



LEGEND			
	CANOPY TREES		FRONT SETBACK
	POWER POLE		SECLUDED PRIVATE OPEN SPACE

Notes:



Client:

Project Address:
8 HUGHES STREET,
BRAYBROOK

Drawing Title:

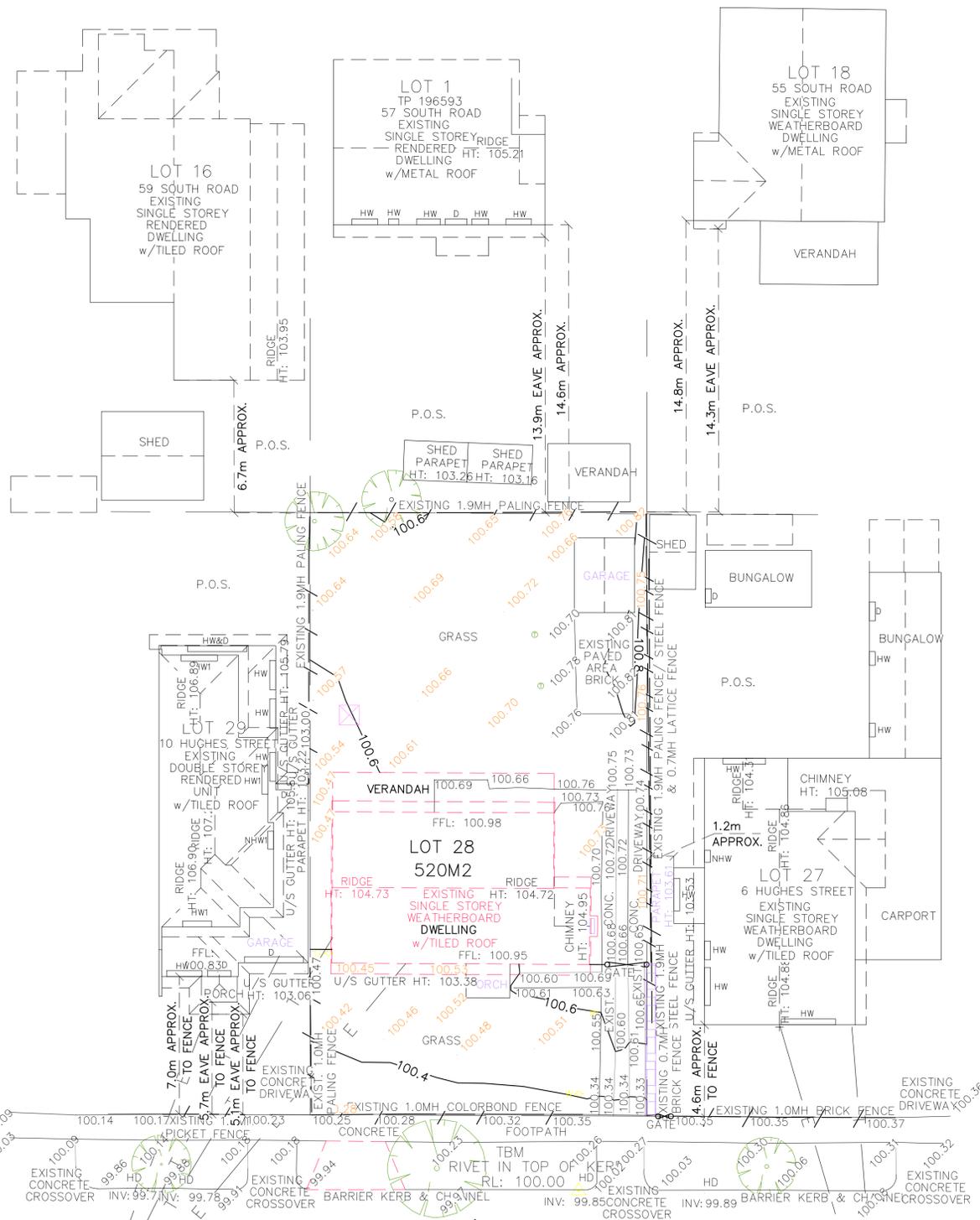
NEIGHBOURHOOD AND SITE
DESCRIPTION PLAN

Registered Builders, DB-UJ 39087

Drawn by: EV
Checked by: N/A
Date: 23.12.25
Scale: 1:150@A1
Scale: 1:300@A3

REVISION	DATE
TP01 - Revised Planning Permit Issue	23.12.25

Drawing No: A000-TP01



LOCALITY MAP - NTS



LOCALITY MAP - NTS

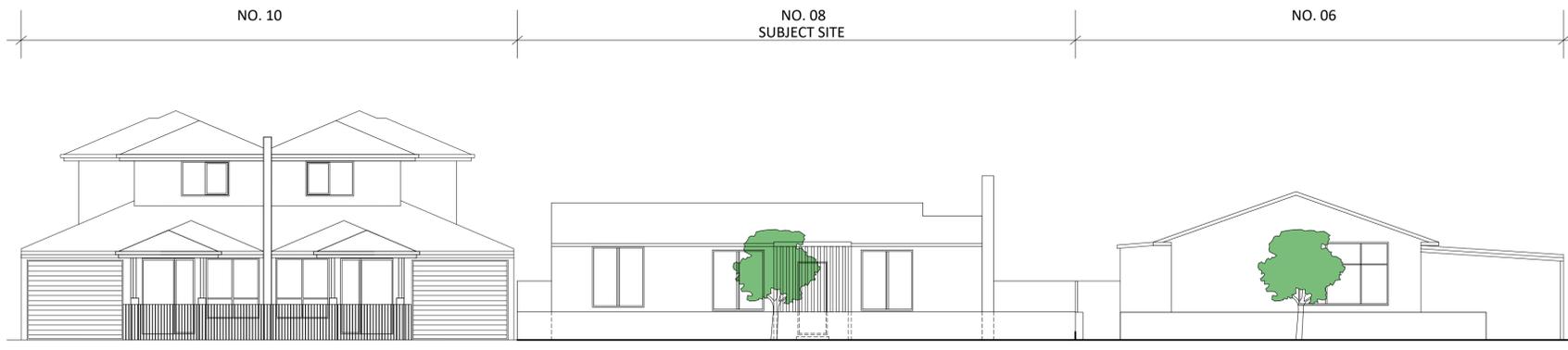
LEGEND	
W-⊙	WATER METER
G-⊙	GAS METER
△	TEMPORARY SITE LEVEL BENCHMARK
⊕	WATER TAP
⊙	TREE TRUNK
⊠	CLOTHES LINE
⊕	ELECTRICITY POLE WITH LIGHT
FFL	FINISHED FLOOR LEVEL
INV	INVERT LEVEL
P.O.S	PRIVATE OPEN SPACE
HW	HABITABLE WINDOW
NHW	NON HABITABLE WINDOW
1	FIRST FLOOR
D	DOOR

NEIGHBOURHOOD DESCRIPTION

- ① PRITCHARD RESERVE PLAYGROUD (550M) ←
- ② WESTERN ENGLISH LANGUAGE SCHOOL (650M) ↑
- ③ CENTRAL WEST SHOPPING CENTRE (750M) →
- ④ BRIGHTHOUSE EARLY LEARNING BRAYBROOK (2.0KM) ←
- ⑤ BRAYBROOK LIBRARY & PARK (1.6KM) ↑

