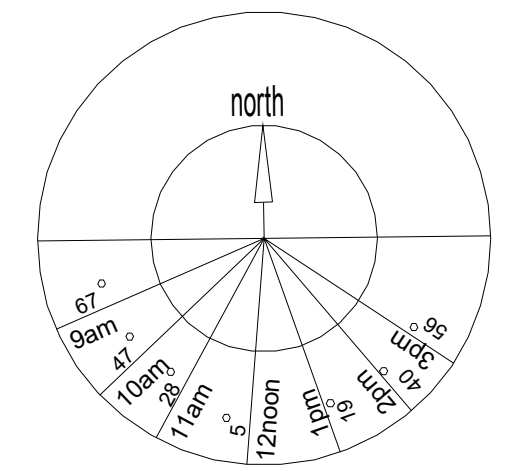
PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

Shadow Diagram_12 pm

A 3.4



DIRECTION OF SUN MOVEMENT



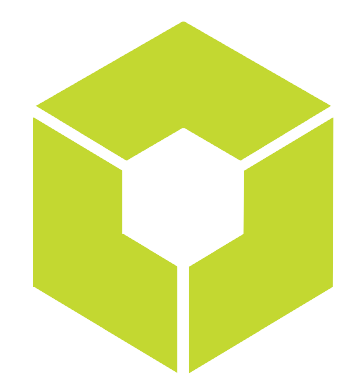
shadows generated from the 22nd September equinox

| TIME | ALTITUDE | SHADOW LENGTH (PER METER HIGH) |
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| 2 pm | 45° | 1.00 m |
| 3 pm | 36° | 1.30 m |

LEGENDS

- SUBJECT NEIGHBOURS SPOS
- EXISTING SHADOWED SPOS BY FENCE
- EXISTING SHADOWED SPOS BY BUILDING
- ADDITIONAL SHADOWED SPOS

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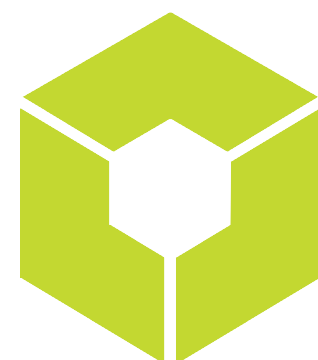


ARC ZERO PTY LTD

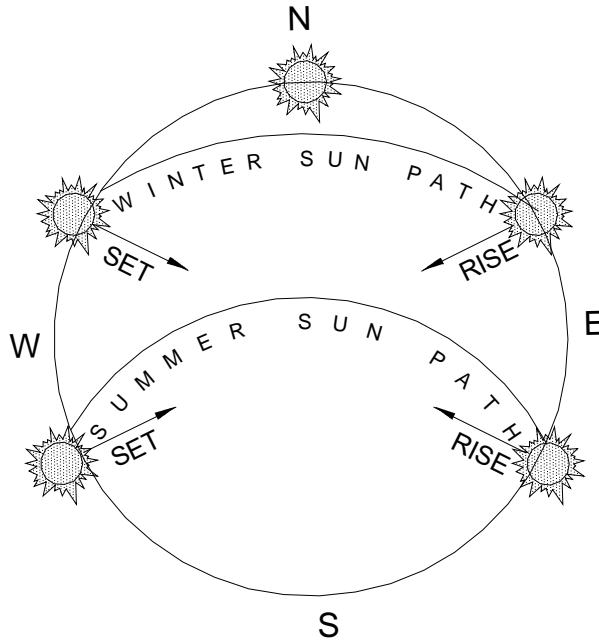
PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

