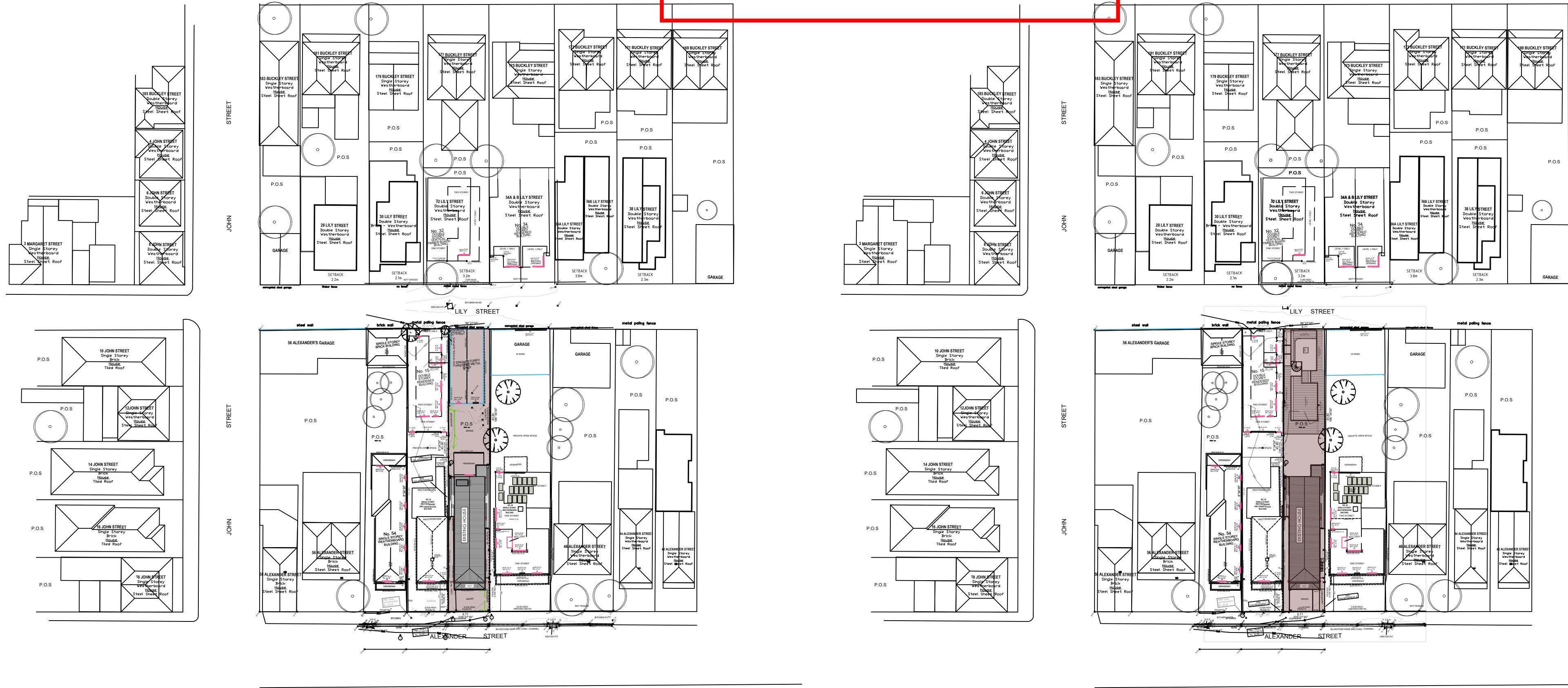


CITY OF MARIBYRNONG ADVERTISED PLAN



NEIGHBOURHOOD & SITE DESCRIPTION PLAN

SCALE 1:500

DESIGN RESPONSE PLAN

SCALE 1:500

LEGEND

**120M TO THE NEAREST BUS STOP
ON JOHN STREET / BUCKLEY RD**

280M TO THE NEAREST TRAIN STATION - MIDDLE FOOTSCRAY STATION

170M TO BRISTOW RESERVE PARK

350M TO VICTORIA STREET SHOPPING STRIP

550M TO BUNNINGS WAREHOUSE

850M TO VICTORIA UNIVERSITY FOOTSCRAY CAMPUS

900M TO FOOTSCRAY HIGH SCHOOL

950M TO WHITTEN OVAL

5.1KM APPROX TO MELBOURNE CBD.

Important Notes :

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All windows and door sizes to be verified on site prior to ordering

[illegible]

Information	Drawings
-------------	----------

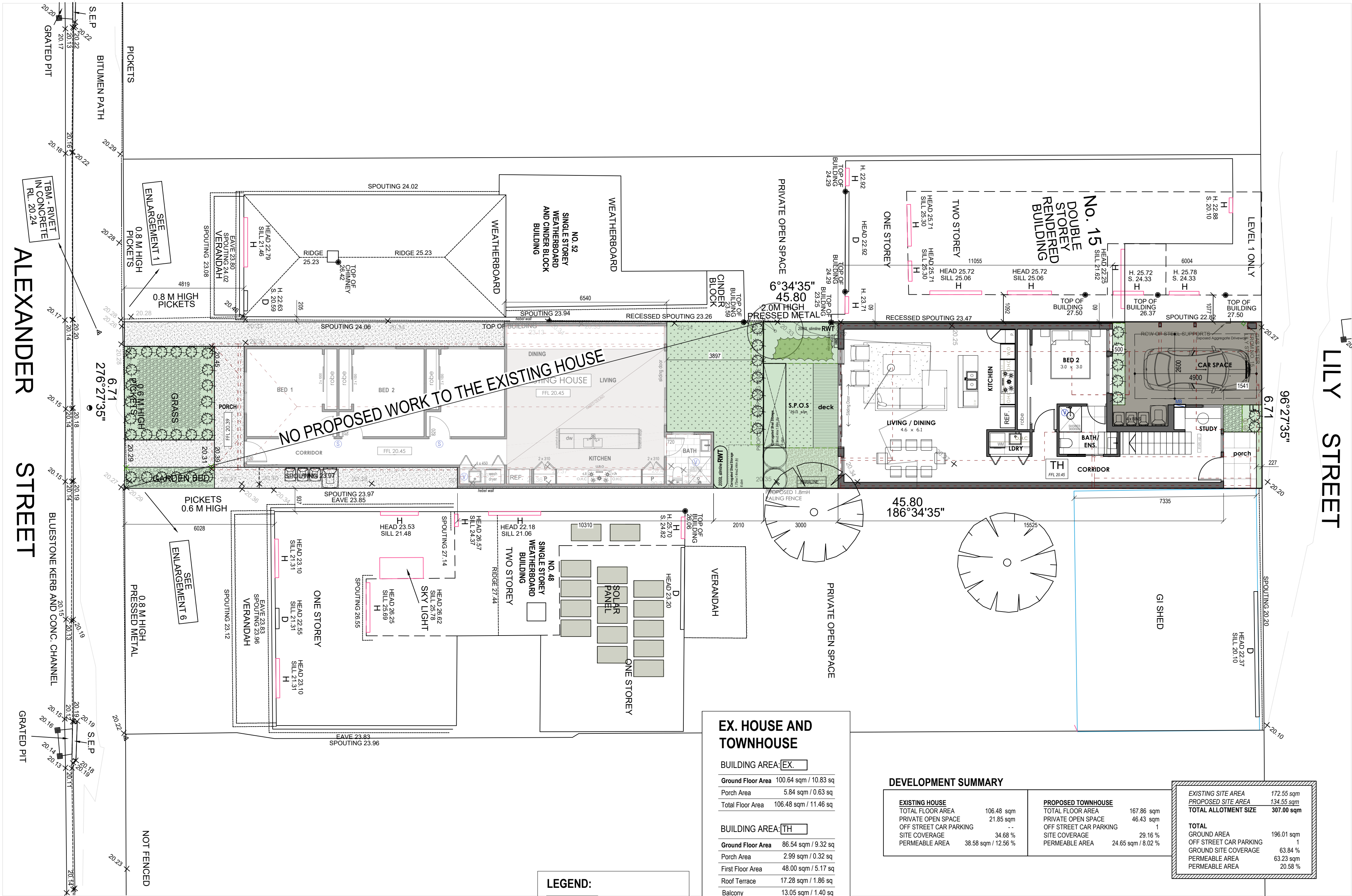
Sheet. No **TP 01**

SITE & LAYOUT PLAN

Title - Job Address
**Construction of a
Second Dwelling on a lot**
50 Alexander Street
Seddon VIC 3011