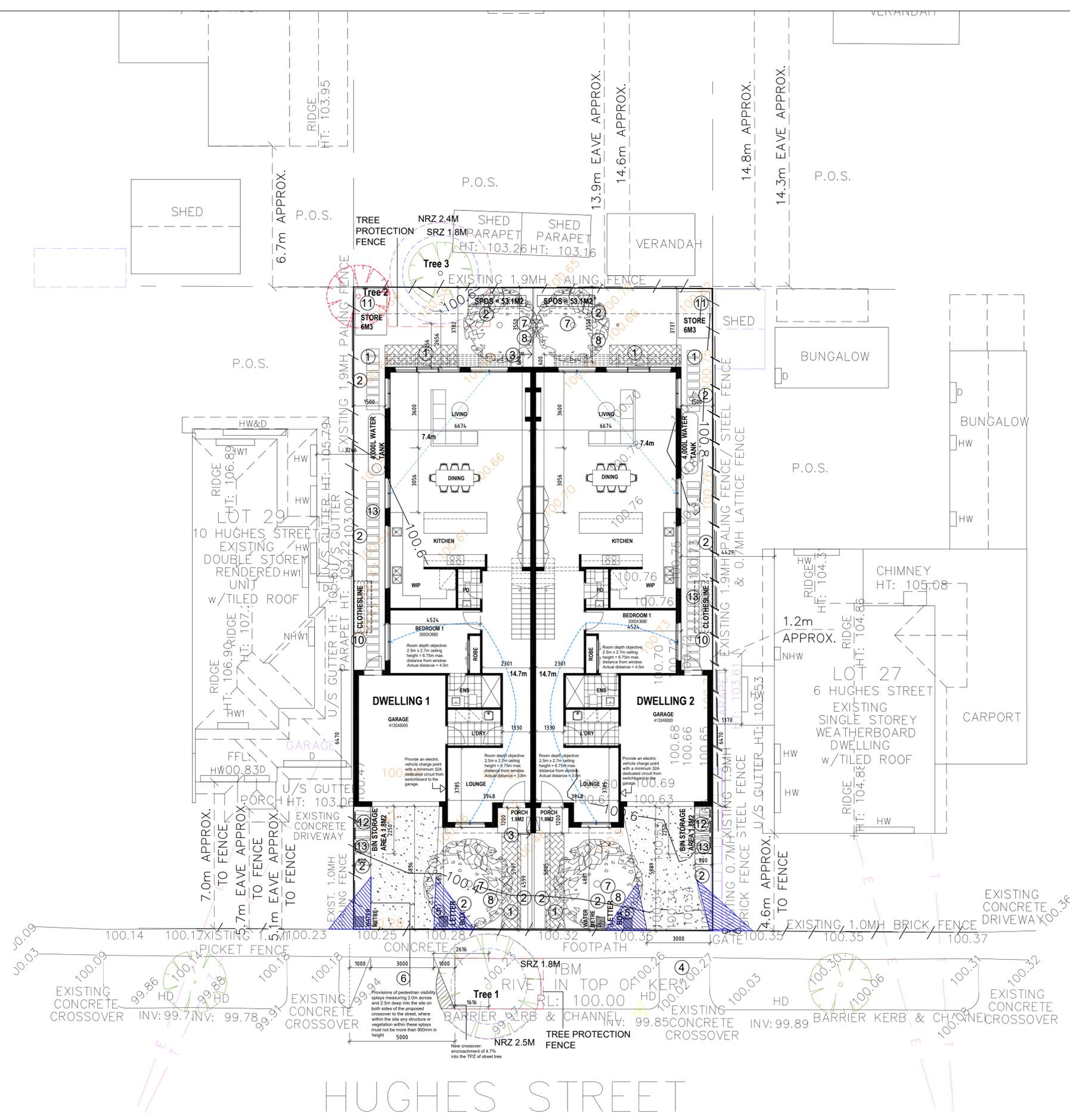


1



EXISTING STREET ELEVATION

	Notes:	Client:	Drawing Title:	Drawn by: EV	Drawing No: A001-TP02	
		Project Address:	NEIGHBOURHOOD DESCRIPTION PLAN	Checked by: N/A	REVISION	DATE
		8 HUGHES STREET, BRAYBROOK		Date: 23.12.25	TP01 - Planning Permit Issue	01.08.25
			<small>Mobile: 0450 199 469, 0401 501 769 Tel: 03 8390 4254 Email: info@cordialhomes.com.au 21 Longfield Way, Deer Park, VIC 3023 Web: www.cordialhomes.com.au</small>	Scale: 1:150@A1	TP02 - Revised Planning Permit Issue	23.12.25
			Registered Builders: DB-U 39087	Scale: 1:300@A3		



- LEGEND**
- ① PERMEABLE BRICK PAVERS
 - ② GARDEN BED
 - ③ 1800MM HIGH NEW TIMBER FENCE
 - ④ EXISTING CROSSOVER
 - ⑤ LETTER BOX
 - ⑥ PROPOSED CROSSOVER
 - ⑦ NEW CANOPY TREE
 - ⑧ AREA OF DEEP SOIL AND ROOT BARRIERS
 - ⑨ EXISTING TREE TO BE REMOVED
 - ⑩ CLOTHESLINE
 - ⑪ 6M3 STORAGE
 - ⑫ BIN STORAGE AREA
 - ⑬ PAVERS ON SAND

DEVELOPMENT SUMMARY							
SITE AREA	520M2						
NO. OF DWELLINGS	2						
SITE COVERAGE	322.2M2 / 62%						
TOTAL HARD SURFACE AREA	360M2 / 69.2%						
PERMEABILITY / GARDEN AREA	160M2 / 30.8%						
AREA ANALYSIS (DWELLINGS)							
DWELLING NO.	GROUND FLOOR	FIRST FLOOR	GARAGE	TOTAL DWELLING AREA	POS	SPOS	TOTAL POS AREA
1	133.6M2	113.5M2	27.6M2	274.7M2/29.6SQ	45M2	53.1M2	98.1M2
2	133.6M2	113.5M2	27.6M2	274.7M2/29.6SQ	45M2	53.1M2	98.1M2



Notes:

Client:

Drawing Title:
**DESIGN RESPONSE PLAN
 /GROUND FLOOR PLAN**

Drawn by: EV

Drawing No: A002-TP04

Project Address:
**8 HUGHES STREET,
 BRAYBROOK**



Checked by: N/A

REVISION

DATE

Date: 23.01.26

TP02 - Revised Planning Permit Issue

23.12.25

Scale: 1:100@A1

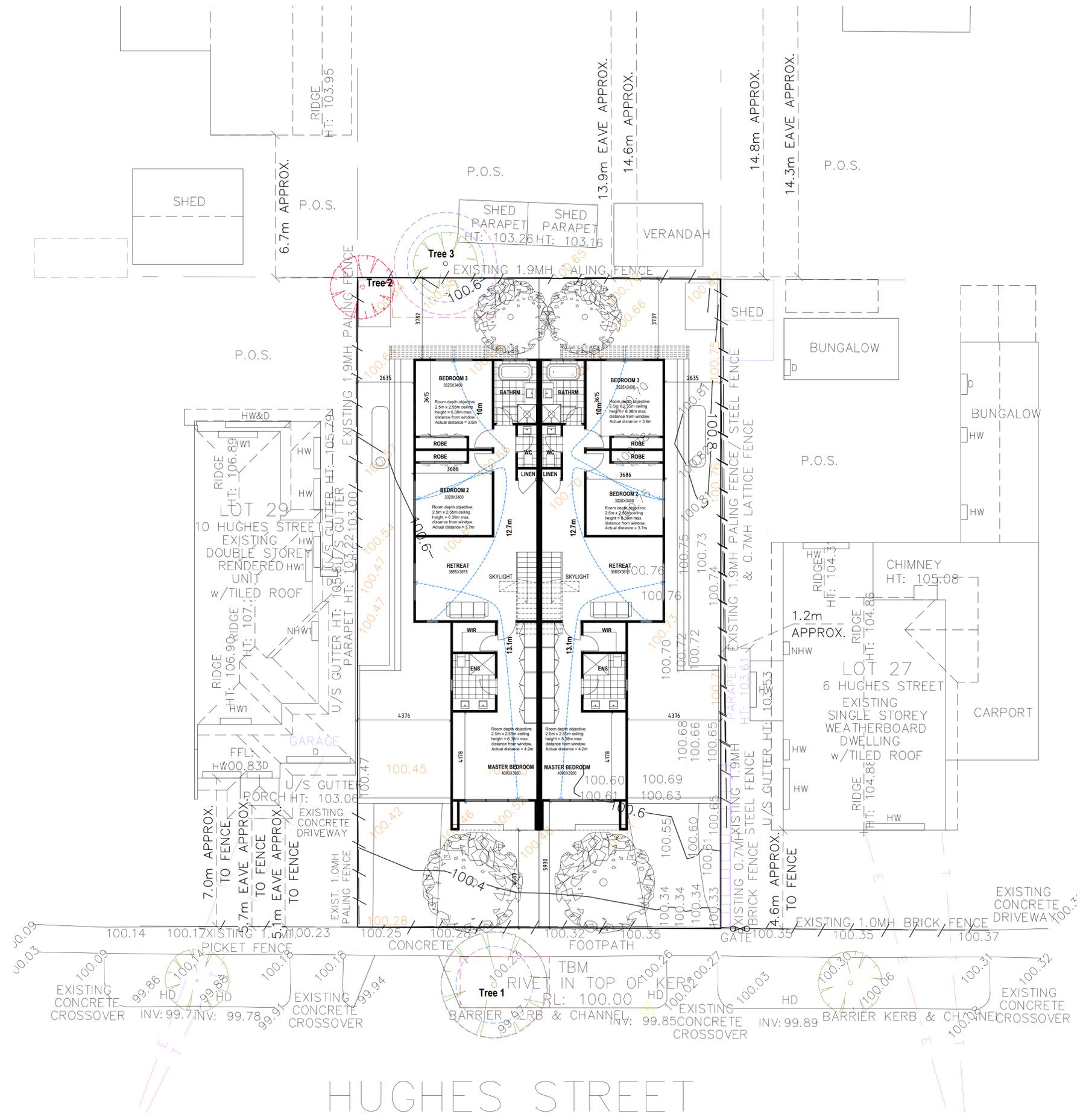
TP03 - Revised Planning Permit Issue

19.01.26

Scale: 1:200@A3

TP04 - Revised Planning Permit Issue

23.01.26



Notes:

Client:

Project Address:

8 HUGHES STREET,
BRAYBROOK

Drawing Title:

FIRST FLOOR PLAN



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Drawn by: EV

Checked by: N/A

Date: 23.01.26

Scale: 1:100@A1

Scale: 1:200@A3

Drawing No: A003-TP03

REVISION

TP01 - Planning Permit Issue

TP02 - Revised Planning Permit Issue

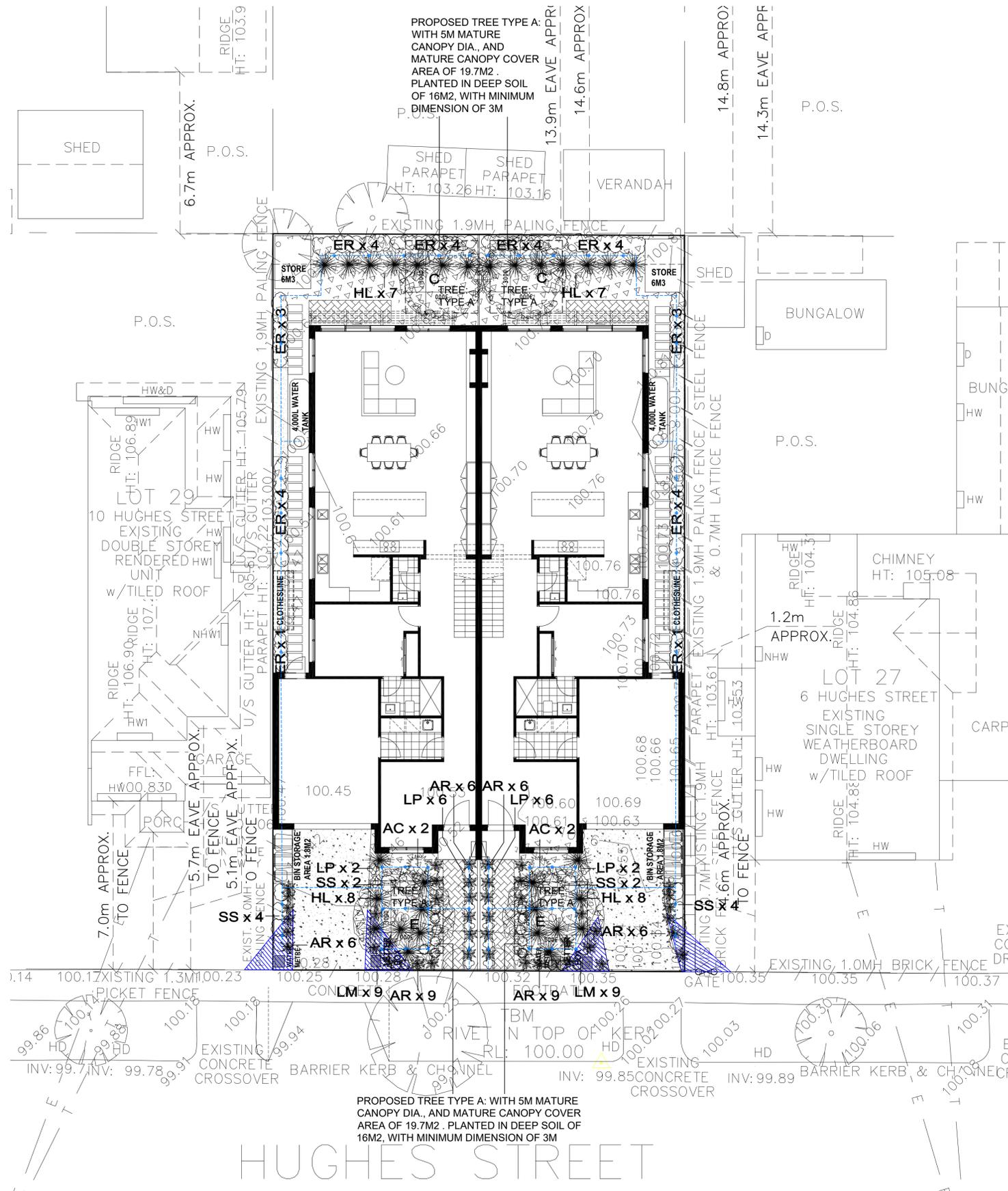
TP03 - Revised Planning Permit Issue

DATE

01.08.25

23.12.25

23.01.26

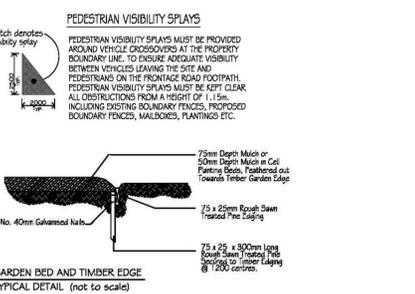
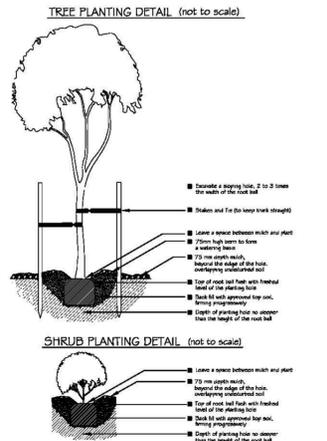


PREPARING A GARDEN BED ON A BUILDING SITE

CLEANING:
Clean the site of debris & weeds.
In cases where soil is contaminated by paint or concrete wash (ideally these are avoided) the soil should be dug out and removed from the site. If it is in a Tree Protection Zone it should be excavated by hand to avoid cutting roots.

GRADING & DRAINAGE:
In areas with existing topsoil that are going to be paths or paved areas the topsoil can be excavated (unless in Tree Protection areas) and stockpiled - to be later used on garden beds.
Grade the area into garden beds and lawn or gravel areas. Garden beds should be edged with timber.
Check the drainage of the area by running a sprinkler for 5 - 10 minutes (if water restrictions or tank water stores permit) and check where the water goes. Look for water tracks or ponding in areas. Adjust grading accordingly. Paths, lawn or gravel areas and garden beds should all drain towards a drainage grate, pit trench or ramp/grain.
Other ways to address drainage issues include the creation of a swale, which can be made into a dry creek bed with rock process or a sump hole or sump basin filled with crushed rock and covered with lawn or garden bed.

IMPROVING SOILS:
In heavy clay soils, check for gypsum responsiveness and add gypsum to manufacturer's instructions if appropriate.
Garden beds with existing soil can be prepared with the addition of organic material such as well rotted manures or materials from plants and animal sources that are sold as soil improvers or compost and prepared to Australian Standards. These can be just top dressed (placed over the top of the soil) and then covered with mulch.
If there is existing topsoil from previous garden beds or natural vegetation then top dressing with organic matter and mulch will be enough to improve the soil.
Hard clay soils can be fractured or repped to break them up without destroying their structure. This can be done in small areas with vertical action by a garden fork or spade and subsequent placement of washed gravel or organic matter into the vertical spaces. This should be top dressed to avoid further cultivation and following planting organic mulch added over the top of the repped soil and organic matter.
Clay based soils should never be cultivated in any way when they are wet.



SYMBOLS		PROPOSED PLANT SCHEDULE				
TREES						
E	EUCALYPTUS POLYANTHEMOS	RED BOX	10X6	4.5L	2	
C	EUCALYPTUS CAESIA	SILVER PRINCESS	10X6	4.5L	2	
HEDGE / SCREEN						
ER	ELAEOCARPUS RETICULATUS (HEDGED)	BLUEBERRY ASH	3X2	300MM	32	
SHRUBS / GROUNDCOVERS						
AC	ANTHROPIDIUM CIRRHATUM	RENGA LILY	0.6X0.8	140MM	4	
AR	AJUGA REPTANS	CARPET BUGLE	0.2X0.4	140MM	42	
HL	HELICHRYSUM 'LIMELIGHT'	LICORICE PLANT	0.6X1.0	140MM	30	
LM	LIRIOPE MUSCARI 'BIG BLUE'	PURPLE TURF LILY	1.0X0.5	140MM	18	
LP	LIMONIUM PEREZII	PERENNIAL STATICE	0.3X0.3	140MM	14	
SS	SYZYGIUM SMITHII 'ALLYNS MAGIC'	DWARF LILLYPILLY	0.6X0.6	140MM	12	
MULCH - AGED HARDWOOD CHIP / LEAF MULCH SPREAD 75MM DEPTH OVER WEED FREE SOIL						
PERMEABLE BRICK PAVER						
IRRIGATION TO GARDEN BEDS: CONNECTED TO WATER TANK						

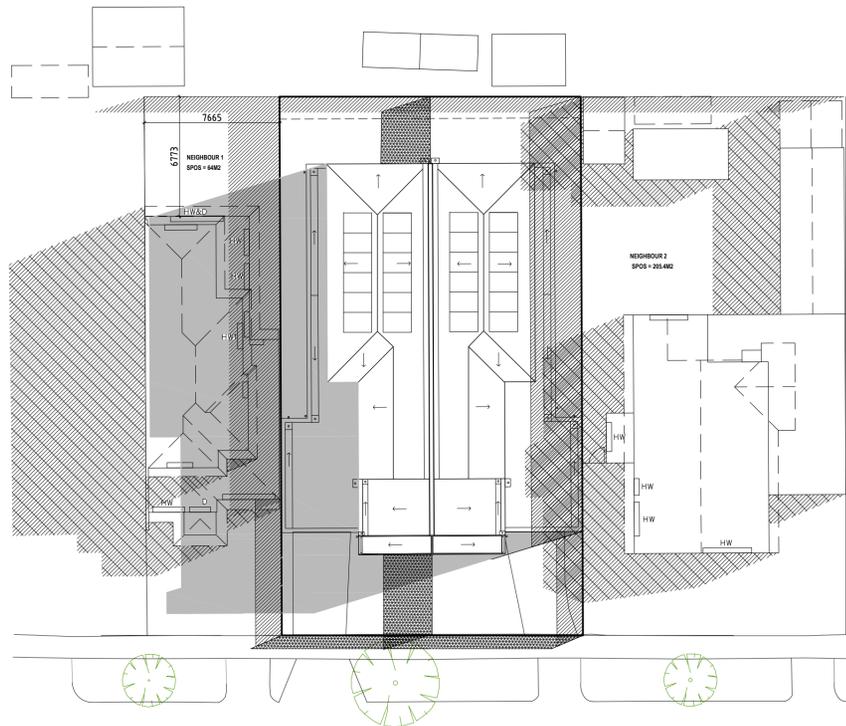
Table B: Deep soil area requirements for canopy trees

Tree Size	Mature canopy diameter ¹	Mature canopy cover area	Minimum deep soil area required	Minimum soil plan dimension
TYPE A	4-4.9 metres	12.6-19.6 square metres	12 square metres	2.5 metres
	5-5.9 metres	19.7-28.2 square metres	16 square metres	3 metres
	6-6.9 metres	28.3-38.4 square metres	25 square metres	3.5 metres
	7-7.9 metres	38.5-50.2 square metres	36 square metres	4 metres

