Project Information

Job No. 1064 Town Planning Drawings Ver.02 (A3 Sheet Size - To Scale) Date 25/06/25

DOCUMENTATION ISSUE

PLANNING (NOT FOR CONSTRUCTION)

PRELIMINARY (NOT FOR CONSTRUCTION)

TENDER (NOT FOR CONSTRUCTION)

CONSTRUCTION

PROPOSED ALTERATIONS & ADDITIONS

At: 4 Windsor Street, Footscray 3011

For: Joshua Moore

CITY OF MARIBYRNONG

ADVERTISED PLAN



LMD Design & Drafting Pty Ltd

TOWN PLANNING DRAWINGS

TP01 - Neighbourhood & Site Description

TP02 - Existing Site / Ground Floor Plan

TP03 - Existing Ground Floor Plan

TP04 - Design Response / Ground Floor Plan

TP05 - Proposed Ground Floor Plan

TP06 - Proposed Elevations

TP07 - Proposed Elevations

TP08 - Proposed 9am Shadow Plan

TP09 - Proposed 12pm Shadow Plan

TP10 - Proposed 3pm Shadow Plan

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REV.	REV. DESCRIPTION					

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Ver.02 Town Planning

DOCUMENTATION ISSUE

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TENDER (NOT FOR CONSTRUCTION) CONSTRUCTION

GENERAL NOTES -

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JOB NO	DRAWN BY -
1064	AS

Additions to an Existing Dwelling

ADDRESS -4 Windsor Street, Footscray VIC 3011

PROJECT -Proposed Alterations &

FOR -

SHEET SIZE -

Joshua Moore

SCALE -

DRAWING -Contents Sheet DRAWING NO. -

DATE -

25/06/2024

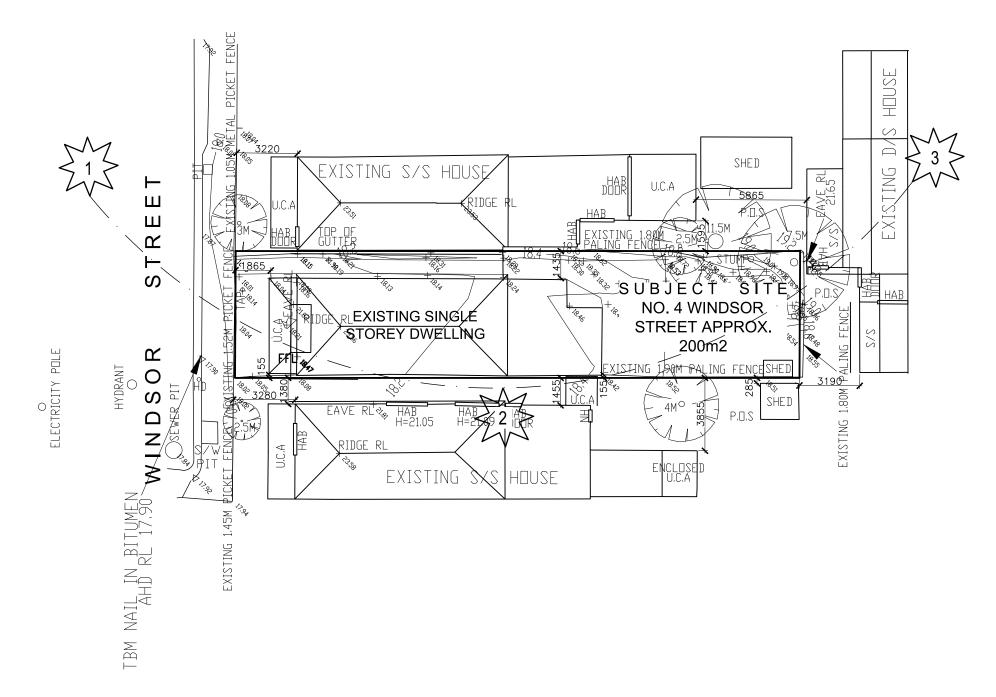
DESIGNER -

LMD Design & Drafting Pty Ltd

BUILDER -TBC

A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 P: 0474696795 E:luke@lmddesign.com.au

DESIGN & DRAFTING



NEIGHBOURHOOD & SITE DESCRIPTION -SCALE 1:200

Sun Risers.