Scale	A2 - 1:500
Drawn	ET
Date	15 Nov 2024



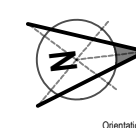


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Code	Date	Description	By



Orientation Drawing

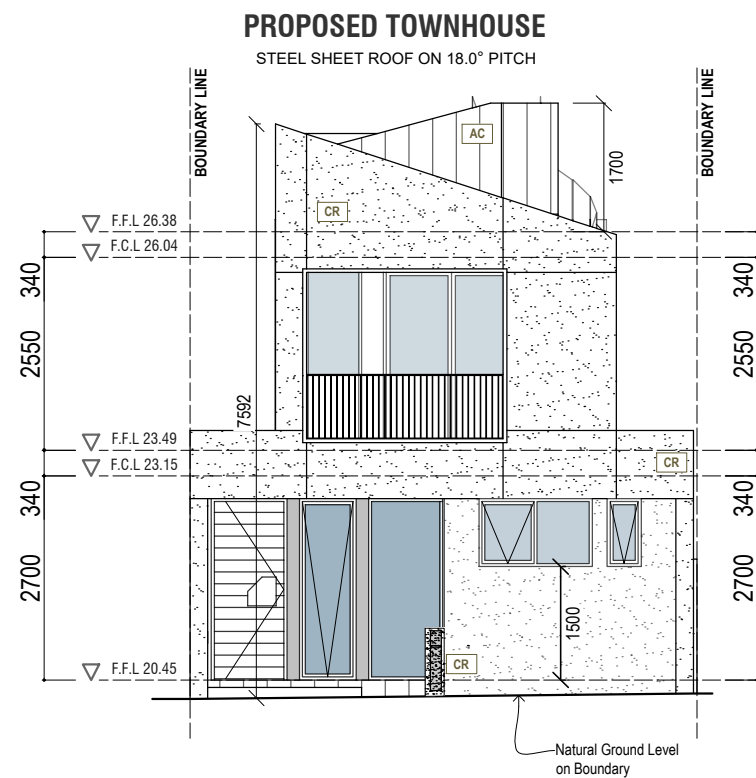
Sheet No. **TP 02**

REV no. ----

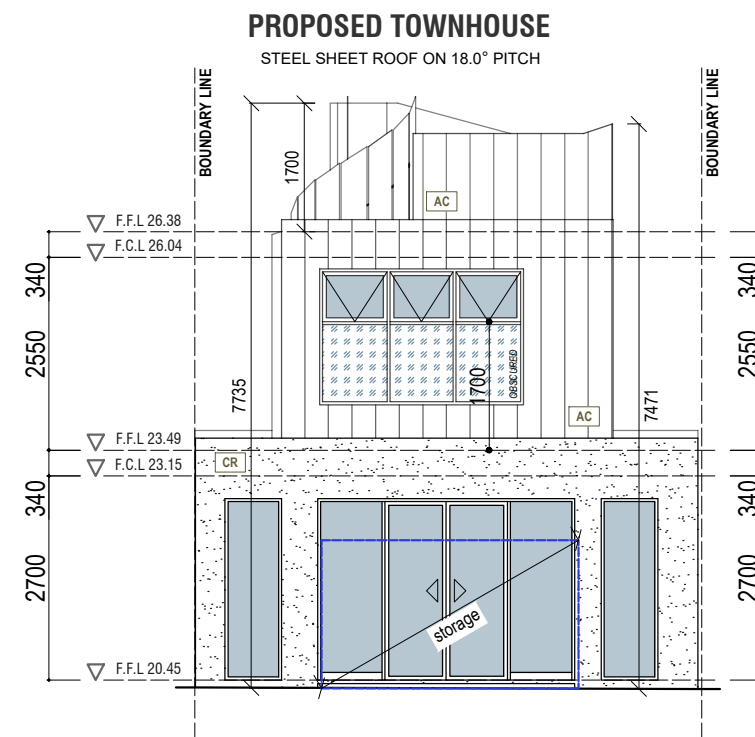
GROUND FLOOR PLAN

Title - Job Address
Construction of a
Second Dwelling on a lot
50 Alexander Street
Seddon VIC 3011

Scale **A2 - 1:100**
Drawn **ET**
Date **15 Nov 2024**
Job no. ---



A. NORTH ELEVATION



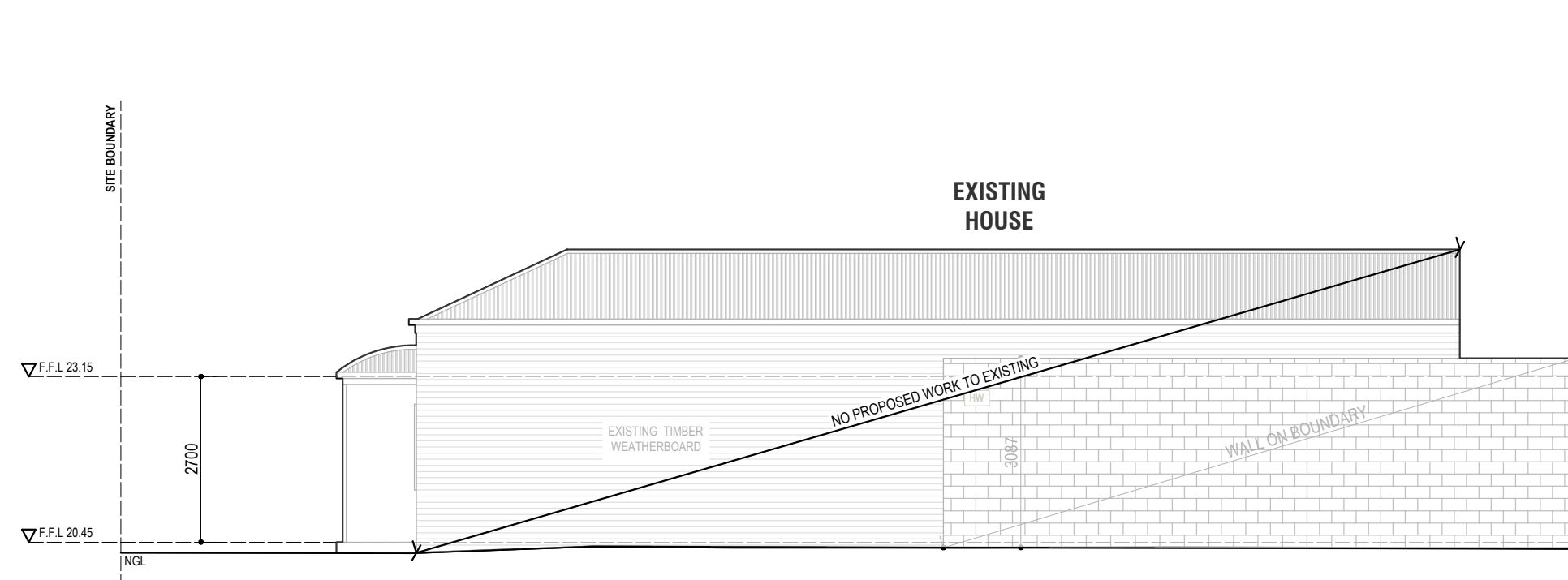
C. SOUTH ELEVATION



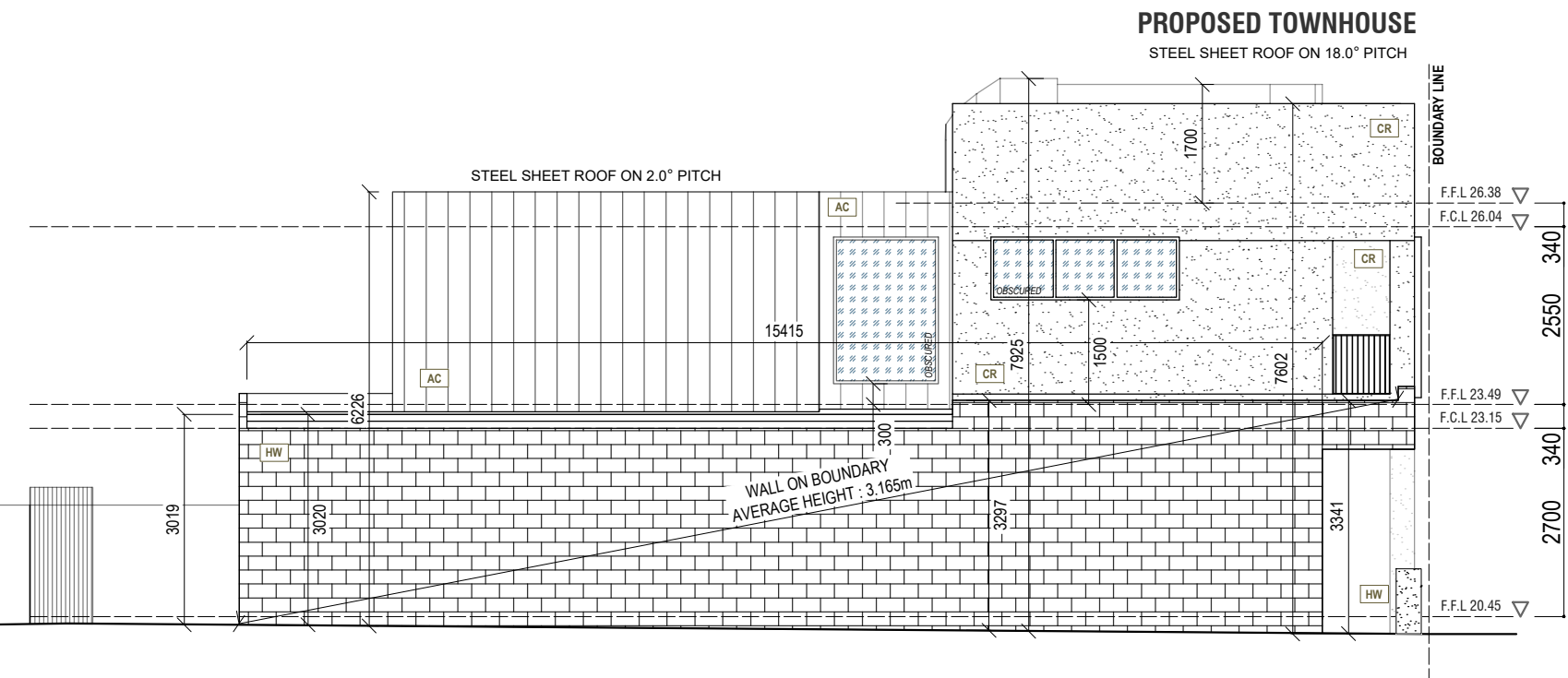
EXISTING STREETSCAPE (BACK LANE)
SCALE 1:100