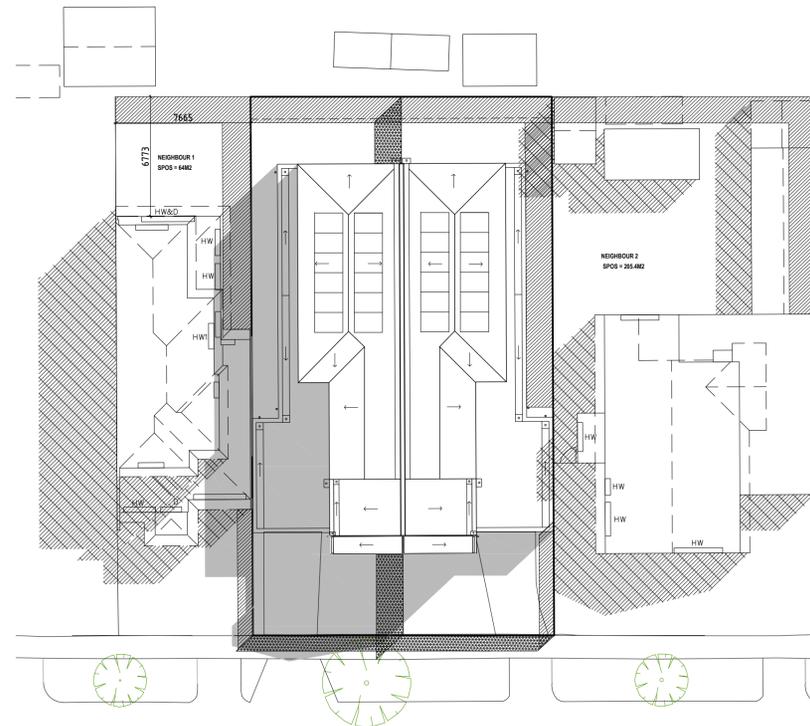
MATURE TREE CANOPY COVER REQUIREMENTS:
10% OF SITE IS REQUIRED TO HAVE CANOPY COVER
SITE AREA = 520M² / 52M² CANOPY COVER TO BE PROVIDED ON SITE
PROVIDED: 4 NO. **TYPE A** TREES WITH MATURE CANOPY COVER AREA = 78.8M² TOTAL MATURE CANOPY COVER

	Notes:	Client:	Drawing Title:	Drawing No: A004-TP04		
		Project Address:	LANDSCAPE PLAN	Drawn by: EV	Checked by: N/A	REVISION
		8 HUGHES STREET, BRAYBROOK		Date: 23.01.26	TP02 - Revised Planning Permit Issue	DATE
				Scale: 1:100@A1	TP03 - Revised Planning Permit Issue	19.01.26
				Scale: 1:200@A3	TP04 - Revised Planning Permit Issue	23.01.26

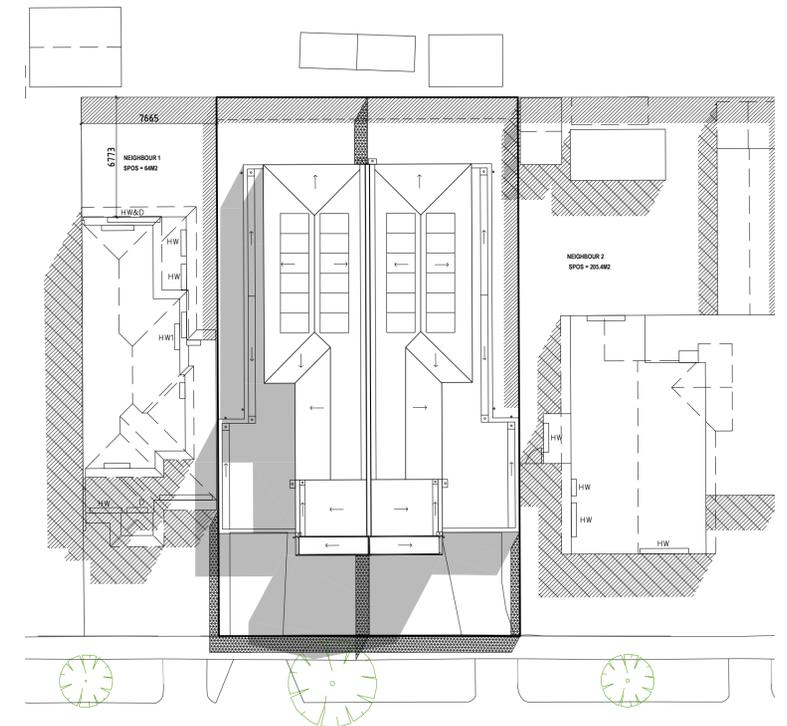
LEGEND:	
	PROPOSED DWELLING SHADOW
	PROPOSED FENCE SHADOW
	EXISTING FENCE SHADOW
	EXISTING BUILDING SHADOW



SHADOW DIAGRAM AT 9AM



SHADOW DIAGRAM AT 10AM



SHADOW DIAGRAM AT 11AM

OVERSHADOWING TO NEIGHBOURS - NEIGHBOUR 1				
HOUR ON 22 SEPTEMBER	EXISTING SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	PROPOSED SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	OVERALL CHANGE	CHANGE YES/ NO
9.00 AM	27.9M2	25.4M2	2.5M2	YES
10.00 AM	31.9M2	31.9M2	0M2	NO
11.00 AM	42.6M2	42.6M2	0M2	NO
12.00 PM	48.2M2	48.2M2	0M2	NO
1 PM	40.9M2	40.9M2	0M2	NO
2 PM	34.3M2	34.3M2	0M2	NO
3 PM	28.3M2	28.3M2	0M2	NO

OVERSHADOWING TO NEIGHBOURS - NEIGHBOUR 2				
HOUR ON 22 SEPTEMBER	EXISTING SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	PROPOSED SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	OVERALL CHANGE	CHANGE YES/ NO
9.00 AM	49.7M2	49.7M2	0M2	NO
10.00 AM	64.2M2	64.2M2	0M2	NO
11.00 AM	78.7M2	78.7M2	0M2	NO
12.00 PM	96.8M2	96.8M2	0M2	NO
1 PM	90.9M2	90.7M2	0.2M2	YES
2 PM	78.5M2	78.2M2	0.3M2	YES
3 PM	62.8M2	50.4M2	12.4M2	YES

Notes:



Client:

Project Address:

8 HUGHES STREET,
BRAYBROOK

Drawing Title:

SHADOW DIAGRAMS ON
22 SEPTEMBER



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Drawn by: EV

Checked by: N/A

Date: 23.01.26

Scale: 1:100@A1

Scale: 1:200@A3

Drawing No: A005-TP03

REVISION

TP01 - Planning Permit Issue

TP02 - Revised Planning Permit Issue

TP03 - Revised Planning Permit Issue

DATE

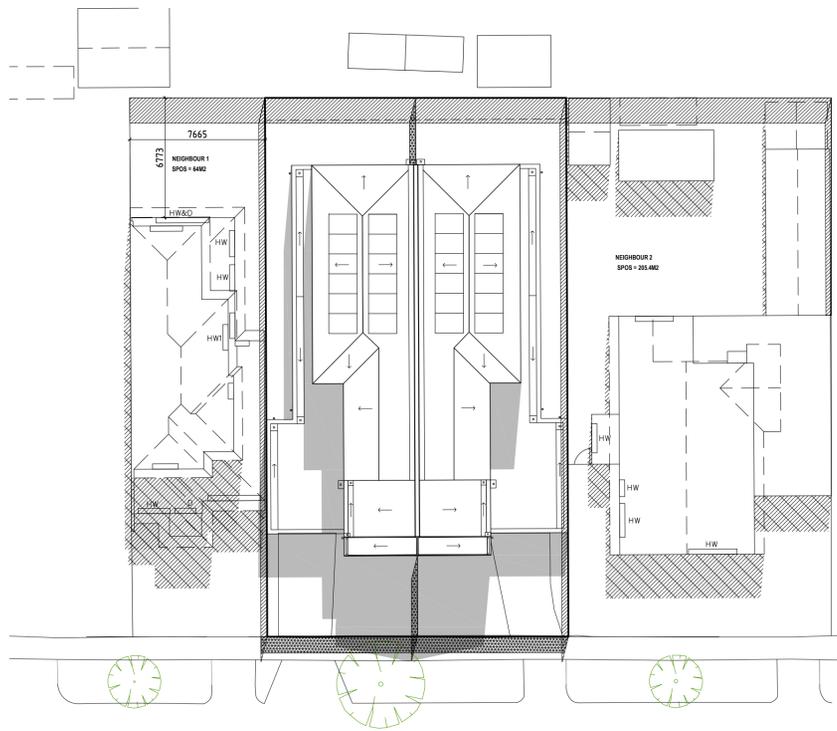
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23.12.25

23.01.26

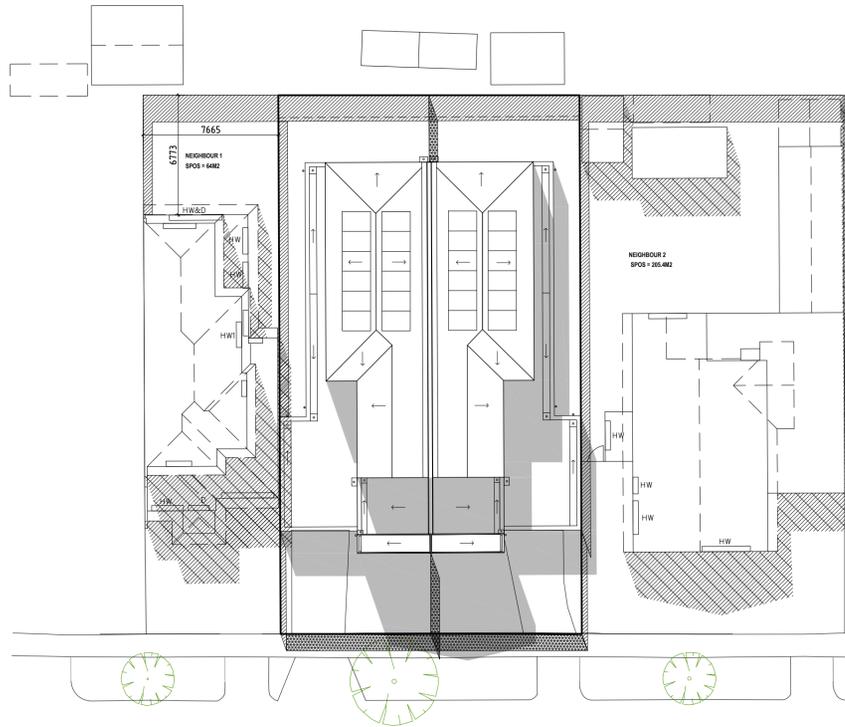
LEGEND:

- PROPOSED DWELLING SHADOW
- PROPOSED FENCE SHADOW
- EXISTING FENCE SHADOW
- EXISTING BUILDING SHADOW

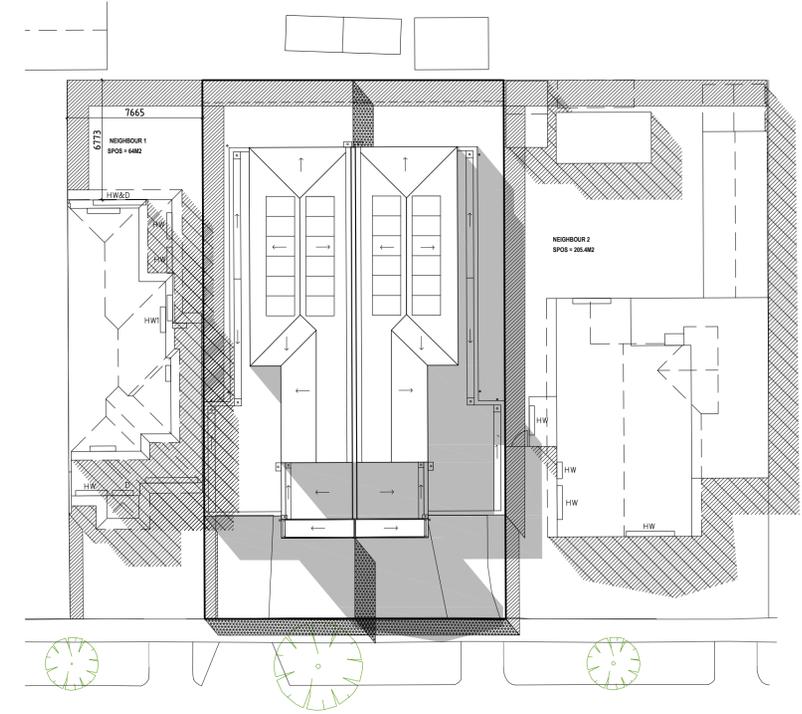


SHADOW DIAGRAM AT 12PM

12pm

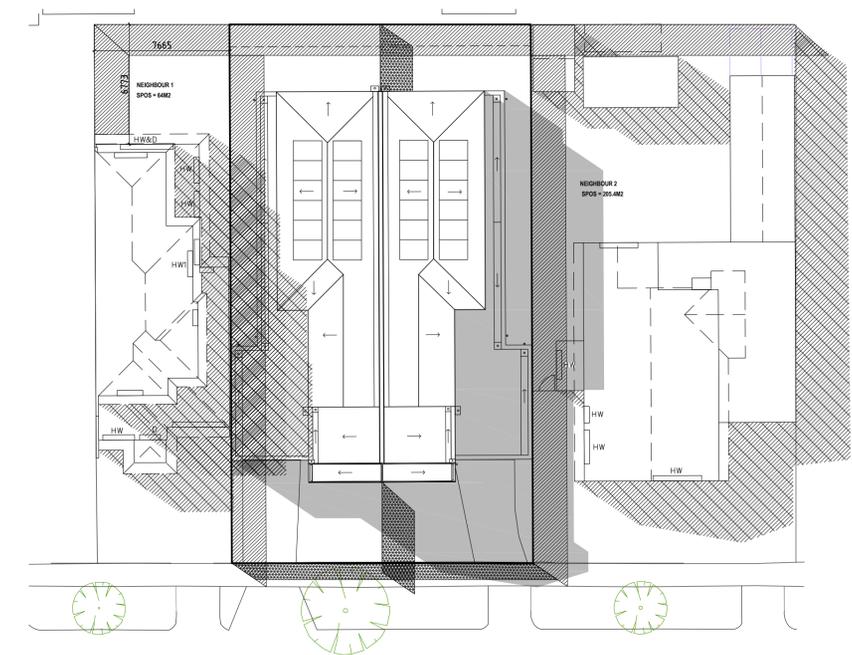


SHADOW DIAGRAM AT 1PM



SHADOW DIAGRAM AT 2PM

2pm



SHADOW DIAGRAM AT 3PM

OVERSHADOWING TO NEIGHBOURS - NEIGHBOUR 1				
HOUR ON 22 SEPTEMBER	EXISTING SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	PROPOSED SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	OVERALL CHANGE	CHANGE YES/ NO
9.00 AM	27.9M2	25.4M2	2.5M2	YES
10.00 AM	31.9M2	31.9M2	0M2	NO
11.00 AM	42.6M2	42.6M2	0M2	NO
12.00 PM	48.2M2	48.2M2	0M2	NO
1 PM	40.9M2	40.9M2	0M2	NO
2 PM	34.3M2	34.3M2	0M2	NO
3 PM	28.3M2	28.3M2	0M2	NO

OVERSHADOWING TO NEIGHBOURS - NEIGHBOUR 2				
HOUR ON 22 SEPTEMBER	EXISTING SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	PROPOSED SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	OVERALL CHANGE	CHANGE YES/ NO
9.00 AM	49.7M2	49.7M2	0M2	NO
10.00 AM	64.2M2	64.2M2	0M2	NO
11.00 AM	78.7M2	78.7M2	0M2	NO
12.00 PM	96.8M2	96.8M2	0M2	NO
1 PM	90.9M2	90.7M2	0.2M2	YES
2 PM	78.5M2	78.2M2	0.3M2	YES
3 PM	62.8M2	50.4M2	12.4M2	YES

Notes:



Client:

Project Address:

8 HUGHES STREET,
BRAYBROOK

Drawing Title:

SHADOW DIAGRAMS ON
22 SEPTEMBER



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Drawn by: EV

Checked by: N/A

Date: 23.01.26

Scale: 1:100@A1

Scale: 1:200@A3

Drawing No: A006-TP02

REVISION

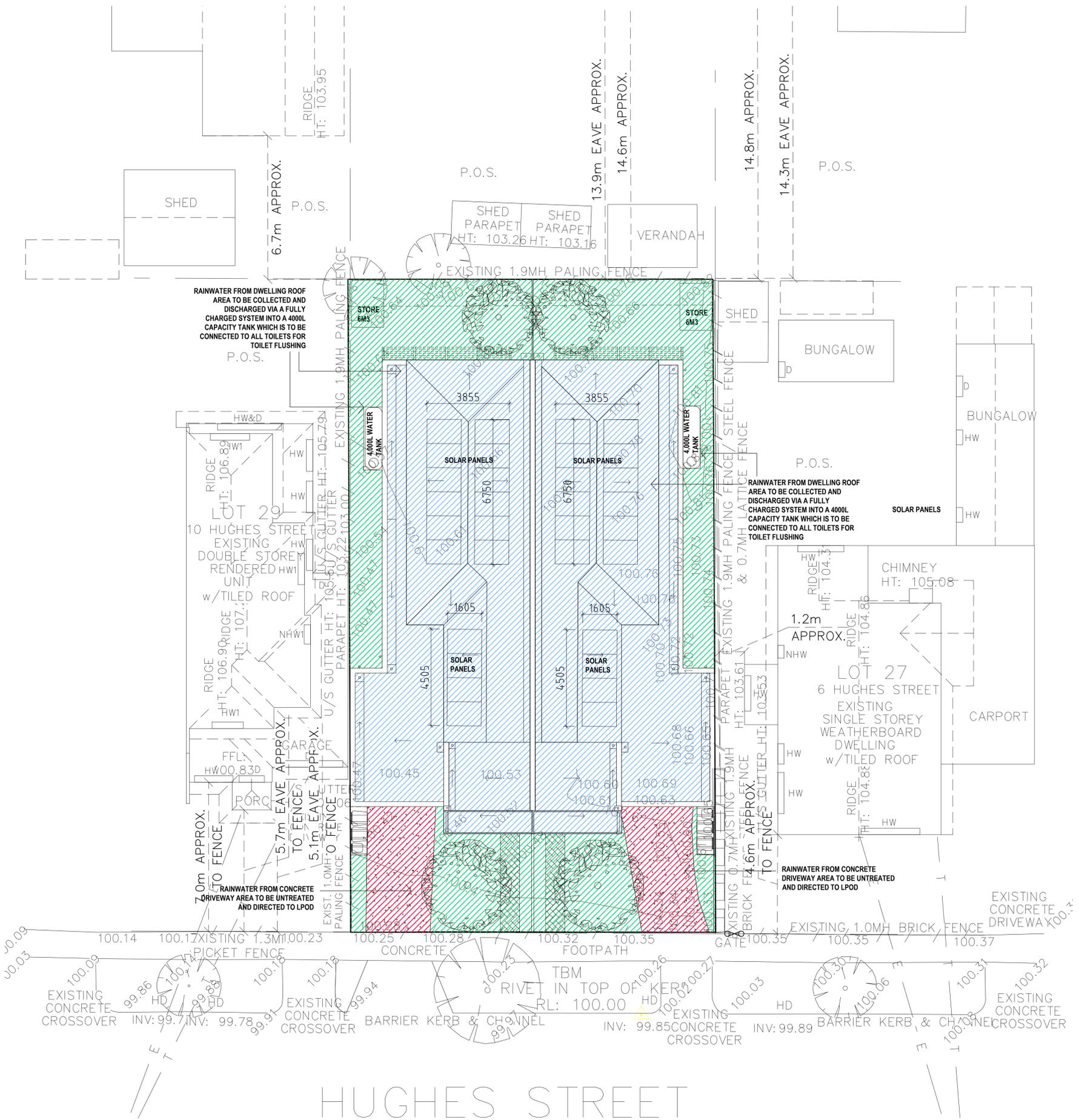
TP01 - Revised Planning Permit Issue

TP02 - Revised Planning Permit Issue

DATE

23.12.25

23.01.26



Project # 1329CDC3 - Hughes Street
 8 Hughes St, Braybrook VIC 3019, Australia
 20 November 2025 7:24 p.m.