2. Path of Suns Travel- East to West.

REVISIONS						
REV. DESCRIPTION BY C						

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Ver.02 Town Planning

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JOB NO	DRAWN BY -	SCALE -
1064	AS	1:200

ADDRESS -4 Windsor Street, Footscray VIC 3011

> PROJECT -Proposed Alterations & Additions to an Existing Dwelling

1:200 NO. - TP01 FOR -DESIGNER -LMD Design & Drafting Pty Ltd Joshua Moore DRAWING -BUILDER -

Neighbourhood & Site

Description

SHEET SIZE -

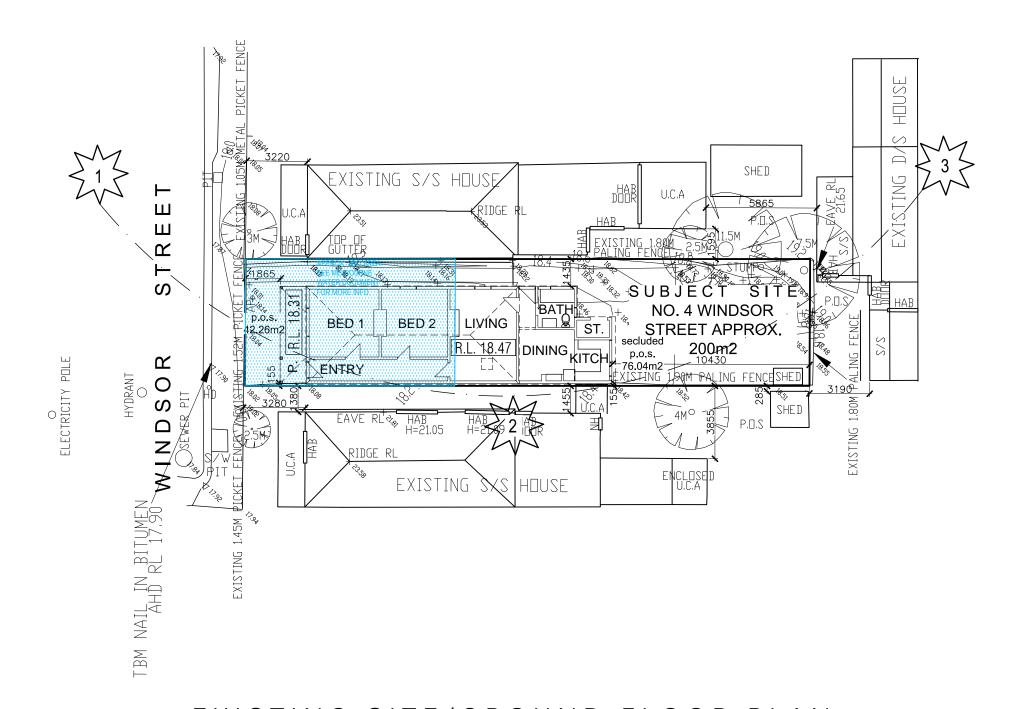
DRAWING

TBC

DATE -

25/06/2024





area analysis:

Existing Dwelling:

site area: 200m2 (approx.) site coverage: 88.18m2 44.09% site permeability: 108.32m2 54.16%

existing -

ground floor: 79.68m2 8.57sq porch: 7.16m2 0.77sq shed: 1.34m2 0.14sq total built area: 88.18m2 9.49sq secluded p.o.s: 76.04m2 p.o.s: 42.26m2

total p.o.s: 118.30m2

REVISIONS REV. DESCRIPTION BY DATE

PLANNING (NOT FOR CONSTRUCTION)

TENDER (NOT FOR CONSTRUCTION)

CONSTRUCTION

PRELIMINARY (NOT FOR CONSTRUCTION)

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EXISTING SITE/GROUND FLOOR PLAN -SCALE 1:200

