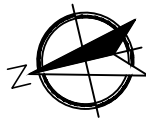
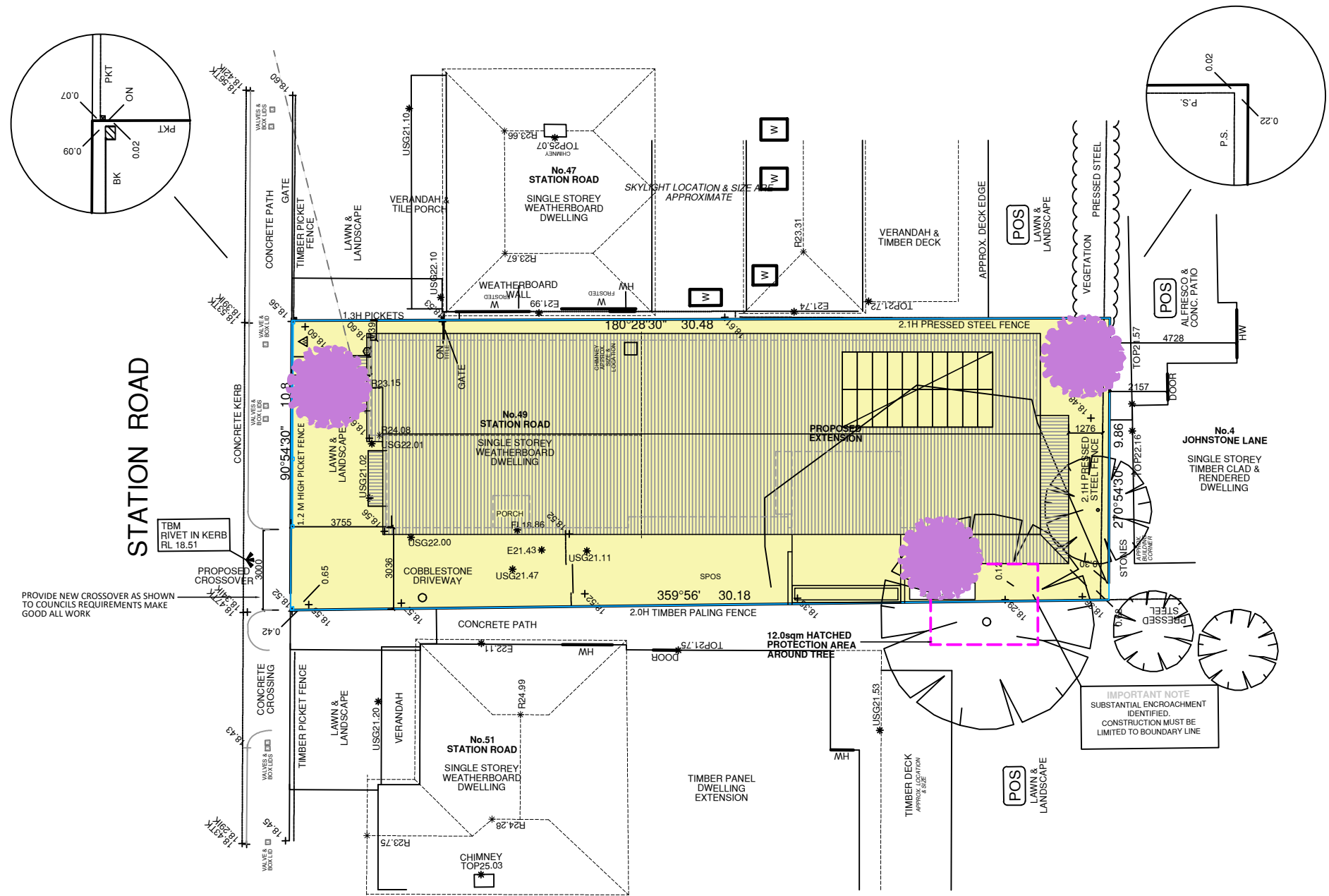


CITY OF MARIBYRNONG
ADVERTISED PLAN

SIZE ANALYSIS		
	m ²	sqs
SITE AREA	324	
EXISTING DWELLING	65.00	11.8
PROPOSED EXTENSION	114.00	5.40
TOTAL	179.00	19.20
SITE COVERAGE	179.00	55%
HARD SURFACE	57.0	18%
GARDEN AREA	88%	27%
TOTAL		100%



DRAFTING & DESIGN STUDIO
Nadine Saad DPAD15566
kohe1415@bigpond.com
Mobile No. 0435848484