Hughes Street
 The proposed stormwater treatments provide 'deemed to comply' compliance with the minimum planning requirement for total nitrogen but does not comply with all the relevant objectives for management of stormwater flows on-site.



Project details

Name	Hughes Street
Street address	8 Hughes St, Braybrook VIC 3019, Australia
Municipality	Maribymong
Site area	520 m ²
Planning Number	

Flow and pollutant load reductions

Item	Result	Target
Mean annual runoff volume harvested or evapotranspired (%)	36%	>28%
Mean annual runoff volume infiltrated or filtered (%)	0%	>9%
Total suspended solids (%)	69%	>80%
Total phosphorus (%)	59%	>45%
Total nitrogen (%)	45%	>45%
Total gross pollutants (%)	88%	>70%

LEGEND

	GARDEN AREA - PERVIOUS
	ROOF AREA TO WATER TANK
	UNTREATED DRIVEWAY AREA



Notes:

Client:

Drawing Title:

Drawn by: EV

Drawing No: A007-TP03

Project Address:
**8 HUGHES STREET,
 BRAYBROOK**



Checked by: N/A

REVISION

DATE

Date: 23.01.26

TP01 - Revised Planning Permit Issue

23.12.25

Scale: 1:100@A1

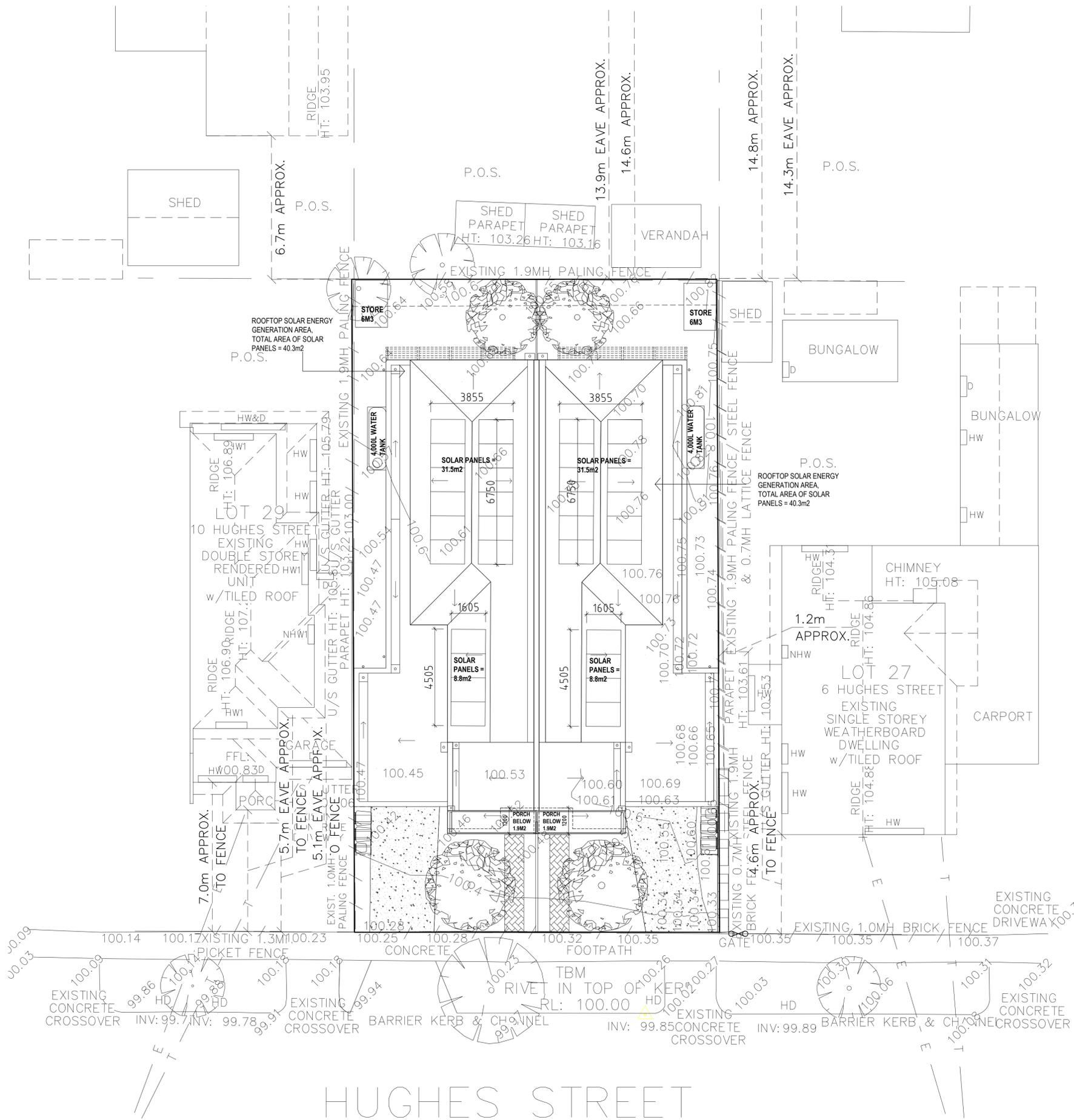
TP02 - Revised Planning Permit Issue

19.01.26

Scale: 1:200@A3

TP03 - Revised Planning Permit Issue

23.01.26



Notes:

Client:

Drawing Title:

Drawn by: EV

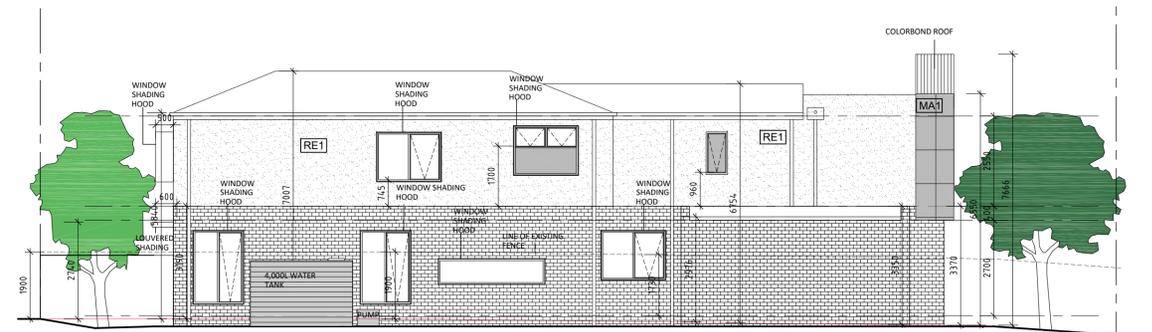
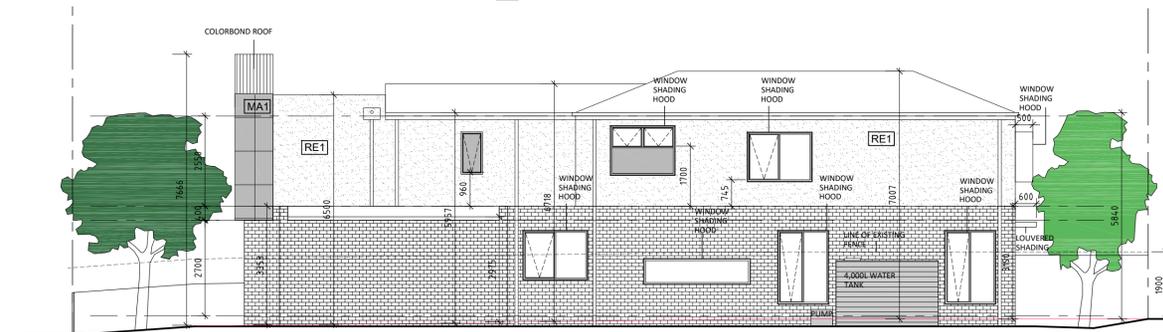
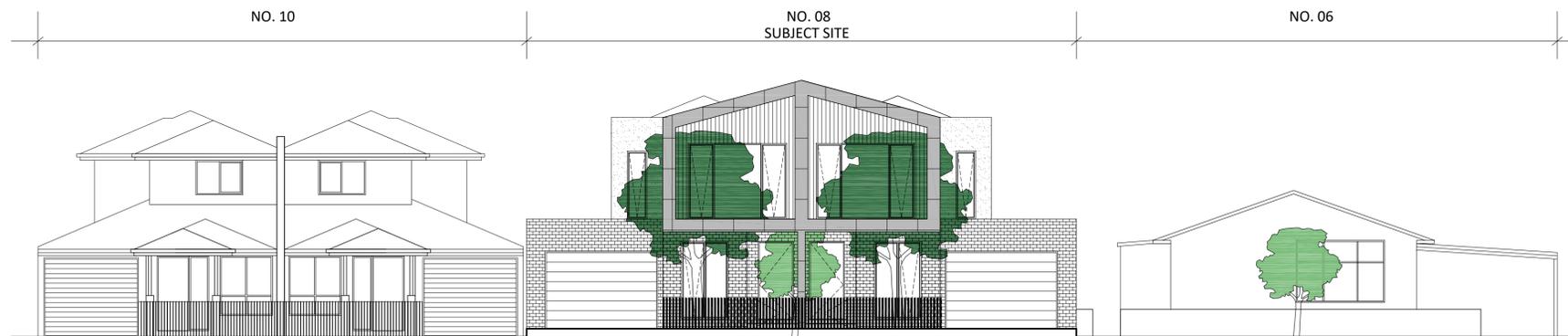
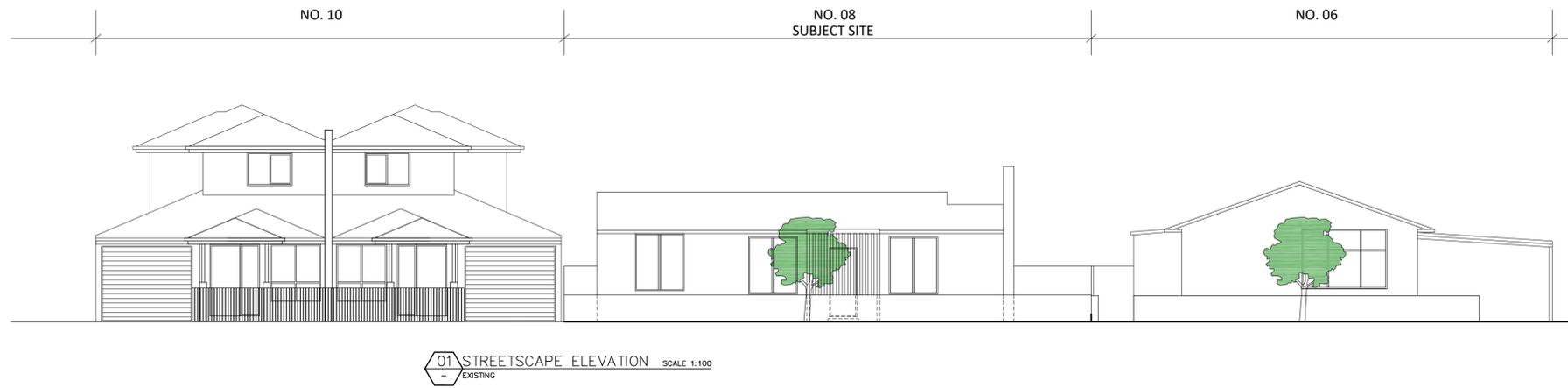
Drawing No: A008-TP02