PROPOSED STREETSCAPE (BACK LANE)
SCALE 1:100

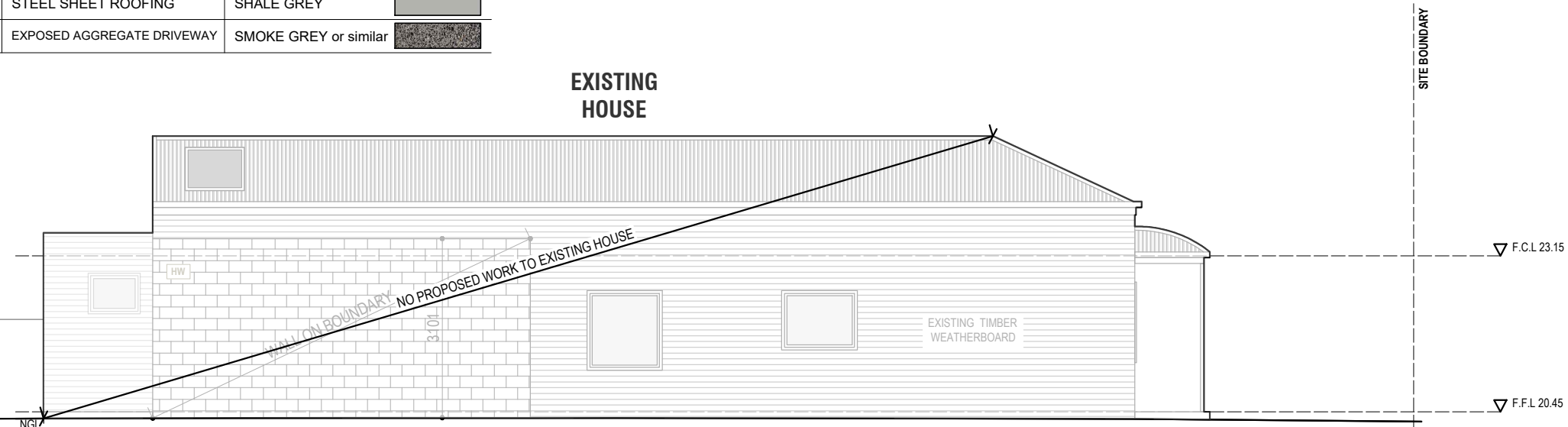


B. EAST ELEVATION



D. WEST ELEVATION

CODE	MATERIAL	NOTE
CR	CEMENT RENDER	DOVER WHITE
AC	AXON CLADDING	WOODLAND GREY
HW	HEBEL WALL	MONUMENT
	DOOR - WINDOW - SHROUD	WOODLAND GREY
	FASCIA - GUTTER	SHALE GREY
	STEEL SHEET ROOFING	SHALE GREY
	EXPOSED AGGREGATE DRIVEWAY	SMOKE GREY or similar

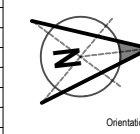


D. WEST ELEVATION

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Code	Date	Description	By



Sheet No **TP 05**

REV no. ----

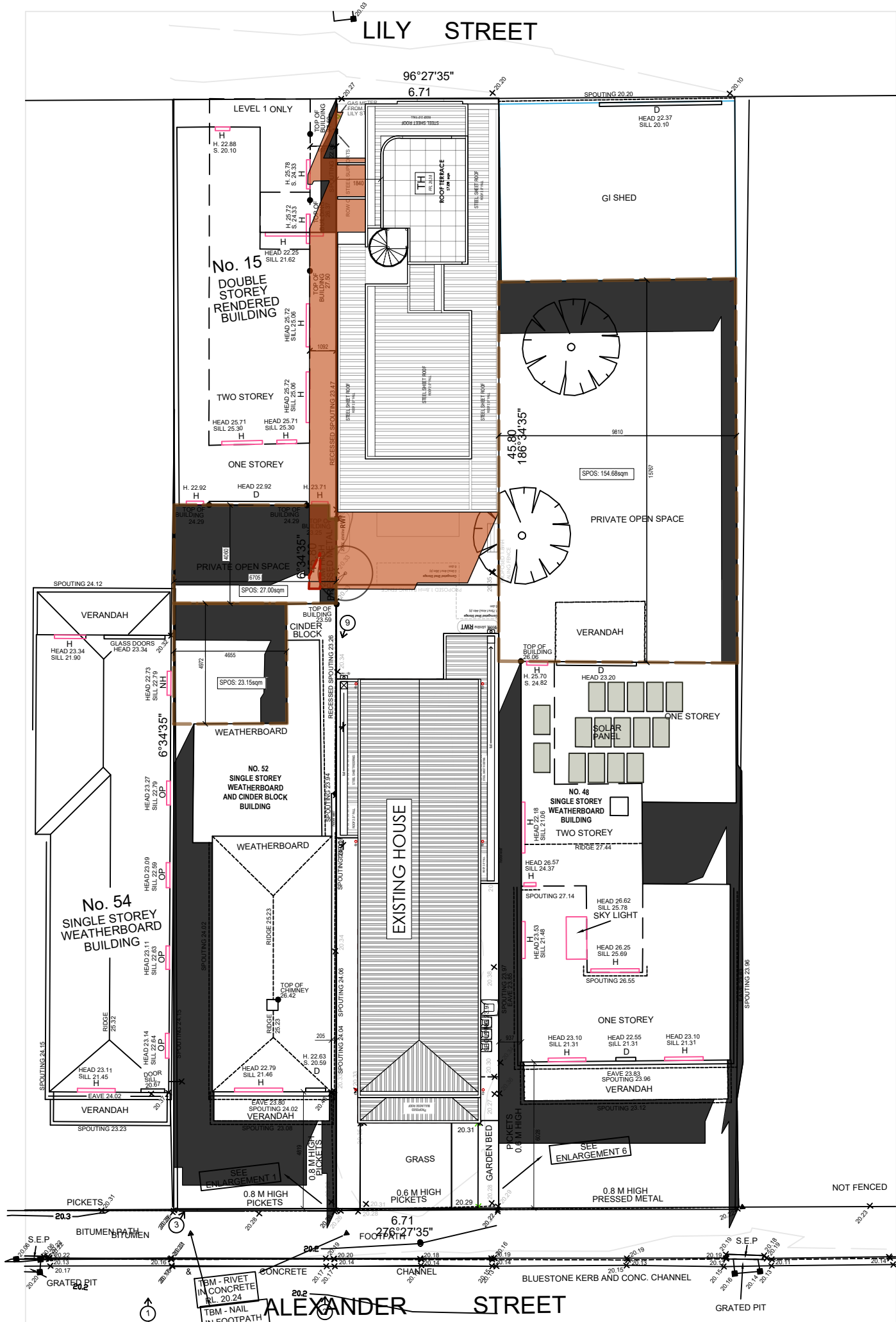
ELEVATIONS

Title - Job Address
Construction of a Second Dwelling on a lot
50 Alexander Street
Seddon VIC 3011

Scale	A2 - 1:100
Drawn	ET
Date	15 Nov 2024
Job no.	---

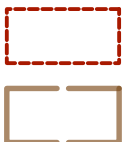
<u>15 LILY STREET</u>	
Total SPOS Area	: 27.00 sqm
Existing Shadow Cast	: 22.72 sqm
Proposed Additional shadow Area	: 2.51 sqm (11.04%)
 <u>48 ALEXANDER STREET</u>	
Total SPOS Area	: 154.68 sqm
Existing Shadow Cast	: 41.67 sqm
Proposed Additional shadow Area	: 0 sqm (0%)

<u>15 LILY STREET</u>	
Total SPOS Area	: 27.00 sqm
Existing Shadow Cast	: 21.60 sqm
Proposed Additional shadow Area	: 0.45 sqm (2.08%)
 <u>48 ALEXANDER STREET</u>	
Total SPOS Area	: 154.68 sqm
Existing Shadow Cast	: 29.37 sqm
Proposed Additional shadow Area	: 0 sqm (0%)

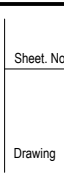


SHADOW DIAGRAM @ 11.00am (equinox)

SEPTEMBER 22 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)



EXTENT OF S.P.O.S



REV no. 00000

Title - Job Address
**Construction of a
Second Dwelling on a lot**
50 Alexander Street
Seddon VIC 3011

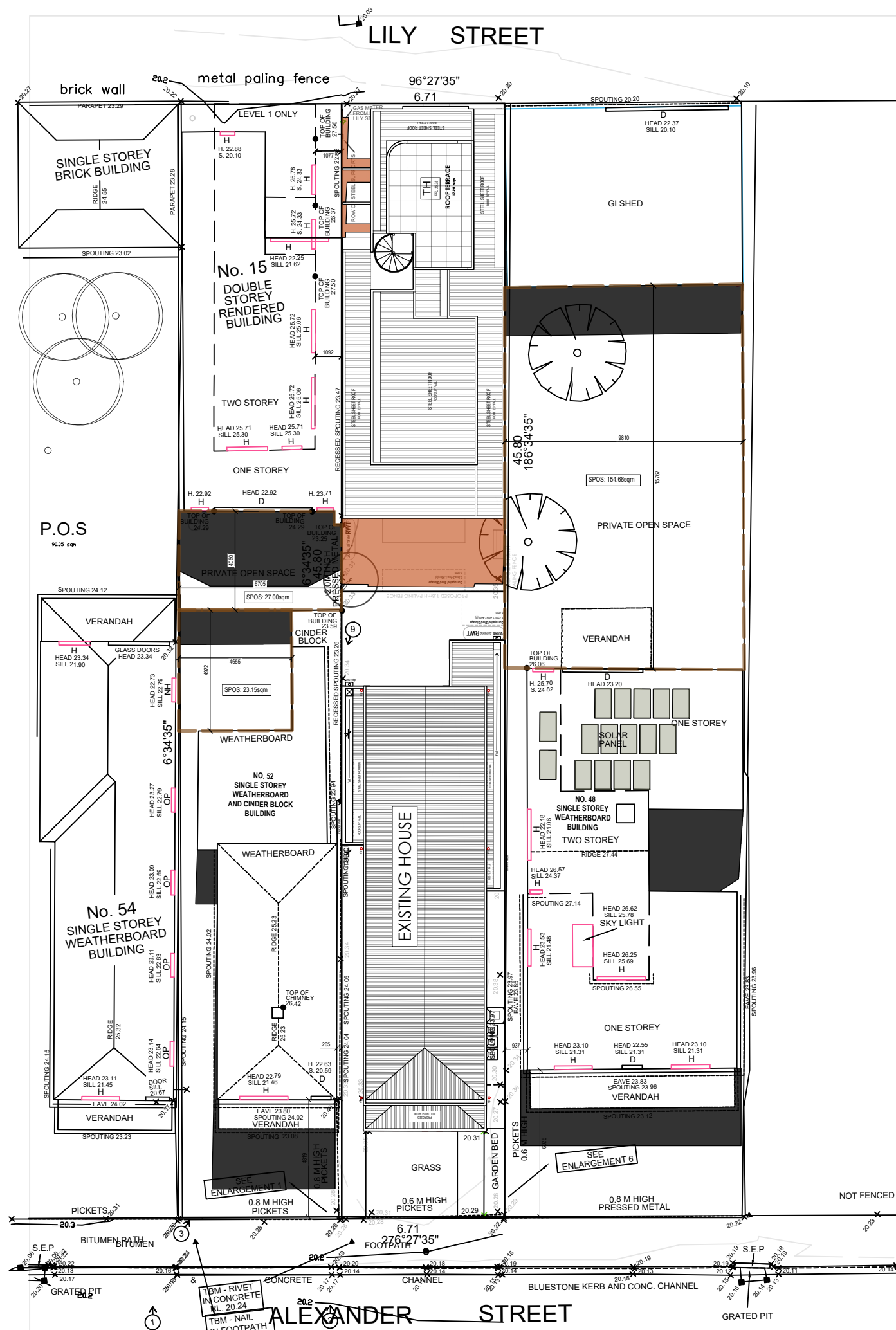
48 ALEXANDER STREET	
Total SPOS Area	: 154.68 sqm
Existing Shadow Cast	: 20.03 sqm
Proposed Additional shadow Area	: 0 sqm (0%)