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DRAWING

DESIGN RESPONSE

TOWN PLANNING DRAWINGS

NAME

PROPOSED RESIDENCE

49 STATION RD SEDDON

DATE

JUNE 2026

DRAWN BY

NS

JOB NO

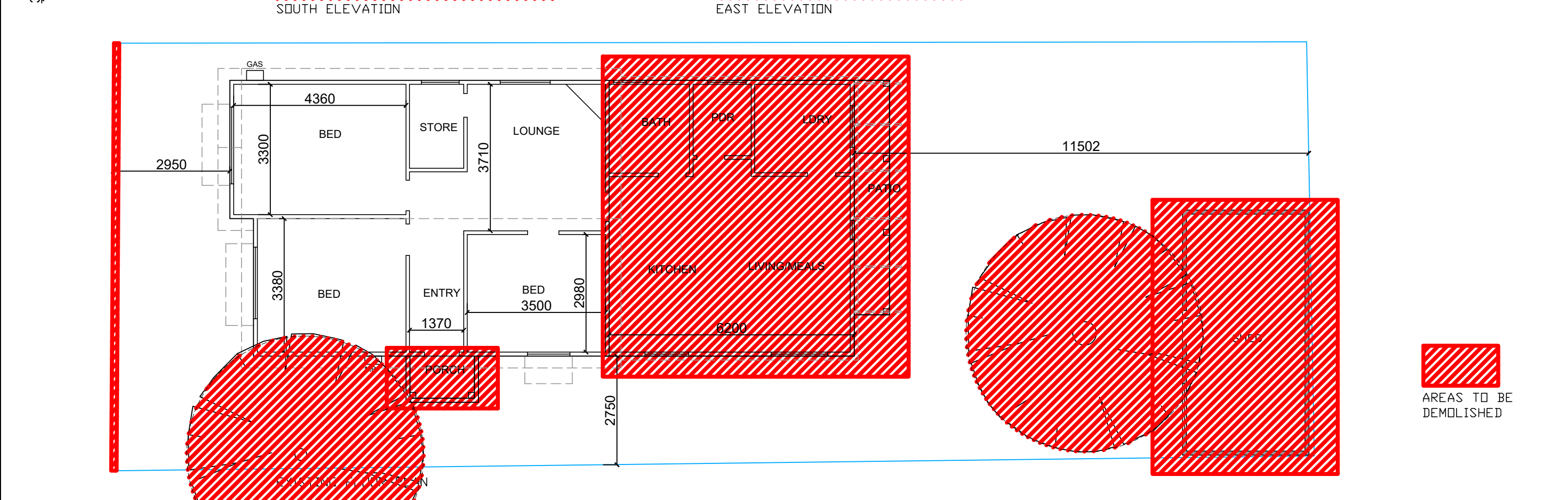
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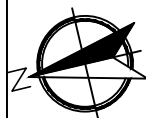
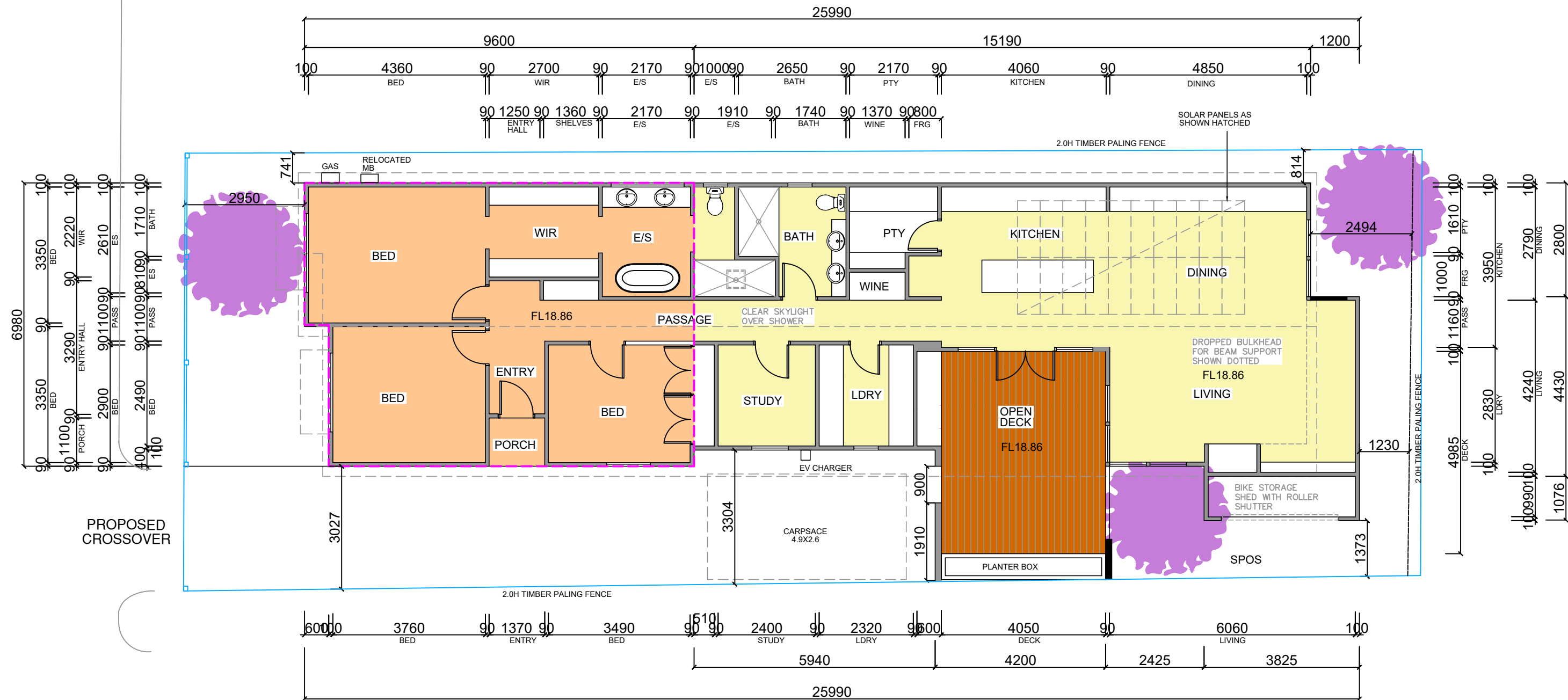
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Nadine Saad DPAD15566
kohe1415@bigpond.com
Mobile No. 0435848484