Ver.02 Town Planning	GENERAL NOTES -		JOB NO	DRAWN BY -	SCALE -	SHEET SIZE -	DRAWING	DATE -
VCI.OZ TOWITT Idillillig	Do not scale drawings, use written	to the office of LMD Design & drafting	1064	AS	1:200	A3	NO TP02	25/06/2024
DOCUMENTATION ISSUE	dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and	for clarification. These drawings are neither exhaustive	ADDRESS		FOR -		DESIGNER -	ofting Dt. Ltd

Proposed Alterations &

Additions to an Existing Dwelling

all engineering documentation where Check and verify all dimensions and details on site prior to the commencement of any works, and

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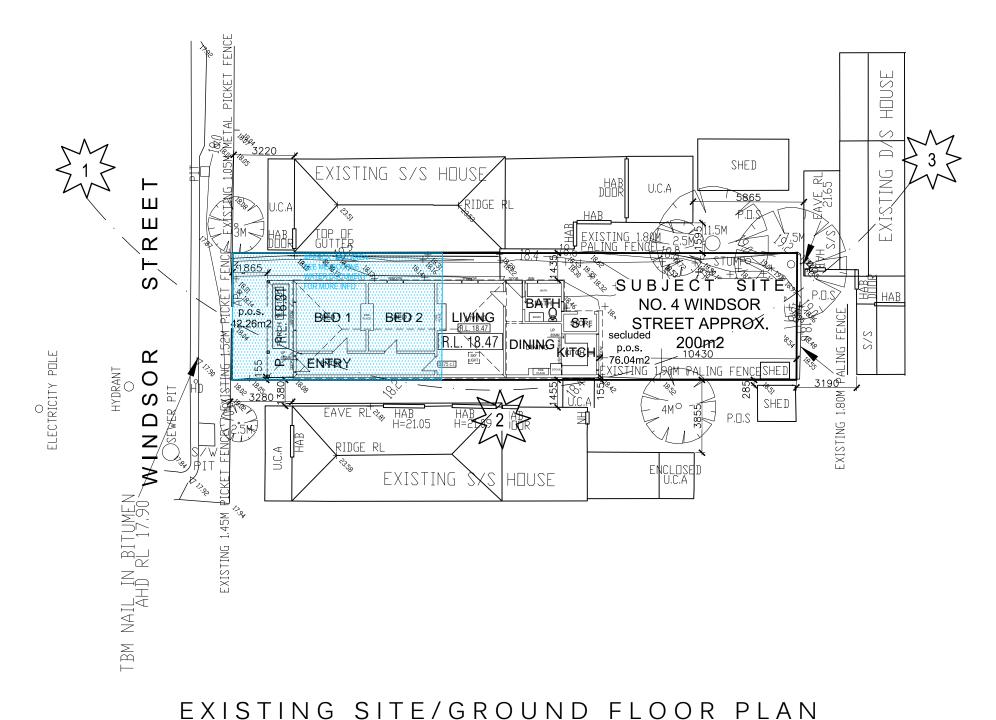
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1064 AS	1:200	A3	NO TP02	25/06/2024
ADDRESS -	FOR -		DESIGNER -	
4 Windsor Street,	Joshua Moor	е	LMD Design & Dra	afting Pty Ltd
Footscray VIC 3011	DRAWING	-	BUILDER -	
PROJECT -	Existing Site /	Ground Floor Plan	TBC	





2. Path of Suns Travel- East to West.



area analysis:

Existing Dwelling:

site area: 200m2 (approx.) site coverage: 88.18m2 44.09% site permeability: 108.32m2 54.16%

existing -

ground floor: 79.68m2 8.57sq porch: 7.16m2 0.77sq shed: 1.34m2 0.14sq total built area: 88.18m2 9.49sq secluded p.o.s: 76.04m2 p.o.s: 42.26m2

total p.o.s: 118.30m2

Ver.02 Town Planning

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JOB NO. -DRAWN BY -1064 AS

ADDRESS -4 Windsor Street,

Footscray VIC 3011 PROJECT -

-SCALE 1:200

DRAWING -Existing Site/Ground Floor Plan Proposed Alterations & Additions to an Existing Dwelling

SCALE -

1:200

FOR -

Joshua Moore

SHEET SIZE

DRAWING

NO. - WD02

BUILDER -

TBC

DESIGNER -

2. Path of Suns Travel- East to West.

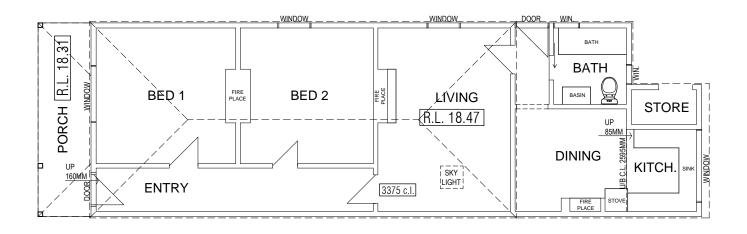
Sun Risers.