48 ALEXANDER STREET

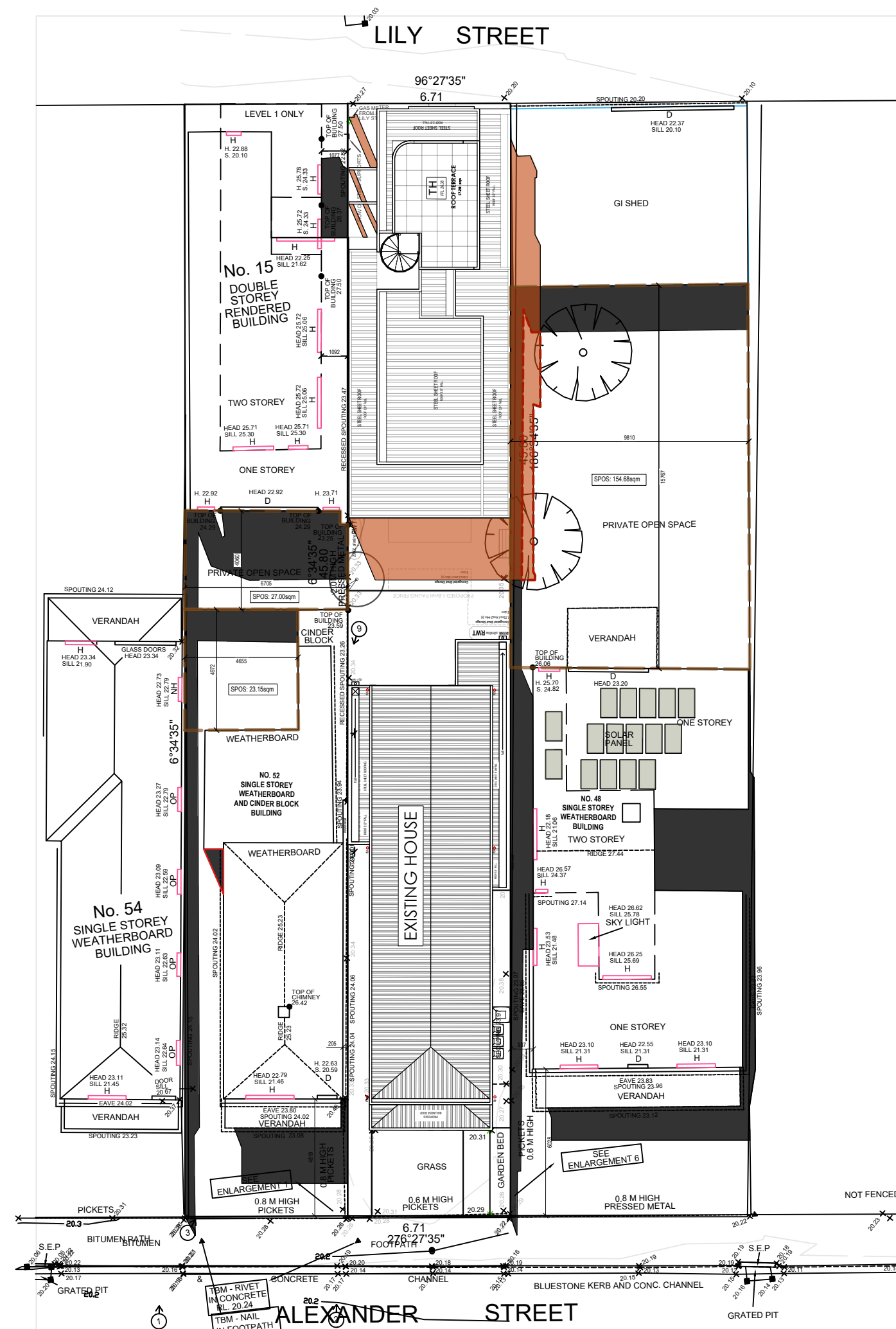
Total SPOS Area	: 154.68 sqm
Existing Shadow Cast	: 24.81 sqm
Proposed Additional shadow Area	: 5.59 sqm (22.53%)

48 ALEXANDER STREET

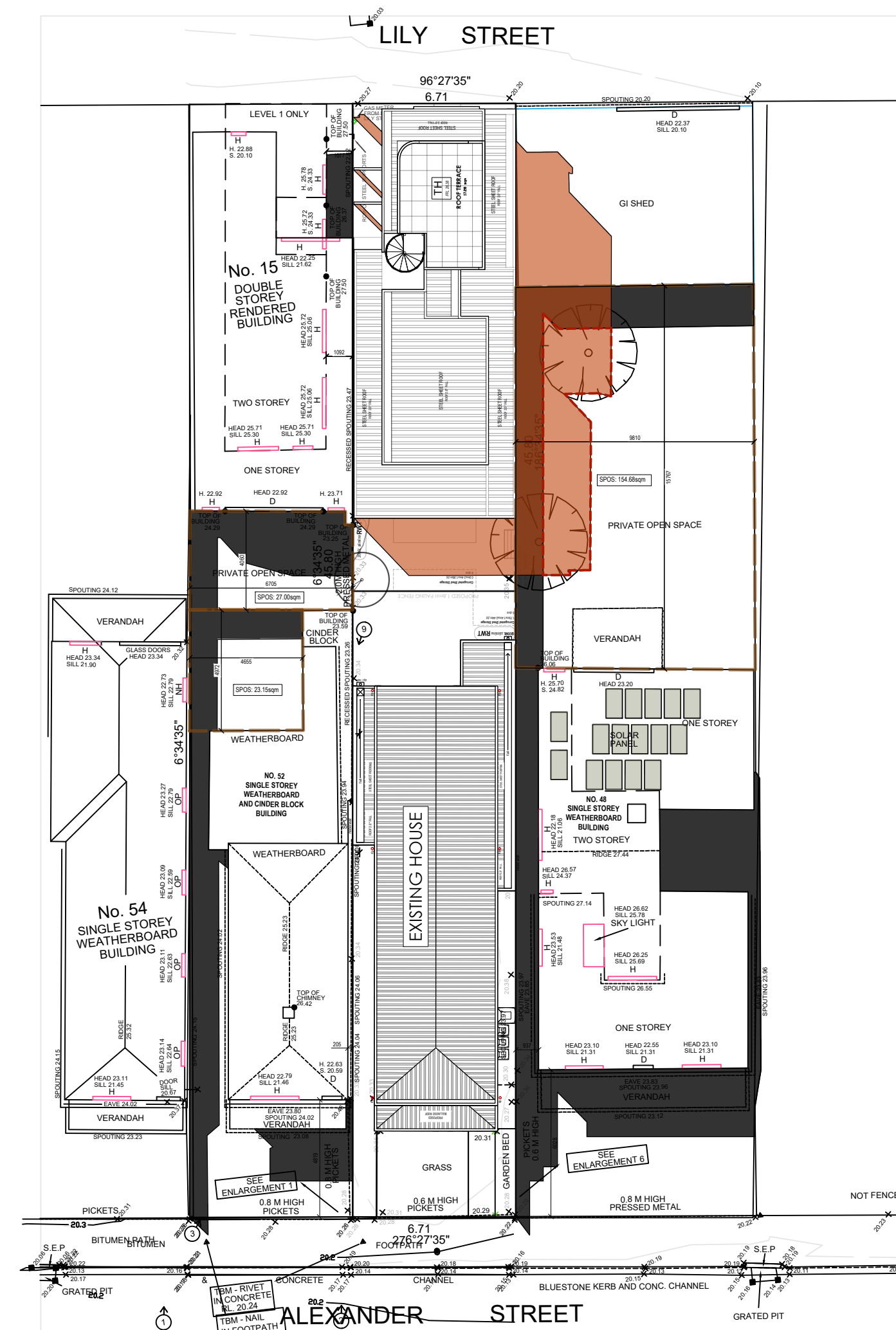
Total SPOS Area	: 154.68 sqm
Existing Shadow Cast	: 32.31 sqm
Proposed Additional shadow Area	: 21.54 sqm (66.6%)