DRAWING

PROPOSED FLOOR PLAN

TOWN PLANNING DRAWINGS

NAME

PROPOSED RESIDENCE

49 STATION RD SEDDON

DATE
JUNE 2026

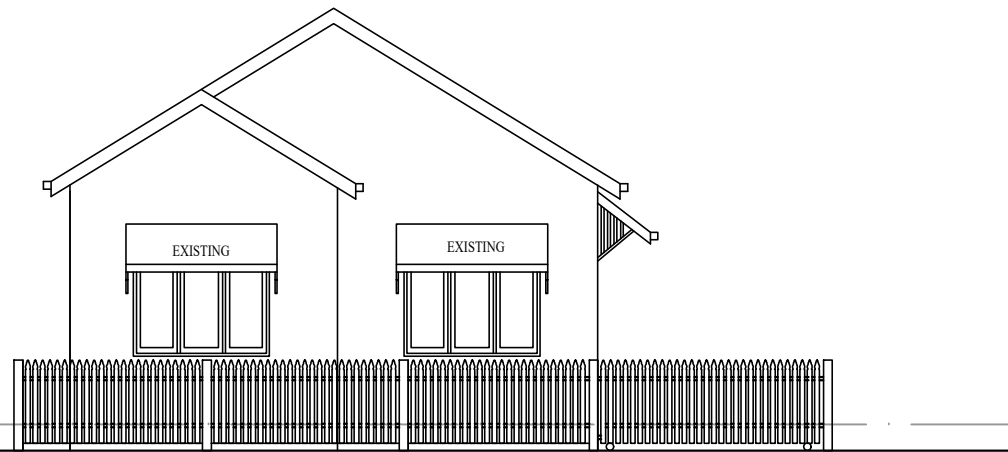
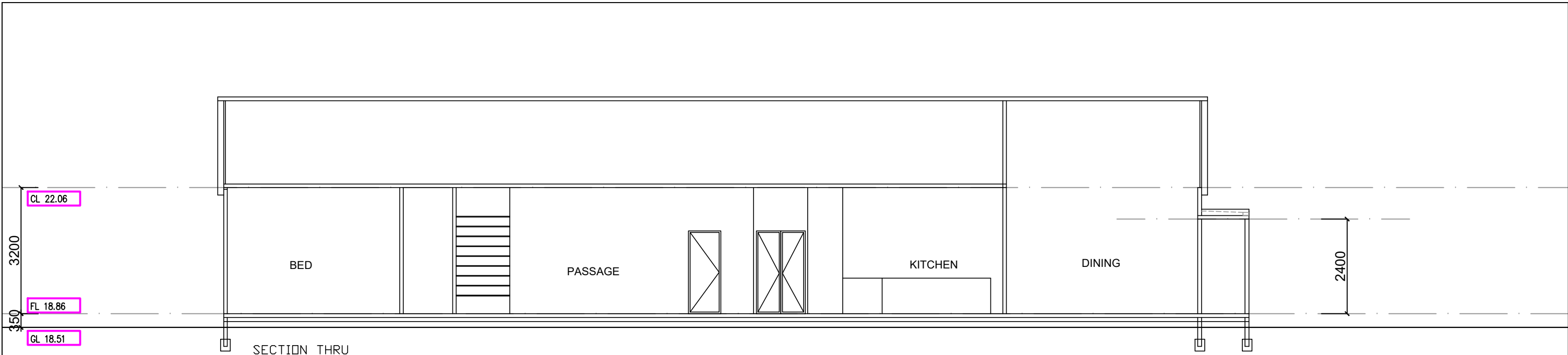
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A04





NORTH ELEVATION



PHOTO OF FRONT FENCE
TO BE DEMOLISHED

GENERAL NOTES:

CONCRETE:
ALL CONCRETE FOOTING AND SLAB WORKS SHALL COMPLY WITH AS 2870 RESIDENTIAL SLABS AND FOOTINGS PART 1 CONSTRUCTION IN THE ABSENCE OF ENGINEER'S DRAWINGS OR COMPUTATIONS

EXCAVATION:
EXCAVATE FOOTINGS AND DRAINS AS SHOWN KEEP EXCAVATIONS DRY & BACK FILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS

BRICK VENEER WALLS:
COMPLY WITH AS 3700 MASONRY IN BUILDINGS AND AS 2904 DAMP PROOF COURSES AND FLASHING. USE BRICK AS SELECTED AND M3 (1:1:6) MORTAR. USE FACE FIXING CAVITY TIES TO AVOID HOLES IN FOIL INSULATION MATERIAL

TIMBER FLOOR, WALL AND ROOF FRAMING:
ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND SUPPLEMENTARY TABLES
STEEL LINTELS TO EACH 10 BRICK SKIN OVERALL OPENINGS NOT OTHERWISE SPECIFIED (ALL EXTERNAL LINTELS TO BE HOT DIP GALV)