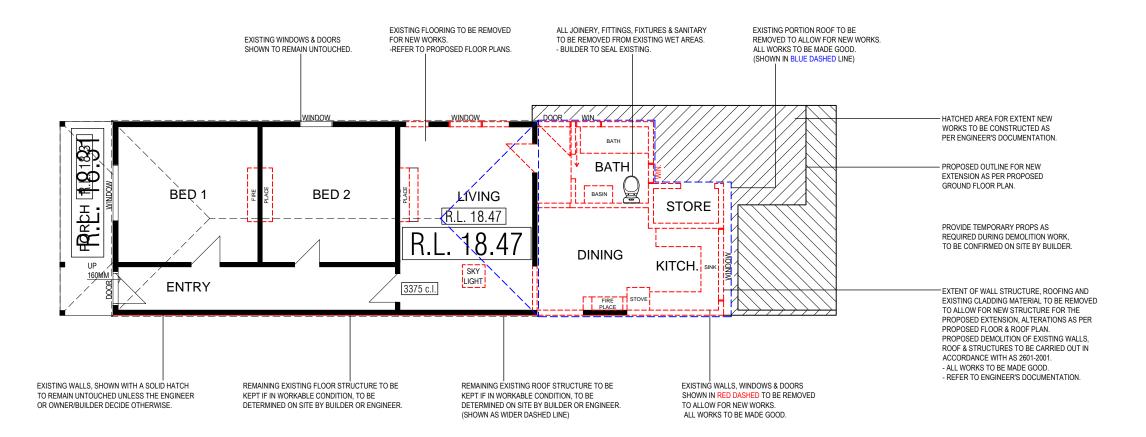
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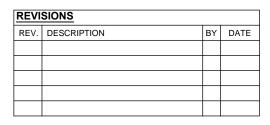








EXISTING GROUND FLOOR & DEMOLITION PLAN -SCALE 1:100



area analysis:

site area: 200m2 (approx.) site coverage: 88.18m2 44.09%

site permeability: 108.32m2 54.16%

ground floor: 79.68m2 8.57sq porch: 7.16m2 0.77sq shed: 1.34m2 0.14sq

total built area: 88.18m2 9.49sq

secluded p.o.s: 76.04m2

total p.o.s: 118.30m2

p.o.s: 42.26m2

Existing Dwelling:

existing -

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GENERAL NOTES -Ver.02 Town Planning **DOCUMENTATION ISSUE** PLANNING (NOT FOR CONSTRUCTION) PRELIMINARY (NOT FOR CONSTRUCTION)

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	JOB NO	DRAWN BY -	SCALE -	SHEET SIZE -	DRAWING	DATE -
ı	1064	AS	1:100	A3	NO TP03	25/06/2024
	ADDRESS	-	FOR -		DESIGNER -	
	4 Windsor Str		Joshua Moore	e	LMD Design & Dra	afting Pty Ltd
	Footscray VIC	3011	DRAWING	-	BUILDER -	
	PROJECT -		Existing Grou	nd Floor &	TBC	
	Proposed Alte		Demolition Pl	an		
	Additions to a	an Existina Dwellina l				