SEPTEMBER 22 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)



SEPTEMBER 22 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)



SEPTEMBER 22 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)

 PROPOSED SHADOW CAST
  ADDITIONAL SHADOW TO SPOS

 EXISTING SHADOW CAST
  EXTENT OF S.P.O.S

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All windows and door sizes to be verified on site prior to ordering

Code	Date	Description	
----	----	-----	



SHADOW DIAGRAM

REV no

Title - Job Address
**Construction of a
Second Dwelling on a lot**
50 Alexander Street
Seddon VIC 3011

Scale **A2 - 1:20**

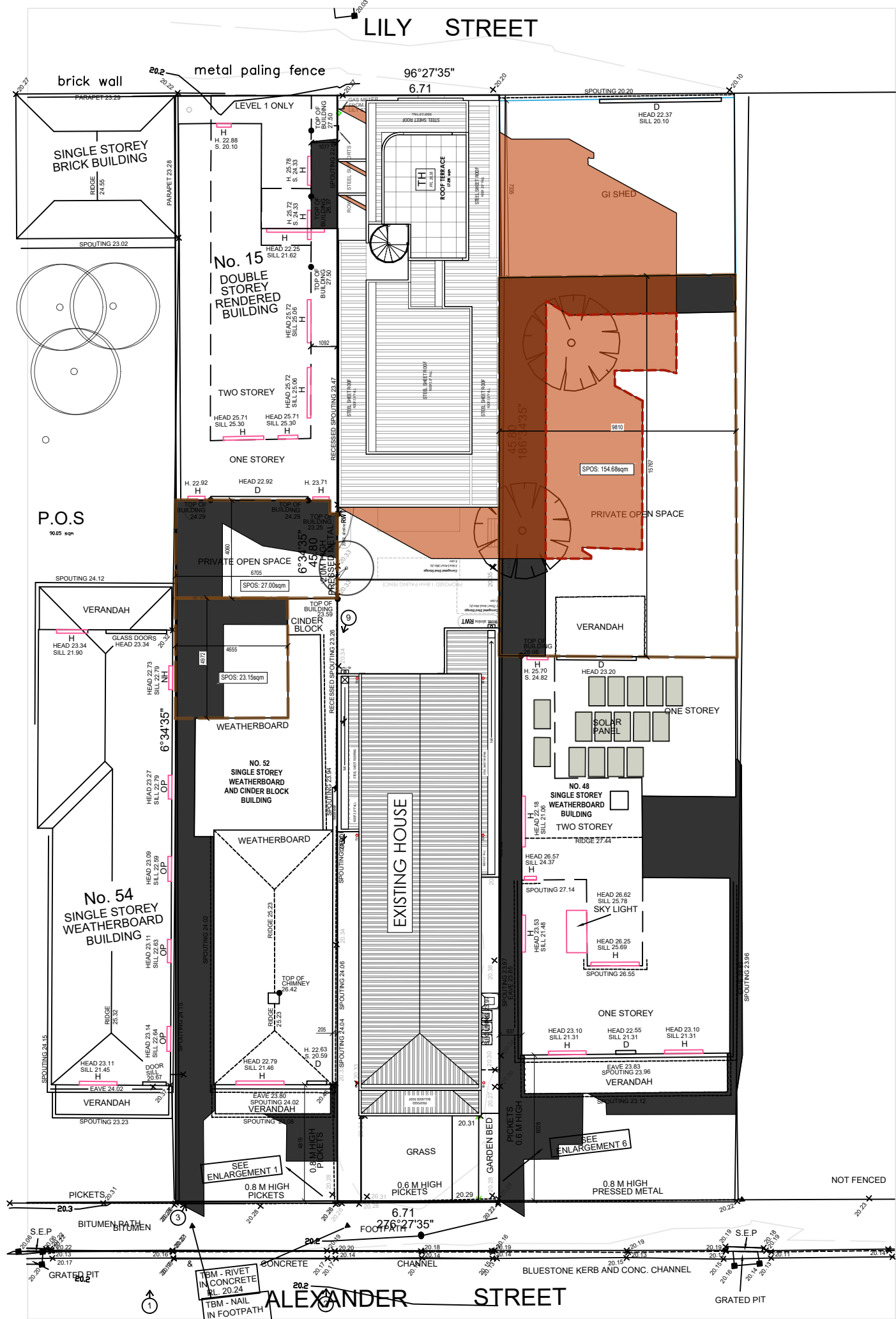
Drawn

Date **15 Nov 20**

Job no.

15 LILY STREET
Total SPOS Area : 27.00 sqm
Existing Shadow Cast : 16.72 sqm
Proposed Additional shadow Area : 0 sqm (0%)

48 ALEXANDER STREET
Total SPOS Area : 154.68 sqm
Existing Shadow Cast : 42.24 sqm
Proposed Additional shadow Area : 42.03 sqm (99.5%)



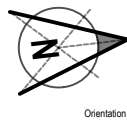
SHADOW DIAGRAM @ 3.00pm (equinox)
SEPTEMBER 22 (EQUINOX)
Melbourne Standard Time (Latitude 38.0° South)

PROPOSED SHADOW CAST
EXISTING SHADOW CAST
ADDITIONAL SHADOW TO SPOS
EXTENT OF S.P.O.S.

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Code	Date	Description	By



Sheet No **TP 08** REV no. **----**
SHADOW DIAGRAM

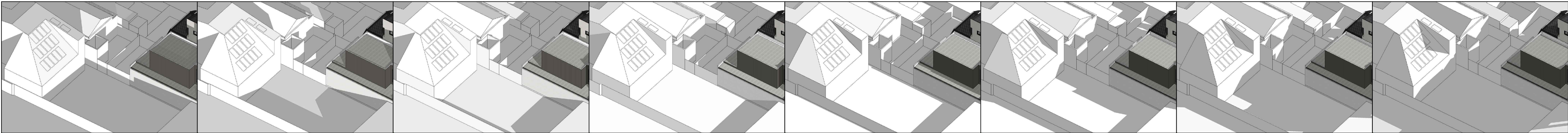
Title - Job Address
Construction of a Second Dwelling on a lot
50 Alexander Street
Seddon VIC 3011

Scale	A2 - 1:200
Drawn	ET
Date	15 Nov 2024
Job no.	---

OVERSHADOWING TO 54 Alexander Street SEDDON				
HOUR ON SEPTEMBER	EXISTING SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	PROPOSED SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	OVERALL CHANGE	CHANGE YES/ NO
9:00 AM	46.78 sqm	45.91 sqm	0.87 sqm	YES
10:00 AM	not affected	not affected	0.00 sqm	NO
11:00 AM	not affected	not affected	0.00 sqm	NO
12:00 AM	not affected	not affected	0.00 sqm	NO
1:00 PM	not affected	not affected	0.00 sqm	NO
2:00 PM	not affected	not affected	0.00 sqm	NO
3:00 PM	not affected	not affected	0.00 sqm	NO

OVERSHADOWING TO 15 Lily Street SEDDON				
HOUR ON SEPTEMBER	EXISTING SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	PROPOSED SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	OVERALL CHANGE	CHANGE YES/ NO
9:00 AM	3.51 sqm	0.03 sqm	3.48 sqm	YES
10:00 AM	4.28 sqm	1.77 sqm	2.51 sqm	YES
11:00 AM	5.40 sqm	4.95 sqm	0.45 sqm	YES
12:00 AM	7.41 sqm	7.41 sqm	0.00 sqm	NO
1:00 PM	8.89 sqm	8.89 sqm	0.00 sqm	NO
2:00 PM	9.48 sqm	9.48 sqm	0.00 sqm	NO
3:00 PM	10.28 sqm	10.28 sqm	0.00 sqm	NO

OVERSHADOWING TO 48 Alexander Street SEDDON				
HOUR ON SEPTEMBER	EXISTING SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	PROPOSED SUNLIGHT TO SECLUDED PRIVATE OPEN SPACE	OVERALL CHANGE	CHANGE YES/ NO
9:00 AM	95.77 sqm	95.77 sqm	0.00 sqm	NO
10:00 AM	113.01 sqm	113.01 sqm	0.00 sqm	NO
11:00 AM	125.31 sqm	125.31 sqm	0.00 sqm	NO
12:00 AM	134.65 sqm	134.65 sqm	0.00 sqm	NO
1:00 PM	129.87 sqm	124.28 sqm	5.59 sqm	YES
2:00 PM	122.37 sqm	100.83 sqm	21.54 sqm	YES
3:00 PM	112.44 sqm	70.41 sqm	42.03 sqm	YES