Shadow Diagram_1 pm

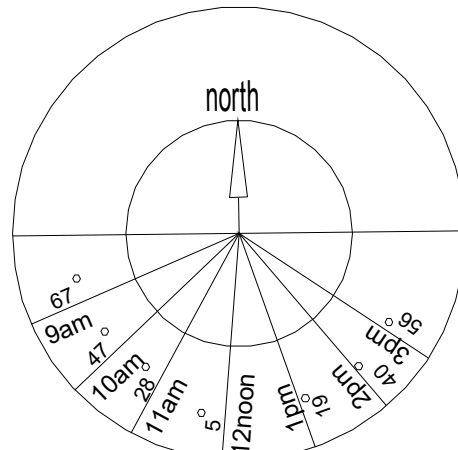
A 3.5



CITY OF MARIBYRNONG
ADVERTISED PLAN



DIRECTION OF SUN MOVEMENT



shadows generated from the 22nd September equinox

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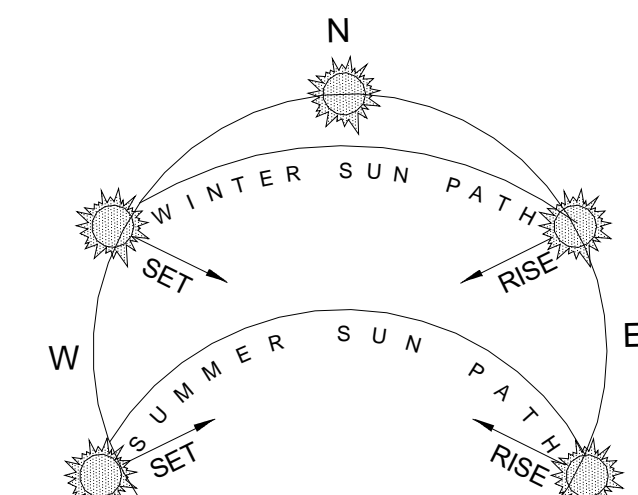
LEGENDS

- SUBJECT NEIGHBOURS SPOS
- EXISTING SHADOWED SPOS BY FENCE
- EXISTING SHADOWED SPOS BY BUILDING
- ADDITIONAL SHADOWED SPOS

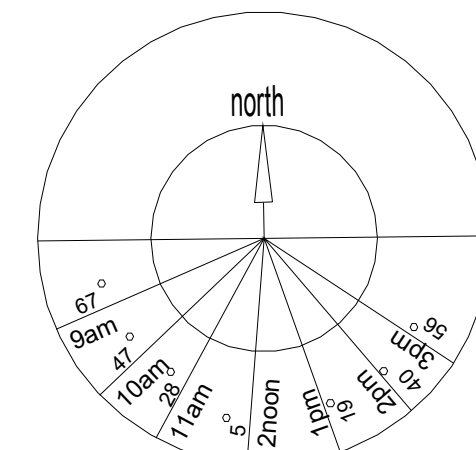
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CITY OF MARIBYRNONG
ADVERTISED PLAN



DIRECTION OF SUN MOVEMENT



shadows generated from the 22nd September equinox

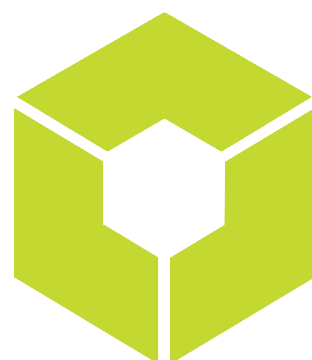
| TIME | ALTITUDE | SHADOW LENGTH (PER METER HIGH) |
|---------|----------|-----------------------------------|
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| 2 pm | 45° | 1.00 m |
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LEGENDS

- SUBJECT NEIGHBOURS' SPOS
- EXISTING SHADOWED SPOS BY FENCE
- EXISTING SHADOWED SPOS BY BUILDING
- ADDITIONAL SHADOWED SPOS

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ARC ZERO PTY LTD

PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

Shadow Diagram_3 pm

A 3.7

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1 Winter Solstice 22 June - 8am
1 : 200

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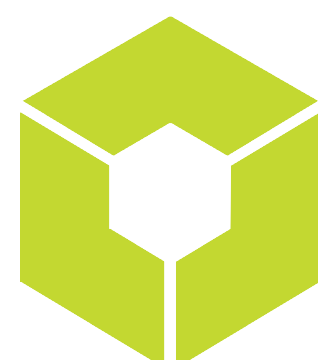
2 Winter Solstice 22 June - 5pm
1 : 200



3 Summer Solstice 22 December - 7am
1 : 200



4 Summer Solstice 22 December - 7pm
1 : 200



ARC ZERO PTY LTD

PROJECT: 19 HINKLER STREET, BRAYBROOK, VIC, 3012

Shadow Diagrams - Existing Solar Panels

A 3.8

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1 : 200 @ A1