IN WORKABLE CONDITION TO BE DETERMINED ON SITE BY BUILDER OR ENGINEER. EXISTING FLOORING TO BE REMOVED FOR NEW WORKS.
-REFER TO PROPOSED FLOOR PLANS. REMAINING EXISTING ROOF STRUCTURE -TO BE KEPT IF IN WORKABLE CONDITION, TO BE DETERMINED ON SITE BY BUILDER OR ENGINEER. (SHOWN AS WIDER DASHED LINE) EXISTING WALLS, WINDOWS & DOORS SHOWN IN RED DASHED TO BE REMOVED TO ALLOW FOR NEW WORKS. EXISTING WALLS, SHOWN WITH A SOLID HATCH TO REMAIN UNTOUCHED UNLESS EXTENT OF WALL STRUCTURE, ROOFING AND THE ENGINEER OR OWNER/BUILDER EXISTING CLADDING MATERIAL TO BE REMOVED - TO ALLOW FOR NEW STRUCTURE FOR THE DECIDE OTHERWISE. PROPOSED EXTENSION, ALTERATIONS AS PER PROPOSED FLOOR & ROOF PLAN. PROPOSED DEMOLITION OF EXISTING WALLS, ROOF & STRUCTURES TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001. - ALL WORKS TO BE MADE GOOD - REFER TO ENGINEER'S DOCUMENTATION PROVIDE TEMPORARY PROPS AS REQUIRED DURING DEMOLITION WORK TO BE CONFIRMED ON SITE BY BUILDER. HATCHED AREA FOR EXTENT NEW WORKS TO BE CONSTRUCTED AS EXISTING WINDOWS & DOORS PER ENGINEER'S DOCUMENTATION. SHOWN TO REMAIN UNTOUCHED. PROPOSED OUTLINE FOR NEW EXTENSION AS PER PROPOSED GROUND FLOOR PLAN. EXISTING ROOF TO BE REMOVED TO ALL JOINERY, FITTINGS, FIXTURES & SANITARY TO BE REMOVED FROM EXISTING ALLOW FOR NEW WORKS.
ALL WORKS TO BE MADE GOOD. WET AREAS (EXCLUDING SHOWER). (SHOWN IN BLUE DASHED LINE) - BUILDER TO SEAL EXISTING.

REMAINING EXISTING FLOOR

PROPOSED GROUND FLOOR DEMOLITION PLAN -SCALE 1:100

REVISIONS					
REV.	DESCRIPTION	BY	DATE		

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Ver.02 Town Planning

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JOB NO. - DRAWN BY -1064 AS

ADDRESS -4 Windsor Street,

Footscray VIC 3011 PROJECT -Proposed Alterations & Additions to an Existing Dwelling