8am

9am

10am

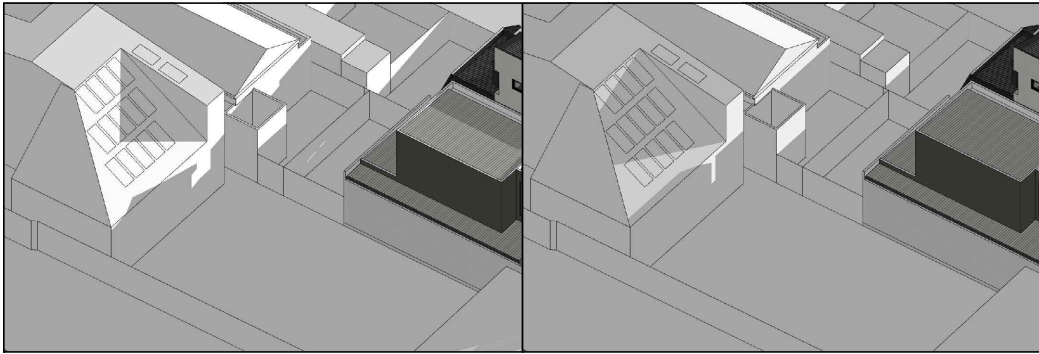
11am

12pm

1pm

2pm

3pm

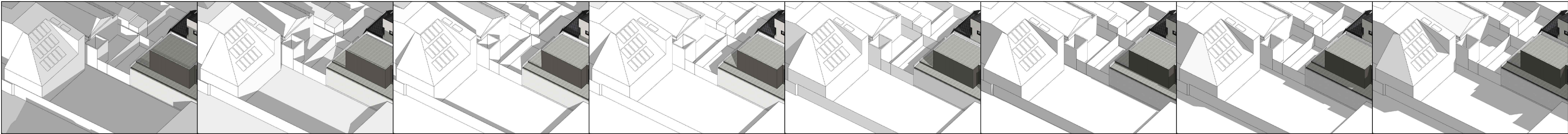


4pm

5pm

3D SHADOW DIAGRAM

WINTER SOLSTICE 22 JUNE



7am

8am

9am

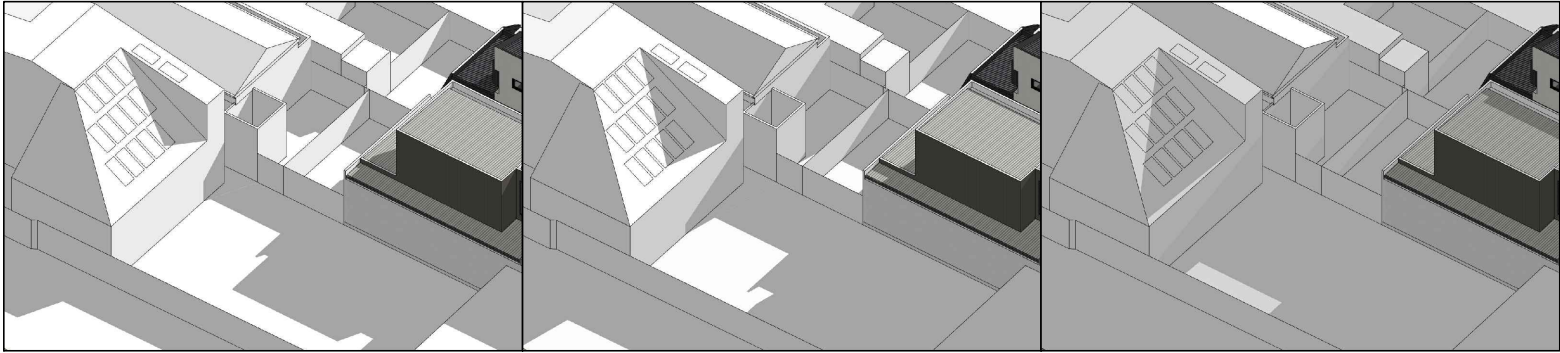
10am

11am

12pm

1pm

2pm



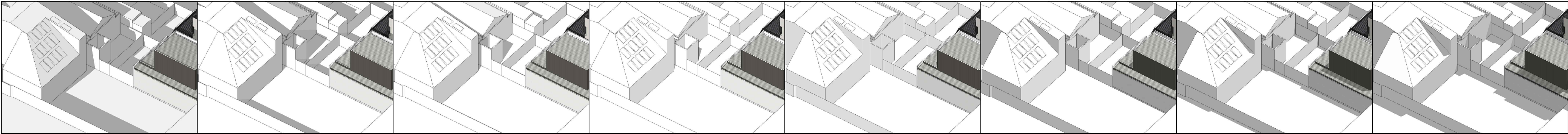
3pm

4pm

5pm

3D SHADOW DIAGRAM

EQUINOX 22 SEPTEMBER



7am

8am

9am

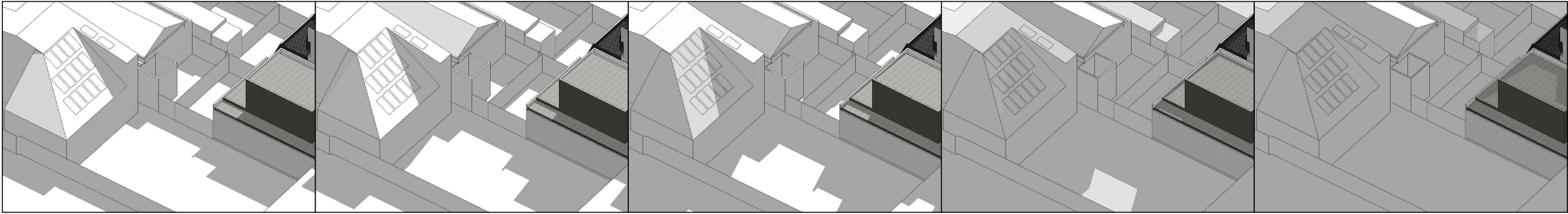
10am

11am

12pm

1pm

2pm



3pm

4pm

5pm

6pm

7pm

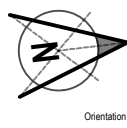
3D SHADOW DIAGRAM

SUMMER SOLSTICE 22 DECEMBER

Important Notes
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All windows and door sizes to be verified on site prior
to ordering

Code	Date	Description	By

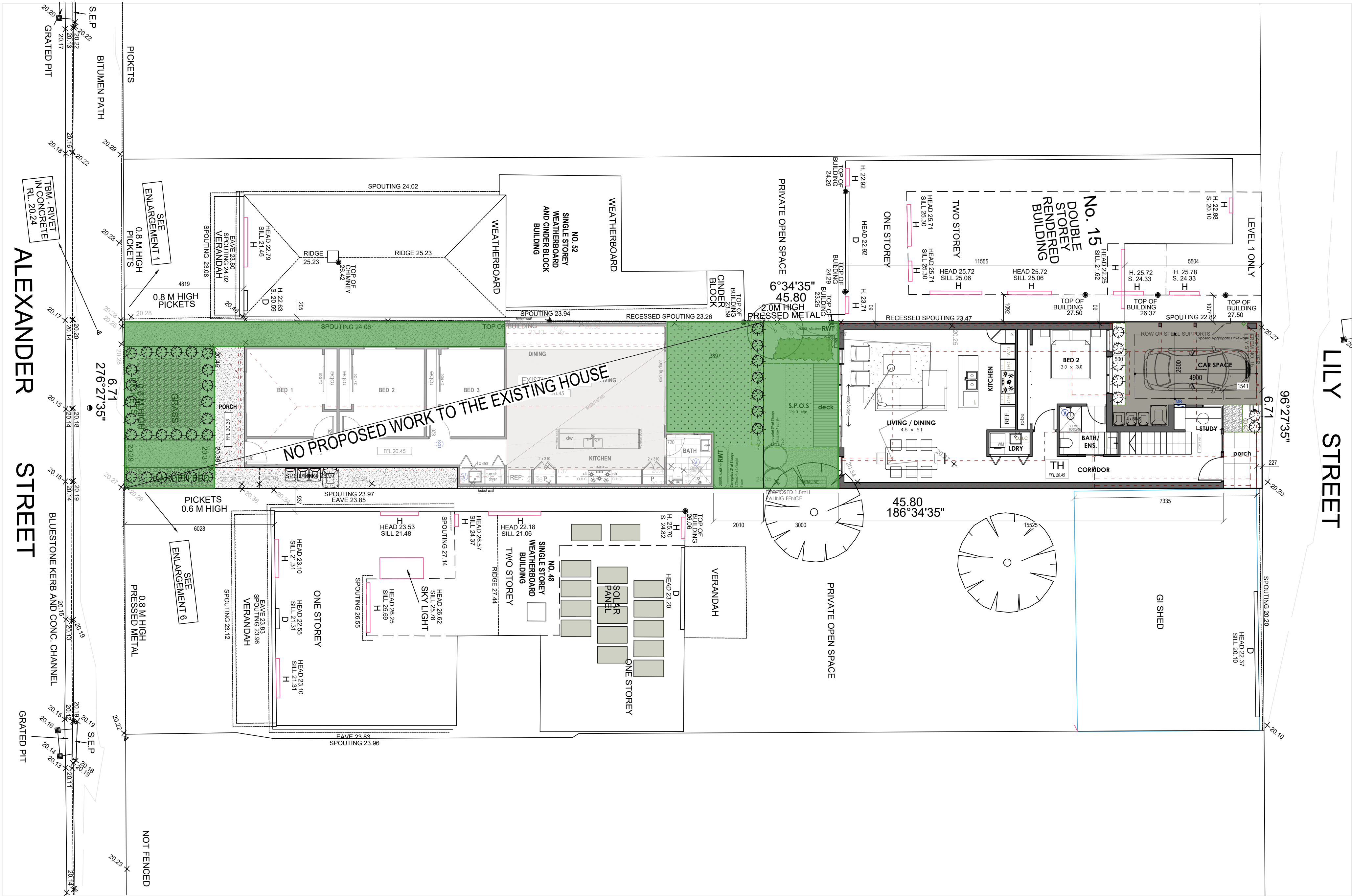


Sheet No **TP 09** REV no. **----**
3D SHADOW DIAGRAM

Title - Job Address
**Construction of a
Second Dwelling on a lot**
50 Alexander Street
Seddon VIC 3011