OPENINGS	SIZE	MATERIAL
UP TO 600	100 X 10	MS FLAT
UP TO 1800	100 X 100 (HORIZONTAL) X6	MS ANGLE
UP TO 2100	100 X 100 (HORIZONTAL) X8	MS ANGLE
UP TO 3000	150 X 100 (HORIZONTAL) X10	MS ANGLE

PROVIDE 150mm MIN. END BEARING TO ALL LINTELS (UP TO 2100)
OPENINGS GREATER THAN 2100 200mm MIN. BEARING

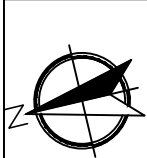
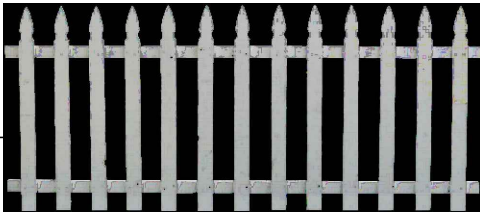
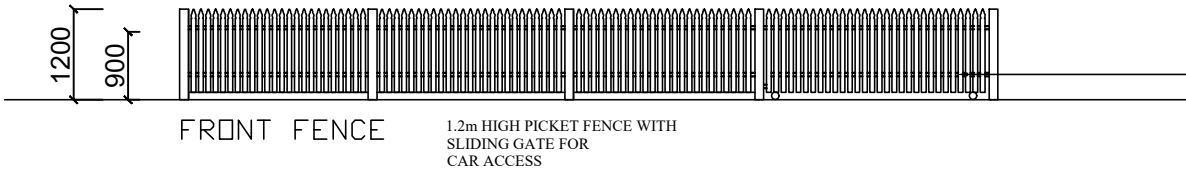
MASONRY CONTROL JOINTS:
PROVIDE MASONRY CONTROL JOINTS AS RECOMMENDED BY SOIL TEST REPORT AND IN STRICT ACCORDANCE WITH TECHNICAL NOTE C99 OF CEMENT AND CONCRETE ASSOCIATION OF AUSTRALIA (MAX.) AND PREFERABLY LOCATED BEHIND DOWNPIPES AND BESIDE FULL HEIGHT OPENINGS IN ACCORDANCE WITH TM61 OF THE CEMENT AND CONCRETE ASSOCIATION OF AUSTRALIA
ARTICULATION JOINTS TO HAVE FIRE RESISTANT SEALANT

TILING TO WET AREAS:
THE WALL OF SANITARY COMPARTMENTS (KITCHEN, LAUNDRY, WC, BATHROOMS AND DISHES) SHALL BE FINISHED WITH FULLY COMPRESSED FIBER CEMENT, WATERPROOF RENDER, CERAMIC TILE OR OTHER IMPERVIOUS FINISH

PLASTER:
PROVIDE 10mm THICK PLASTERBOARD TO WALLS AND CEILINGS. ALL WET AREAS SHALL HAVE AN APPROVED 20mm THICK W9 PLASTERBOARD OR HARDIES VILABOARD INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTION AND SPECIFICATIONS

DOWNPIPES AND BOX GUTTERS:
DOWNPIPES TO BE 100X50 COLORBOND AND GUTTERS, AND BOX GUTTERS TO BE 200X75 COLORBOND

STORMWATER:
STORMWATER DRAINS TO BE 90mm DIAMETER PVC WITH 1 IN 100 REQUIREMENTS AND TO THE SATISFACTION OF THE CITY ENGINEER. MIN. FALL TO LEGAL POINT OF DISCHARGE AS PER LOCAL COUNCIL. INS. FALL INSPECTION OPENINGS AT EACH CHANGE OF DIRECTION AT 5.0m MAX. SPACING TO STRAIGHT RUNS. ALL STORMWATER TO COMPLY WITH AS 3500 AND PART 3.1.2 OF THE BCA