SCALE -1:100

Joshua Moore

DRAWING -

Demolition Plan

Proposed Ground Floor

FOR -

А3

SHEET SIZE -DRAWING

NO. - WD04 DESIGNER -

BUILDER -

TBC

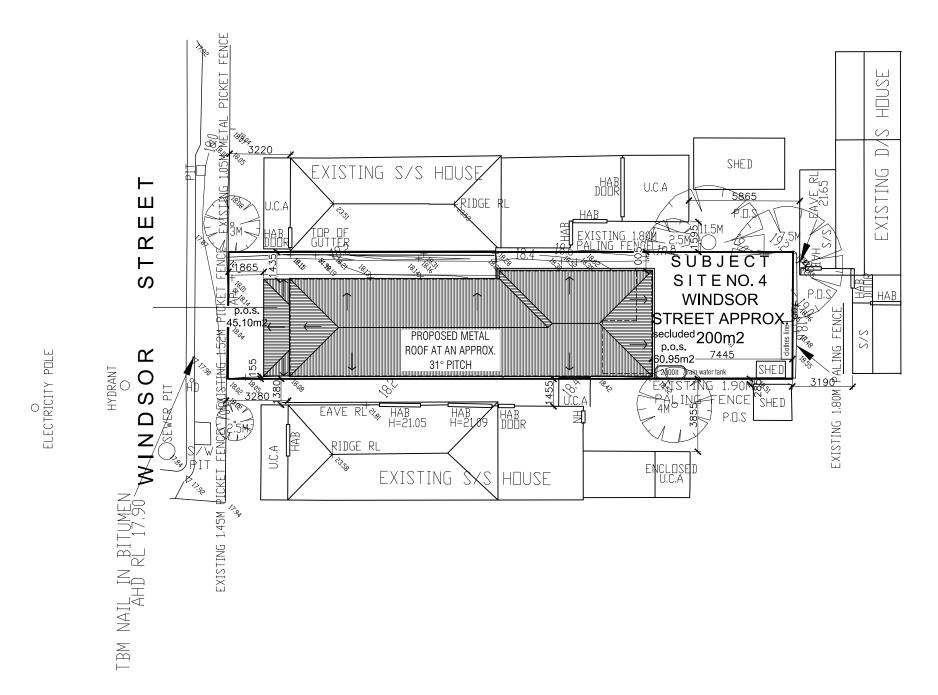
25/06/2024

DATE -



NORTH





PROPOSED SITE/ROOF PLAN -SCALE 1:200

REVISIONS REV. DESCRIPTION BY DATE

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Ver.02 Town Planning

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JOB NO. -DRAWN BY -AS 1064

ADDRESS -4 Windsor Street, Footscray VIC 3011

PROJECT -Proposed Alterations & Additions to an Existing Dwelling

SCALE -SHEET SIZE DRAWING 1:200 А3 FOR -

DRAWING -

LMD Design & Drafting Pty Ltd Joshua Moore **BUILDER** -TBC Proposed Site/Roof Plan

NO. - WD05

DESIGNER -

ROOF NOTES:

DATE -

25/06/2024

PROPOSED STORMWATER DRAINAGE LAYOUT AS SHOWN, WITH MIN.100MM DIA. PVC PIPES SET MIN. 200MM BELOW SURFACE LEVEL, AT MIN. FALL TO BE CONNECTED TO EXISTING STORMWATER PIPE LAYOUT. TO BE DISBURSED TO THE LEGAL POINT OF DISCHARGE AS PER AS 3500.3.1—2021 -BUILDER/DRAINAGE CONTRACTOR TO CONFIRM SIZE, TYPE, OFFSETS & DEPTHS OF EXISTING STORMWATER PIPES PRIOR TO

ALL ROOF STRUCTURE/S AS PER ENGINEERS DESIGN &

WATER TO BE CARRIED THROUGH DP'S INTO DRAINAGE SYSTEM, AND DISBURSED TO LEGAL POINT OF DISCHARGE (Typ).

PROPOSED 90MM MIN. DIA. DOWNPIPES TO PROPOSED ROOF, TO BE DISTRIBUTED INTO THE PROPOSED STORMWATER LAYOUT AT GROUND LEVEL

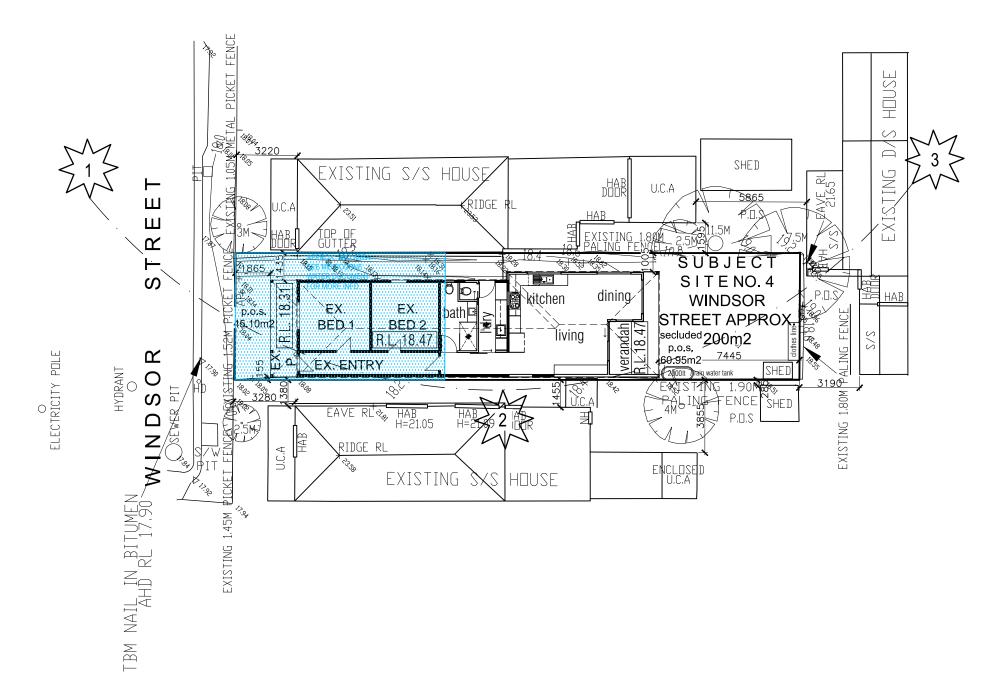
SELECTED FLASHING & RIDGE CAPPING FOR WATERPROOFING REQUIREMENTS TO ALL FIXING/CONNECTION POINTS (Typ.)