Project Address:
8 HUGHES STREET,
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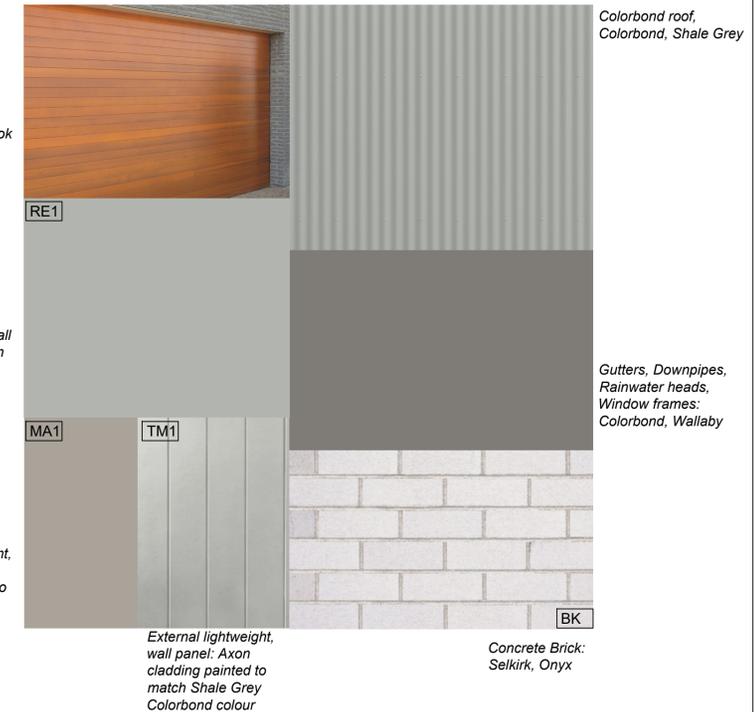
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REVISION	DATE
TP01 - Revised Planning Permit Issue	19.01.26
TP02 - Revised Planning Permit Issue	23.01.26



COLOUR SCHEDULE



Garage door: timber look
Gliderol Garage doors:
Tuscan profile

External lightweight,
wall panel: Render to match
Shale Grey Colorbond
colour

External lightweight,
wall panel: Matrix
Cladding painted to
match Dune
Colorbond colour

External lightweight,
wall panel: Axon
cladding painted to
match Shale Grey
Colorbond colour

Concrete Brick:
Selkirk, Onyx

Colorbond roof,
Colorbond, Shale Grey

Gutters, Downpipes,
Rainwater heads,
Window frames:
Colorbond, Wallaby

Notes:

Client:

Drawing Title:
ELEVATIONS

Drawn by: EV

Drawing No: A501-TP02

Project Address:

8 HUGHES STREET,
BRAYBROOK



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Checked by: N/A

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TP01 - Planning Permit Issue

01.08.25

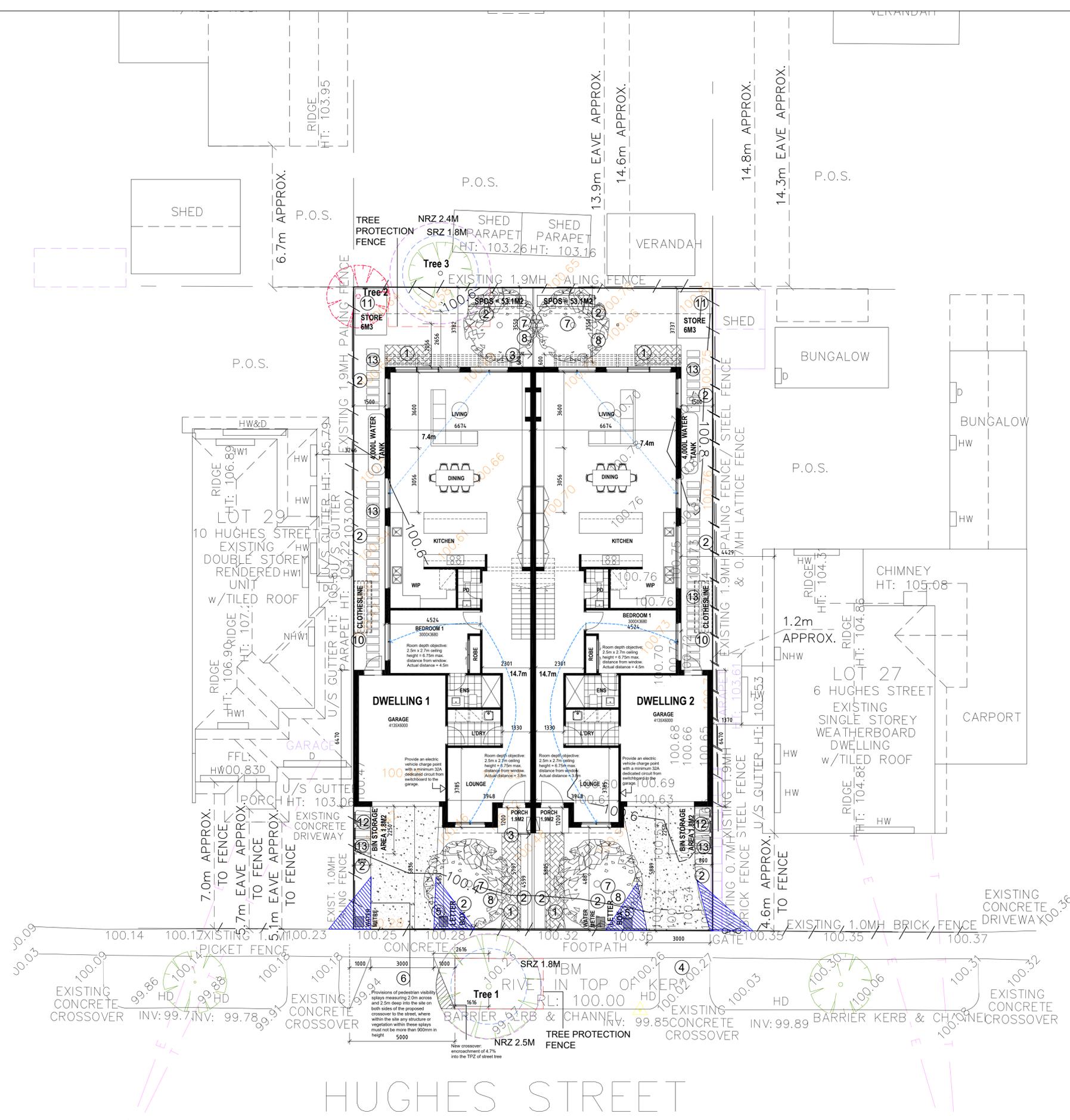
Scale: 1:100@A1

TP02 - Revised Planning Permit Issue

23.12.25

Scale: 1:200@A3

Registered Builders, DB-U 39067



- LEGEND**
- ① PERMEABLE BRICK PAVERS
 - ② GARDEN BED
 - ③ 1800MM HIGH NEW TIMBER FENCE
 - ④ EXISTING CROSSOVER
 - ⑤ LETTER BOX
 - ⑥ PROPOSED CROSSOVER
 - ⑦ NEW CANOPY TREE
 - ⑧ AREA OF DEEP SOIL AND ROOT BARRIERS
 - ⑨ EXISTING TREE TO BE REMOVED
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 - ⑬ PAVERS ON SAND

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Notes:

Client:

Drawing Title:
**DESIGN RESPONSE PLAN
 /GROUND FLOOR PLAN**

Drawn by: EV

Drawing No: A002-TP05

Project Address:
**8 HUGHES STREET,
 BRAYBROOK**



Checked by: N/A

REVISION

DATE

Date: 27.01.26

TP03 - Revised Planning Permit Issue

19.01.26

Scale: 1:100@A1

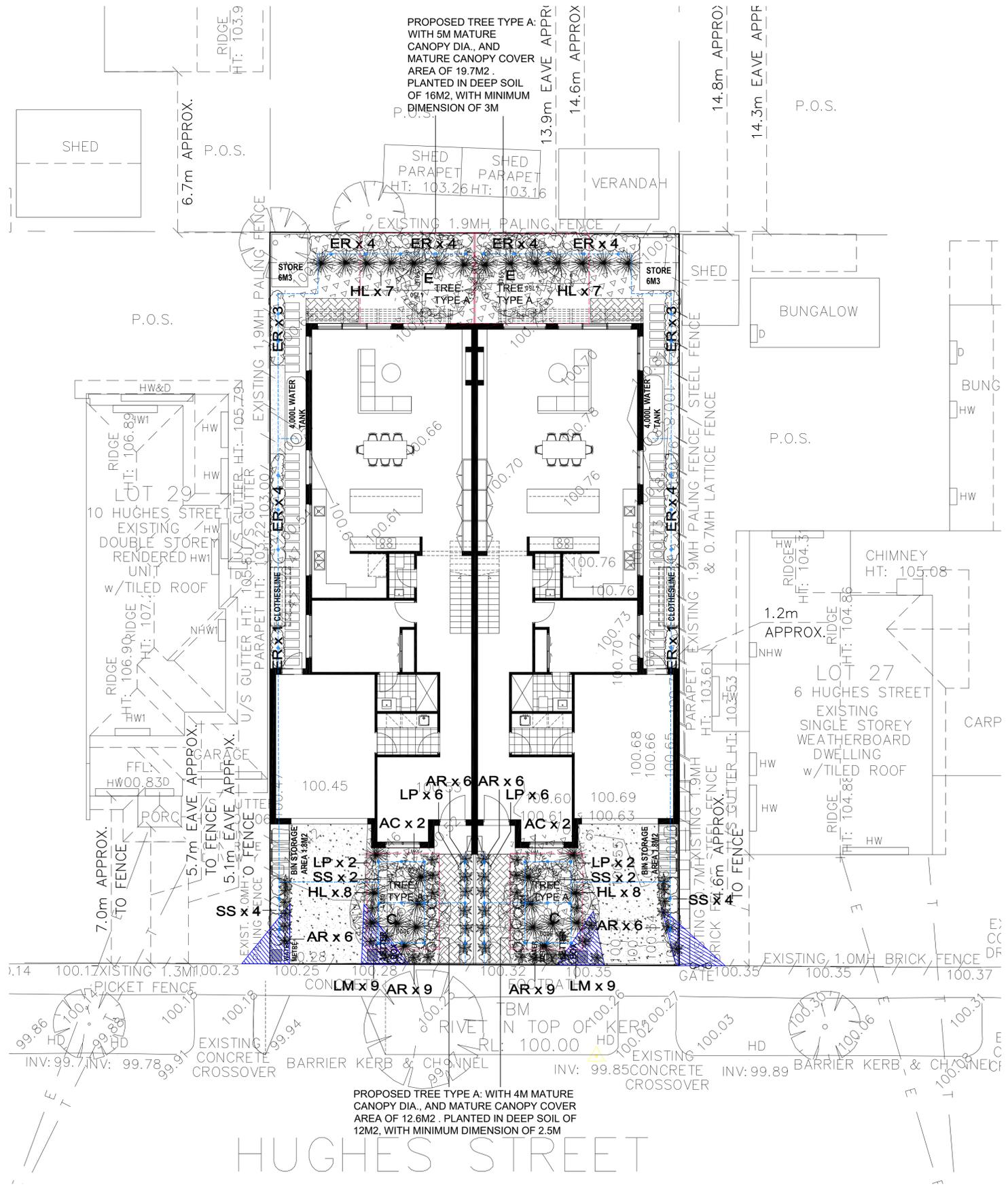
TP04 - Revised Planning Permit Issue

23.01.26

Scale: 1:200@A3

TP05 - Revised Planning Permit Issue

27.01.26

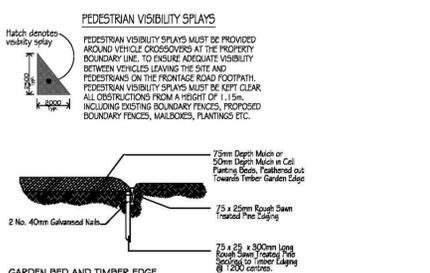
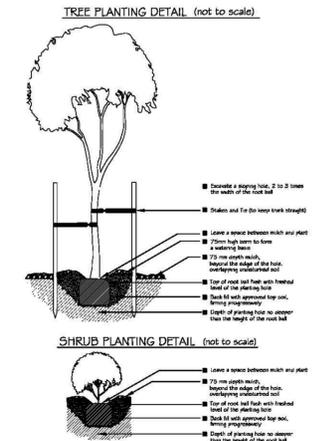


PREPARING A GARDEN BED ON A BUILDING SITE

CLEANING:
Clean the site of debris & weeds.
In cases where soil is contaminated by paint or concrete wash (ideally these are avoided) the soil should be dug out and removed from the site. If it is in a Tree Protection Zone it should be excavated by hand to avoid cutting roots.

GRADING & DRAINAGE:
In areas with existing topsoil that are going to be paths or paved areas the topsoil can be excavated (unless in Tree Protection areas) and stockpiled - to be later used on garden beds.
Grade the area into garden beds and lawn or gravel areas. Garden beds should be edged with timber.
Check the drainage of the area by running a sprinkler for 5 - 10 minutes (if water restrictions or tank water stores permit) and check where the water goes. Look for water tracks or ponding in areas. Adjust grading accordingly. Paths, lawn or gravel areas and garden beds should all drain towards a drainage grate, pit trench or rain garden.
Other ways to address drainage issues include the creation of a swale, which can be made into a dry creek bed with rock process or a sump hole or trench drain filled with crushed rock and covered with lawn or garden bed.

IMPROVING SOILS:
In heavy clay soils, check for gypsum responsiveness and add gypsum to manufacturer's instructions if appropriate.
Garden beds with existing soil can be prepared with the addition of organic material such as well rotted manures or materials from plants and animal sources that are sold as soil improvers or compost and prepared to Australian Standards. These can be just top dressed (placed over the top of the soil) and then covered with mulch.
If there is existing topsoil from previous garden beds or natural vegetation then top dressing with organic matter and mulch will be enough to improve the soil.
Hard clay soils can be fractured or repud to break them up without destroying their structure. This can be done in small areas with vertical action by a garden fork or spade and subsequent placement of washed gravel or organic matter into the vertical spaces. This should be top dressed to avoid further cultivation and following planting organic mulch added over the top of the rippled soil and organic matter.
Clay based soils should never be cultivated in any way when they are wet.



GARDEN BED AND TIMBER EDGE TYPICAL DETAIL (not to scale)

SYMBOLS		PROPOSED PLANT SCHEDULE			
TREES		H x W	SIZE	NO.	
E	EUCALYPTUS POLYANTHEMOS	RED BOX	10X5	4.5L	2
C	EUCALYPTUS CAESIA	SILVER PRINCESS	8X4	4.5L	2
HEDGE / SCREEN					
ER	ELAEOCARPUS RETICULATUS (HEDGED)	BLUEBERRY ASH	3X2	300MM	32
SHRUBS / GROUNDCOVERS					
AC	ANTHROPIDIUM CIRRHATUM	RENGA LILY	0.6X0.8	140MM	4
AR	AJUGA REPTANS	CARPET BUGLE	0.2X0.4	140MM	42
HL	HELICHRYSUM 'LIMELIGHT'	LICORICE PLANT	0.6X1.0	140MM	30
LM	LIRIOPE MUSCARI 'BIG BLUE'	PURPLE TURF LILY	1.0X0.5	140MM	18
LP	LIMONIUM PEREZII	PERENNIAL STATICE	0.3X0.3	140MM	14
SS	SYZYGIUM SMITHII 'ALLYSN MAGIC'	DWARF LILLYPILLY	0.6X0.6	140MM	12
MULCH - AGED HARDWOOD CHIP / LEAF MULCH SPREAD 75MM DEPTH OVER WEED FREE SOIL					
PERMEABLE BRICK PAVER					

IRRIGATION TO GARDEN BEDS: CONNECTED TO WATER TANK

Table B: Deep soil area requirements for canopy trees

Tree Size	Mature canopy diameter ¹	Mature canopy cover area	Minimum deep soil area required	Minimum soil plan dimension
TYPE A	4-4.9 metres	12.6-19.6 square metres	12 square metres	2.5 metres
	5-5.9 metres	19.7-28.2 square metres	16 square metres	3 metres
	6-6.9 metres	28.3-38.4 square metres	25 square metres	3.5 metres
	7-7.9 metres	38.5-50.2 square metres	36 square metres	4 metres

MATURE TREE CANOPY COVER REQUIREMENTS:
10% OF SITE IS REQUIRED TO HAVE CANOPY COVER
SITE AREA = 520M² / 52M² CANOPY COVER TO BE PROVIDED ON SITE

NO.	MATURE CANOPY COVER AREA	MATURE TREE DIA.	TREE TYPE	SYMBOL	TREE	DEEP SOIL AREA PROVIDED	TOTAL AREA
2	19.7m ²	5M	TYPE A	E	EUCALYPTUS POLYANTHEMOS / RED BOX	16M ²	39.4M ²
2	12.6m ²	4M	TYPE A	C	EUCALYPTUS CAESIA / SILVER PRINCESS	12M ²	25.2M ²
TOTAL MATURE CANOPY COVER AREA PROVIDED							64.6M ²

Notes:

Client:

Drawing Title: **LANDSCAPE PLAN**

Project Address: **8 HUGHES STREET, BRAYBROOK**

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REVISION
TP03 - Revised Planning Permit Issue
TP04 - Revised Planning Permit Issue
TP05 - Revised Planning Permit Issue

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