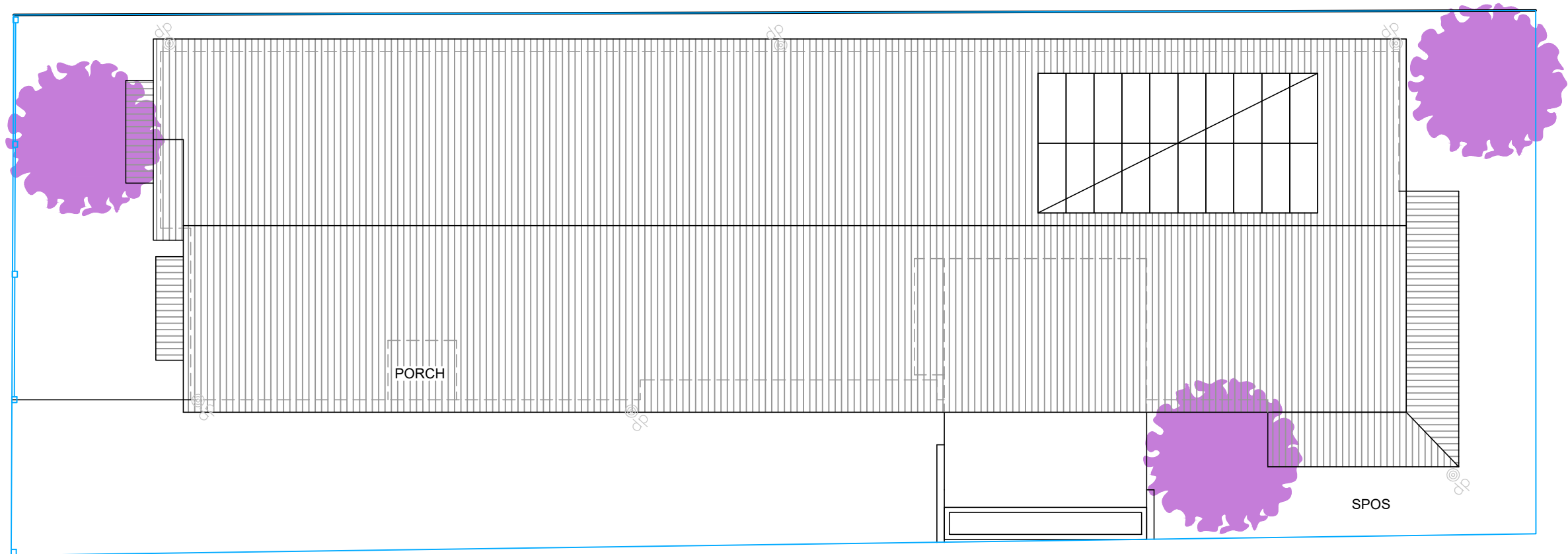


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DRAWING
SECTION & DETAILS
FRONT FENCE
TOWN PLANNING DRAWINGS

NAME
PROPOSED RESIDENCE
49 STATION RD SEDDON

DATE
JUNE 2026
DRAWN BY
NS
SCALE
1:100
JOB NO
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SHEET NO
A06



DRAINAGE NOTES
DOWNPIPES CONNECTED INTO DRAINAGE LINE.

DRAINAGE LAID TO A MIN. GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF DISCHARGE.

DOWNPIPES @12MTRS. MAX. CTS. WITH A MIN. COVER OF 150mm.
150UPVC DIA DOWNPIPES AS PER ENGINEERS SPECS UNLESS OWNER
REQUIRES OTHER as per AS 3500.

ALL GUTTERS ON BOUNDARY MUST BE NON COMBUSTIBLE CONSTRUCTION

NOTE:

1. CONTRACTOR SHALL HAVE A PLUMBERS LICENCE WITH WORKMANSHIP WARRANTY AS PER THE PLUMBING INDUSTRY BOARD & MINISTERIAL ACT REQUIREMENTS.

2. ALL STORMWATER WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS3500 3.2/1988.

3. ALL SURFACE R.L.'s AND INVERT PIPES LEVELS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING.

4. ALL PIPE MATERIALS SHALL BE D.W.V. (SEWER GRADE) AND NOMINATED SIZES USED IN ACCORDANCE WITH THE HYDRAULIC PLAN PROVIDED.

5. CRUSHED ROCK CLASS 2 - 20mm AGGREGATE SHALL BE USED FOR ALL TRENCH BEDDING.

6. ALL TRENCHES TO BE BACKFILLED WITH CLASS 2 - 20mm AGGREGATE IN COMPACTED LAYERS.

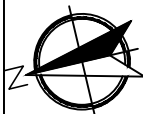
7. ALL GRATED TRENCHES SHALL BE OF HEAVY DUTY MATERIAL.

8. STAND-OFF BRACKETS SHALL BE USED AT 2-0m INTERVALS FOR ALL DOWNPIPES.

9. A ROAD OPENING PERMIT SHALL BE OBTAINED BY CONTRACTOR PRIOR TO WORKS COMMENCING.

10. ALL STORM WATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE.

RAINHEADS WITH OVERFLOW INSTALLED NEED TO MEET UPDATED VBA REQUIREMENTS FOR RAINHEADS INSTALLED AFTER 30/7/21. RAINHEADS OVERFLOW TO BE IN ACCORDANCE WITH FIGURE 5.3.1 (A) OF SA HB 39.