Scale	A2 - 1:200
Drawn	ET
Date	15 Nov 2024
Job no.	---





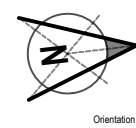
TOTAL GARDEN

77.84sqm - 25.35%

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Code	Date	Description	By



Sheet No. **TP 10**
Drawing

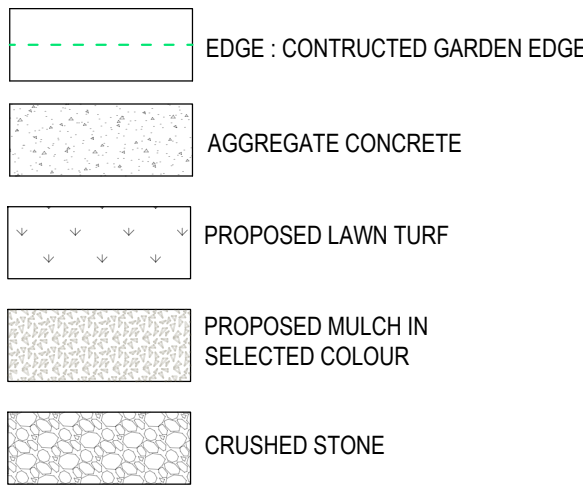
GARDEN AREA PLAN

REV no. ----
Title - Job Address
Construction of a
Second Dwelling on a lot
50 Alexander Street
Seddon VIC 3011

Scale **A2 - 1:100**
Drawn ET
Date 15 Nov 2024
Job no. ---



LEGEND:

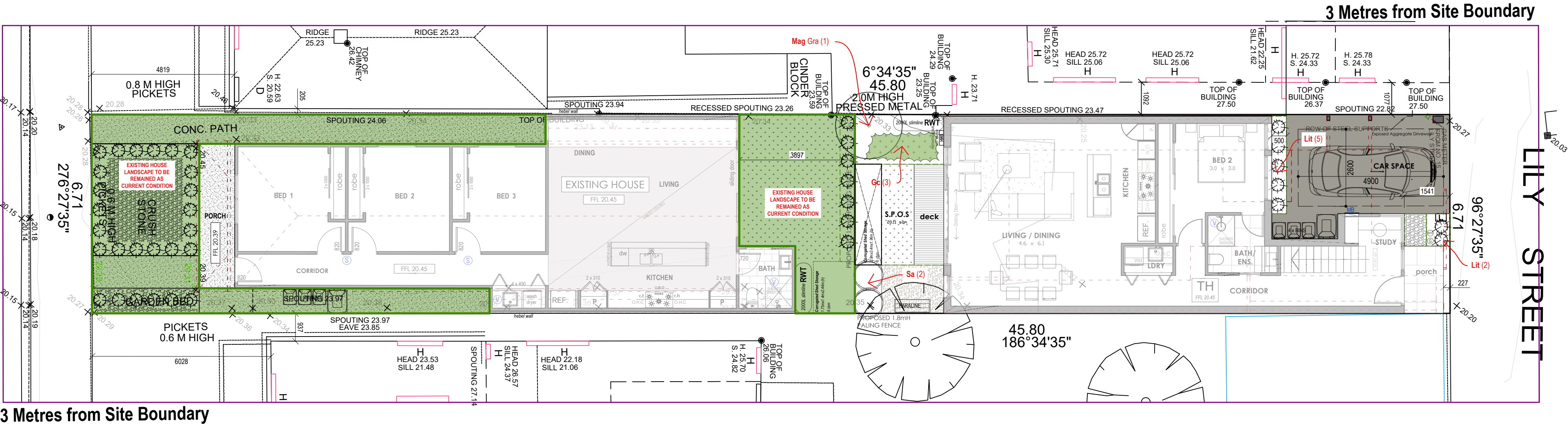


PLANT SCHEDULE

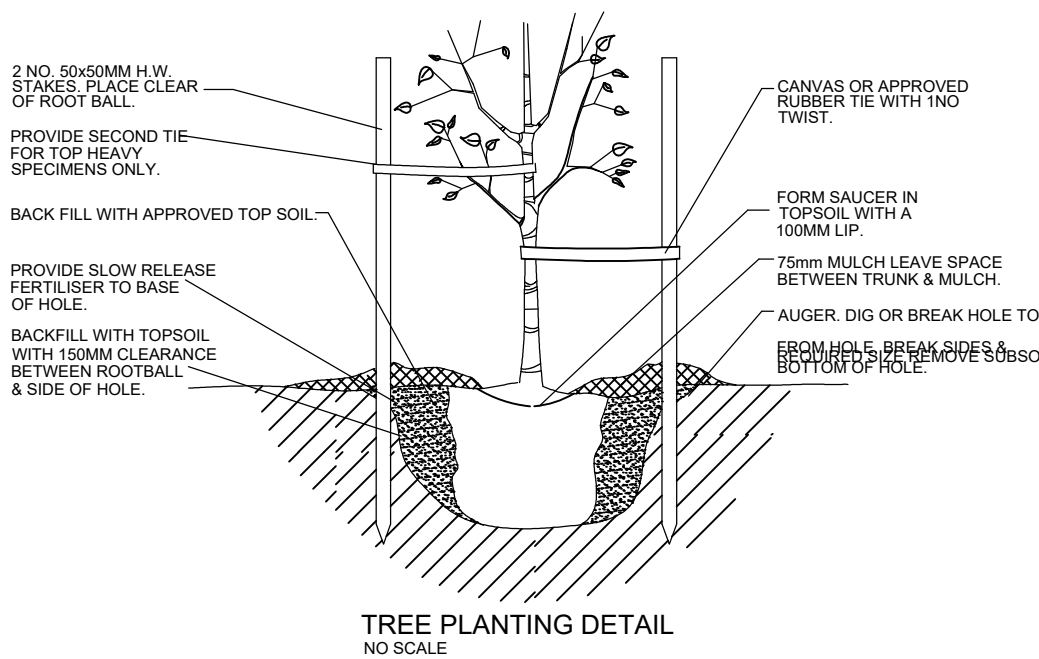
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT AT MATURITY		POT SIZE Ø	QTY
			HEIGHT	WIDTH		
Mag Gra	Magnolia Grandiflora	Little Gem	6m	3m	2.0m TALL	1
Lit	Lomandra "Lime Tuff"	Dwarf Mat Rush	0.5-0.6m	0.65m	140	7
Sa	Syzygium Australe	Brush Cherry	3m	1-2m	140	2
GC	Grevillea Juniperina 'Gold Cluster'	Gold Cluster Juniper Grevillea	0.3m	0.8m	140	3

NOTE:
CANOPY TREES TO BE PLANTED AT 2.0M
MINIMUM HEIGHT to all landscaping areas.

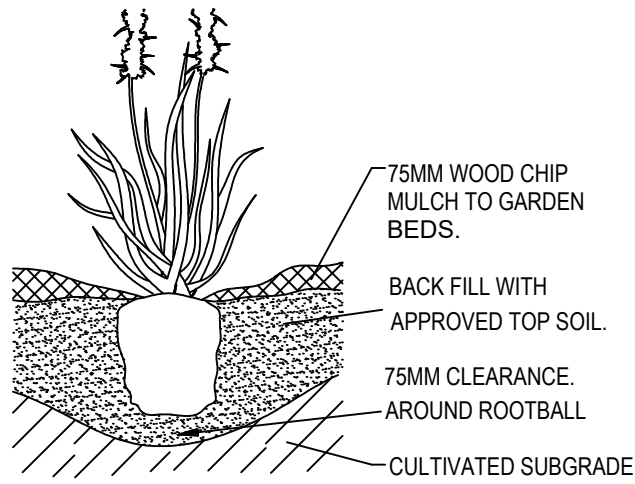
ALEXANDER STREET



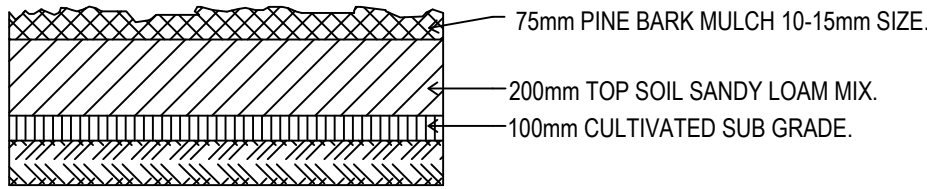
CONTRACTOR TO CHECK LOCATION & DEPTH OF EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS.
GARDEN BEDS AND LAWNS TO BE CULTIVATED TO A MINIMUM DEPTH OF 250MM.
SOIL TYPE : 50% MOUNTAIN SOIL
50 % SANDY LOAM
1 KG GYPSUM / SQM.
MULCHING : WOOD CHIP 100MM HIGH
PLANTING : TREES IN GRASSED AREAS TO HAVE 500 x 500 MULCH AROUND BASE AND TO BE STAKED. TREES TO BE PLANTED AT LEAST 2.0M FROM STORMWATER AND SEWER PIPE AND AT A DISTANCE OF AT LEAST 1 TIMES THE MATURE HEIGHT AWAY FROM THE BUILDING.