Nadine Saad DPAD15566
kohe1415@bigpond.com
Mobile No. 0435848484

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DRAWING

ROOF PLAN

TOWN PLANNING DRAWINGS

NAME

PROPOSED RESIDENCE

49 STATION RD SEDDON

DATE

JUNE 2026

DRAWN BY

NS

SCALE

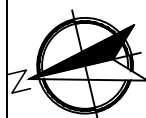
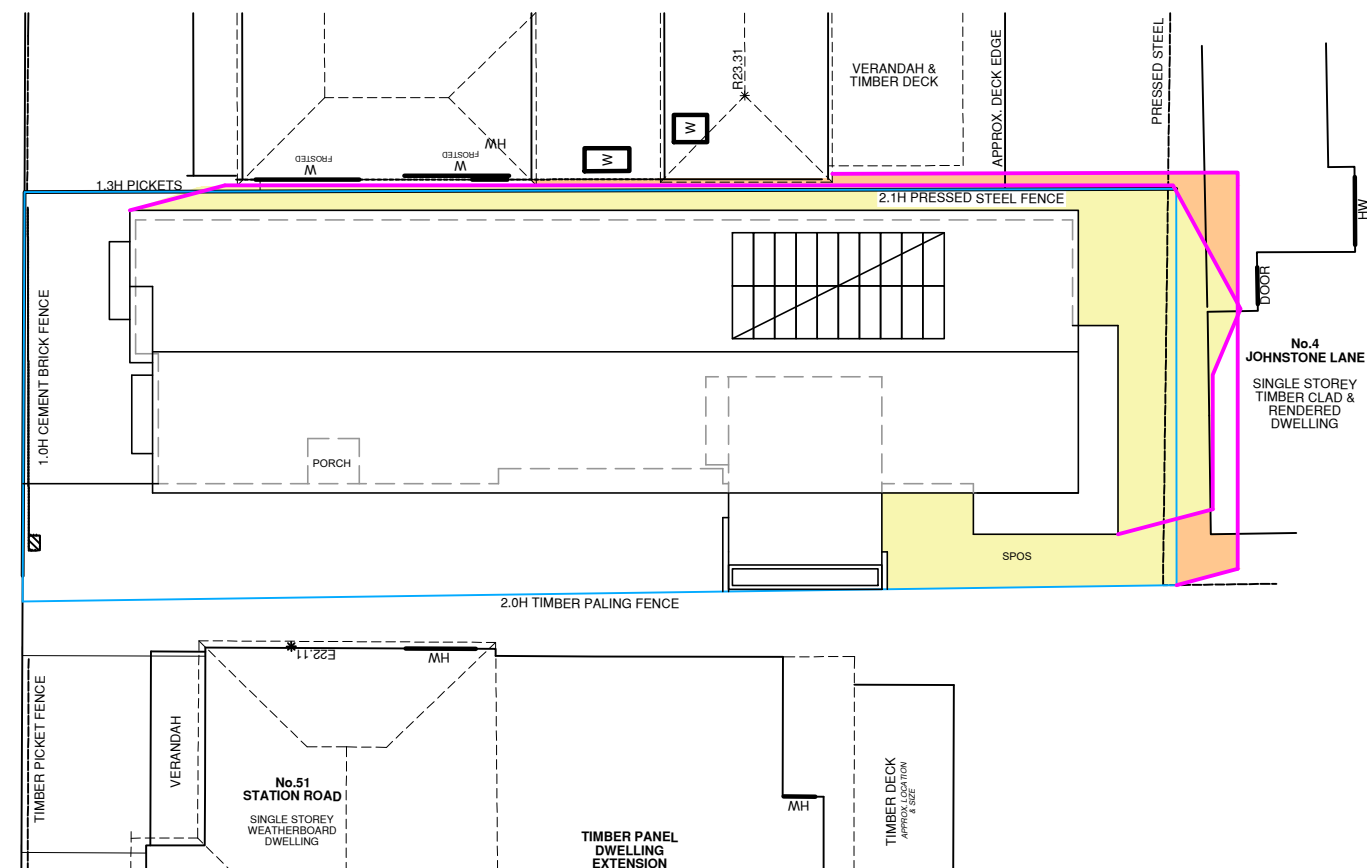
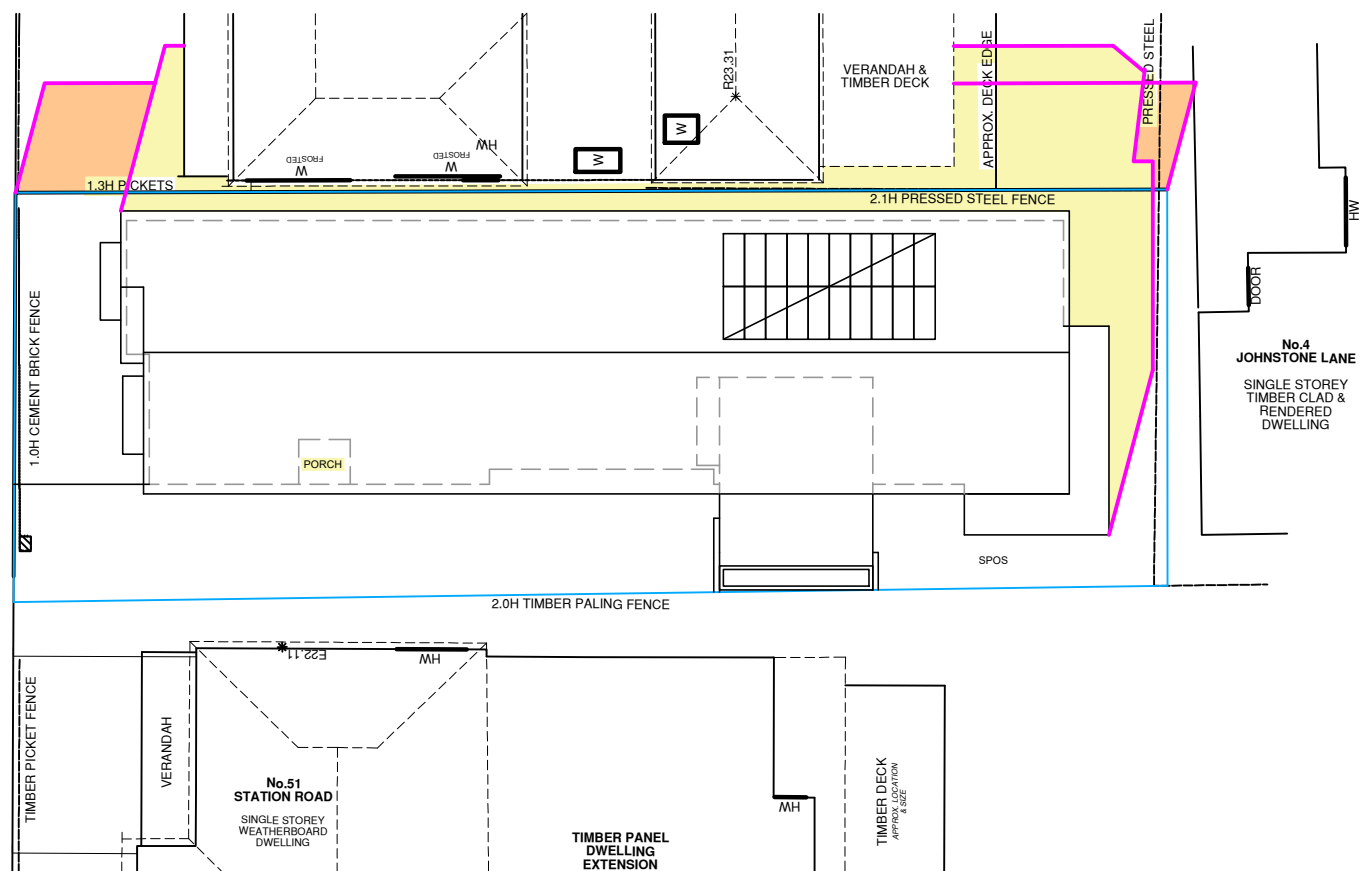
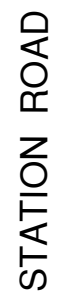
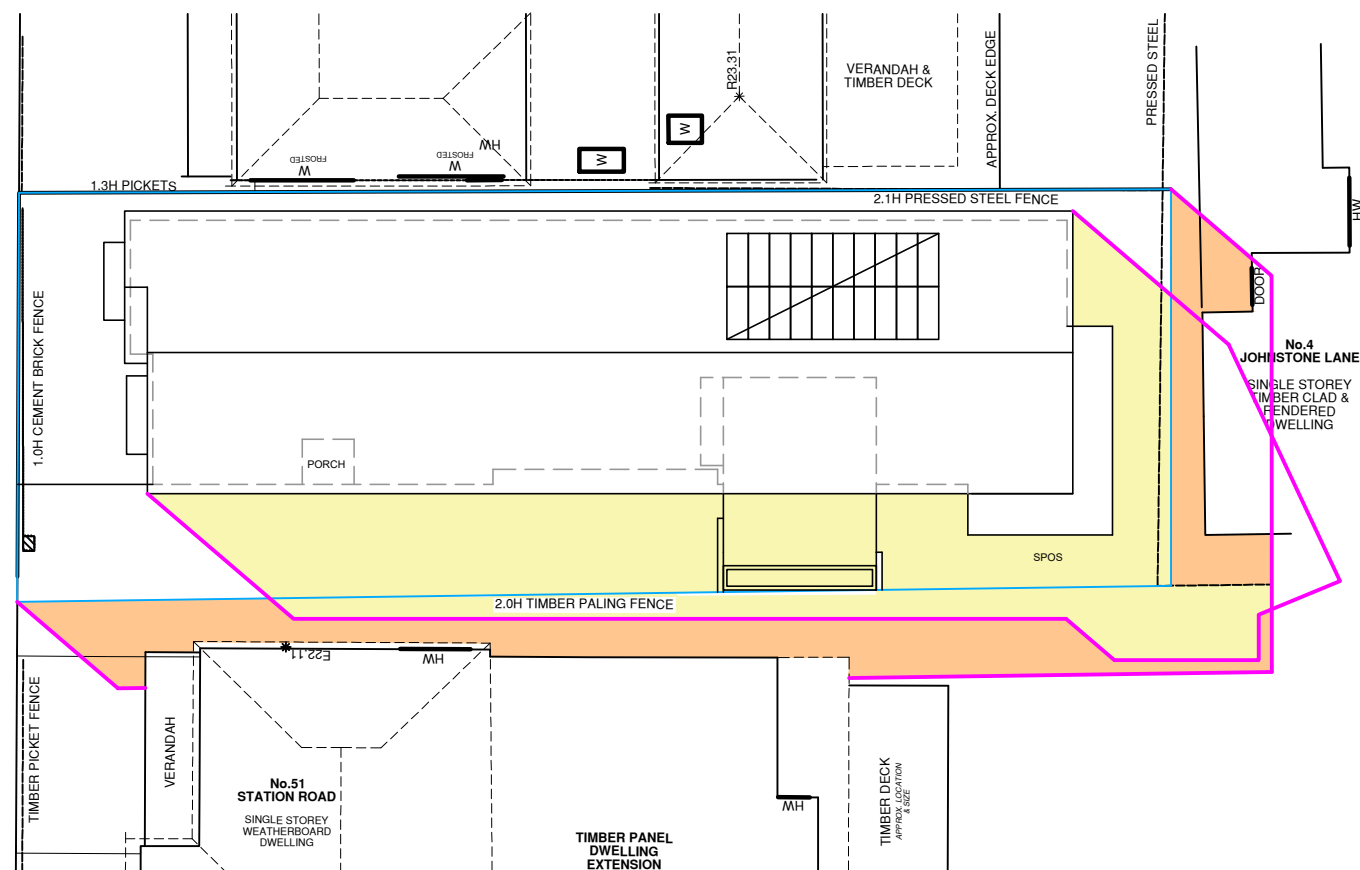
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JOB NO