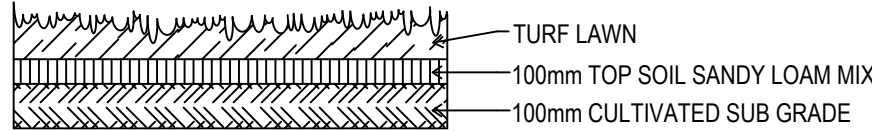
TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTATION DETAIL
NO SCALE



DETAIL SURFACE



DETAIL SURFACE

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Code	Date	Description	By

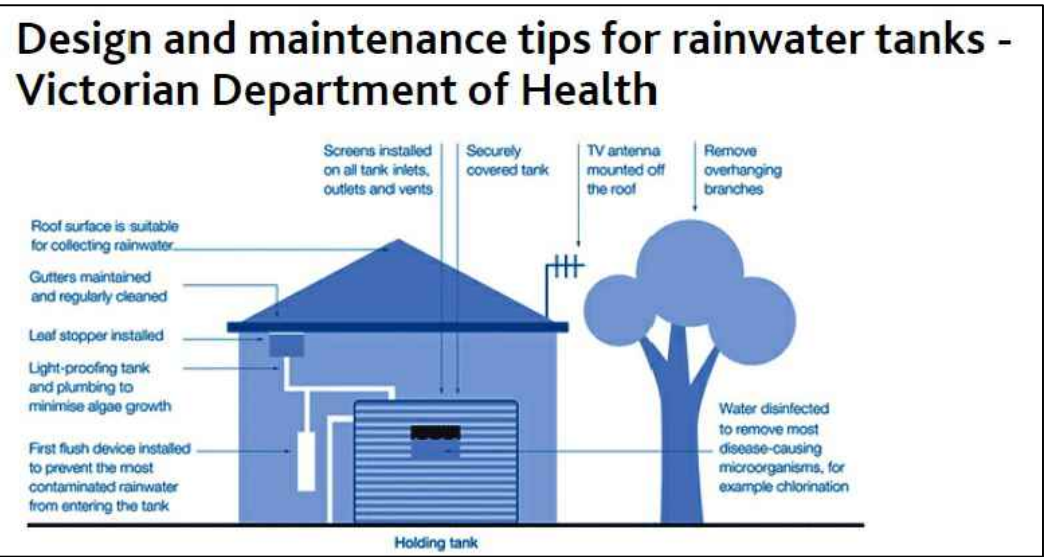


Sheet No	TP 11	REV no	----
LANDSCAPE PLAN		Title - Job Address Construction of a Second Dwelling on a lot 50 Alexander Street Seddon VIC 3011	
Scale	A2 - 1:100	Drawn	ET
Date	15 Nov 2024	Job no.	---

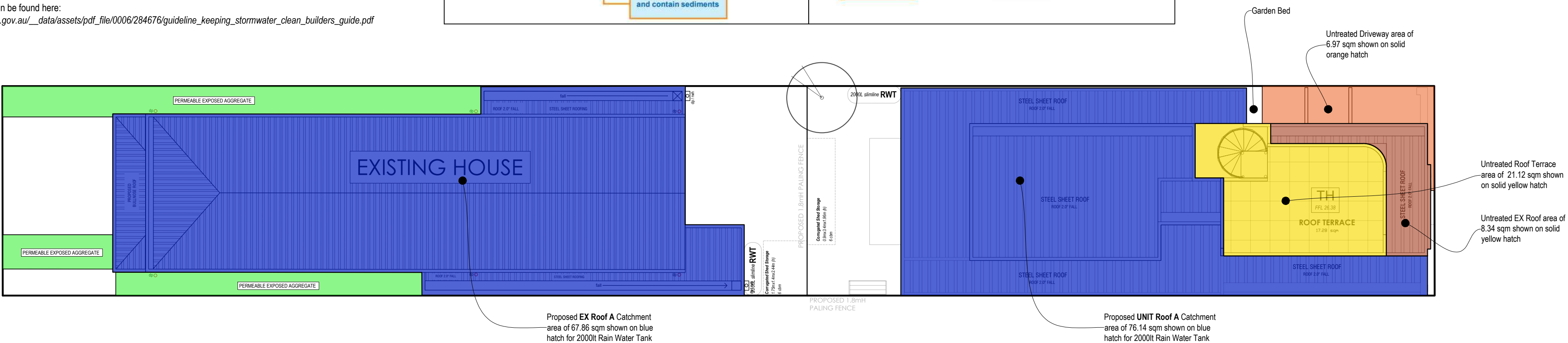
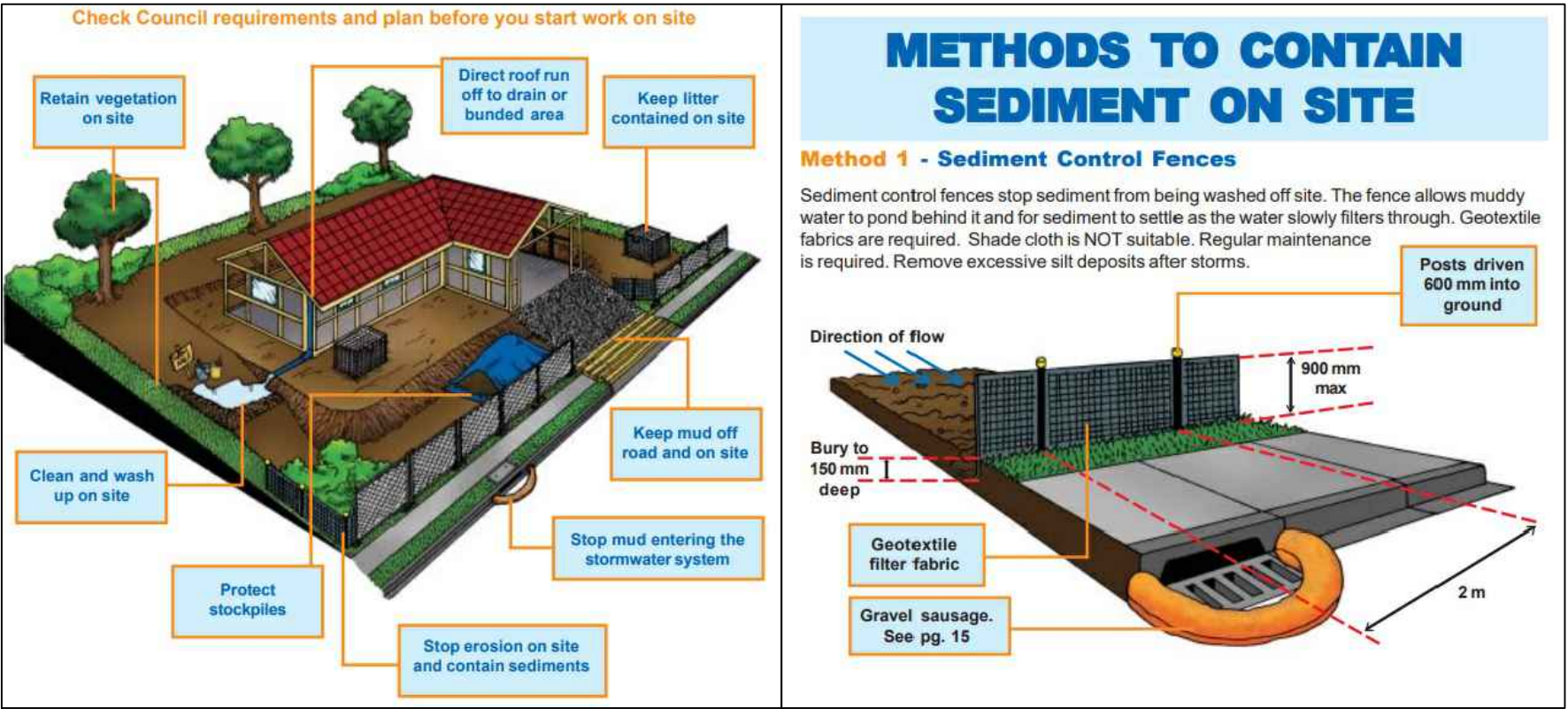


RAINWATER TANK MAINTENANCE:

- It is advised to follow Victorian Department of Health's rainwater tank design and maintenance tips as show below:



More details can be found here:
https://ntepa.nt.gov.au/_data/assets/pdf_file/0006/284676/guideline_keeping_stormwater_clean_builders_guide.pdf



STORM Rating Report

TransactionID: 0
Municipality: MARIBYRNONG
Rainfall Station: MARIBYRNONG
Address: 50 Alexander St

Seddon VIC 3011
Assessor: JW
Development Type: Residential - Dwelling
Allotment Site (m2): 307.00
STORM Rating %: 105

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
EX Roof A	109.05	Rainwater Tank	2,000.00	3	121.40	88.00
Untreated EX Roof	8.34	None	0.00	0	0.00	0.00
Untreated Roof Terrace	21.12	None	0.00	0	0.00	0.00
Untreated Driveway	6.97	None	0.00	0	0.00	0.00
UNIT Roof A	76.14	Rainwater Tank	2,000.00	2	131.00	99.60

Date Generated: 12-Jan-2024

Program Version: 1.0.0

STORMWATER MANAGEMENT DURING CONSTRUCTION:

This project is required to be constructed in line with "Keeping Our Stormwater Clean- A Builder's Guide (Melbourne Water, 2002)" by implementing the WSUD maintenance practices described in appendices A and B. Construction practices will aim to: mitigate erosion, protect stockpiles, keep mud off the road and on site, keep litter contained on site and clean and wash up on site.

Practices must adhere to:

SITE RULE 1:

- Check Council requirements and plan before you start work on site.
- Crossover away from lowest point
- Sediment control fence on lowest side
- Stockpiles away from lowest point
- Marked trees and vegetation to keep on site

SITE RULE 2:

- Stop erosion on site and contain sediments
- Sediment control fence in place
- Catch drains on high side of site
- Vegetation areas kept at boundary
- Downpipes set up as early as possible

SITE RULE 3:

- Protect stockpiles
- Base and cover for stockpiles
- Gravel sausage at stormwater pit

SITE RULE 4:

- Keep mud off road and on site
- Crushed rock access point
- Vehicles keep to crushed rock areas
- Mud removed from tyres before leaving site
- Clean road if muddy

SITE RULE 5:

- Keep litter contained on site. Site fencing in place
- Litter bins in place with lid closed

SITE RULE 6:

- Clean and wash up on site
- Cutting and clean up area on site
- Clean equipment off before washing
- Sediment filter downslope
- Contain all washing on site

These drawings must not be scaled.
Figured Dimensions take precedence.
It is the builder's and all sub-contractors responsibility to verify all dimensions, levels and existing conditions on site prior to commencement of any works and ordering of materials.
Any discrepancies are to be reported to this office immediately.
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All windows and door sizes to be verified on site prior to ordering

Code	Date	Description	By



Sheet No	TP 12	REV no	----
WSUD PLAN			
Title - Job Address Construction of a Second Dwelling on a lot 50 Alexander Street Seddon VIC 3011			
Scale	A2 - 1:100	Drawn	ET
Date	15 Nov 2024	Job no.	---