DDS 26.01

SHEET NO

A07



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3pm SEPTEMBER EQUINOX

9am SEPTEMBER EQUINOX

12noon SEPTEMBER EQUINOX

	DRAWING
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SHADOW DIAGRAMS

TOWN PLANNING DRAWINGS

	NAME
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PROPOSED RESIDENCE

49 STATION RD SEDDON

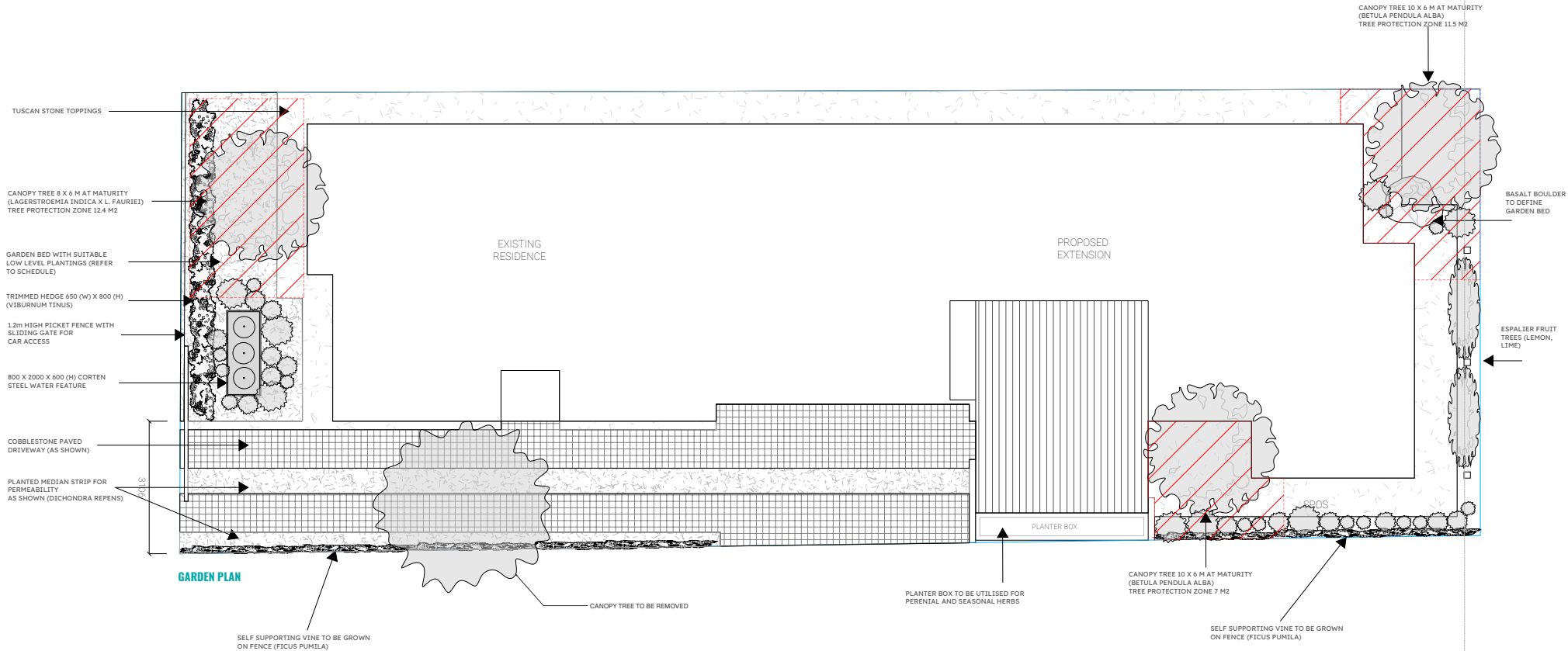
DATE	JUNE 2026
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PLANT SCHEDULE

Note: Tree sizes provided are referenced from Flemings Nurseries. Sizes included in tree description.

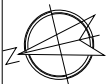
LOW LEVEL PLANTINGS

Aspidistra elatior (Cast Iron Plant) 600 mm H/W
Bergenia x schmidtii (Elephants Ear) 450 mm H/W
Daphne x transatlantica (Daphne Eternal) 600 (H) X 800 (W)
Orthrosanthus multiflorus (Morning Flag Iris) 600 (H) X 400 (W)

ADDITIONAL NOTES

76 m2 (23.5%) of land is allocated to permeable surfaces.

1 X tree Canopy tree to be removed from front western fence line of lot. 3 X Canopy Trees to be planted as replacements as per requirements. The tree substantially encroaches on the neighbors property and is not suitable for the site. 1 X large Nerium Oleander plant approx 3m (H) X 5m (W) to be removed from rear western side of lot. The plant has high toxicity and is not suitable for the site.



Nadine 0800 014015/058
kaho1415@bigpond.com
Mobile No. 0435848484

OWNER MUST SIGN/DRAWING

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DRAWING

**GARDEN PLAN
FRONT FENCE**

TOWN PLANNING DRAWINGS

NAME

PROPOSED RESIDENCE

49 STATION RD SEDDON

DATE
FEBRUARY 2025

DRAWN BY
NS

SCALE
1:100

JOB NO
005 25.01

SHEET NO
A07