PROPOSED METAL SHEET ROOF TO DWELLING AT AN APPROX. 31° PITCH, WITH A FASCIA & GUTTER TO MATCH EXISTING.

EXISTING TILED ROOF AT AN APPROX. 14° FALL, WITH EXISTING FASCIA & GUTTER.



A: 'Regus' Lower Heidelberg Rd. Heidelberg VIC 3084 P: 0474696795 E:luke@lmddesign.com.au



proposed -

area analysis:

Existing Dwelling:

site area: 200m2 (approx.) site coverage: 109.92m2 54.96% site permeability: 87.79m2 43.89%

ground floor: 92.08m2 9.91sq existing porch: 7.16m2 0.77sq verandah: 9.34m2 1.00sq existing shed: 1.34m2 0.14sq total built area: 109.92m2 11.83sq secluded p.o.s: 60.95m2 p.o.s: 45.10m2

total p.o.s: 106.05m2

DE1/(0101)

DESIGN RESPONSE / GROUND FLOOR PLAN -SCALE 1:200

rainwater tank to be connected to all sanitry - flushing systems

1.	Sun Risers.
2.	Path of Suns Travel- East to West.

REVISIONS				
DESCRIPTION	BY	DATE		
	DESCRIPTION			

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JOB NO	DRAWN BY -
1064	AS

ADDRESS -
4 Windsor Street,
Footscrav VIC 3011

·
PROJECT -
Proposed Alterations &
Additions to an Existing Dwelling

Plan

	SCALE -	SHEET SIZE -	DRAWING	DATE -
	1:200	A3	NO TP04	25/06/2024
FOR -		DESIGNER -		
Joshua Moore		LMD Design & Drafting Pty Ltd		
	DRAWING - Design Response / Ground Floor		BUILDER - TBC	



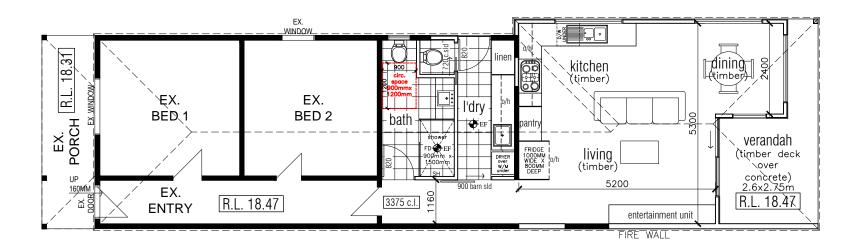


WALL LEGEND -

existing wall to remain (solid hatch)

proposed (framing) wall

proposed (cladding) wall



area analysis:

Existing Dwelling:

site area: 200m2 (approx.) site coverage: 109.92m2 54.96% site permeability: 87.79m2 43.89%

proposed

ground floor: 92.08m2 9.91sq existing porch: 7.16m2 0.77sq verandah: 9.34m2 1.00sq existing shed: 1.34m2 0.14sq total built area: 109.92m2 11.83sq secluded p.o.s: 60.95m2 p.o.s: 45.10m2

total p.o.s: 106.05m2

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PROPOSED GROUND FLOOR PLAN -SCALE 1:100

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JOB NO. - DRAWN BY -1064 AS

ADDRESS -4 Windsor Street, Footscray VIC 3011

PROJECT -Proposed Alterations & Additions to an Existing Dwelling

SCALE -SHEET SIZE -1:100

FOR -Joshua Moore

LMD Design & Drafting Pty Ltd DRAWING -BUILDER -TBC Proposed Ground Floor Plan

DRAWING

NO. - TP05

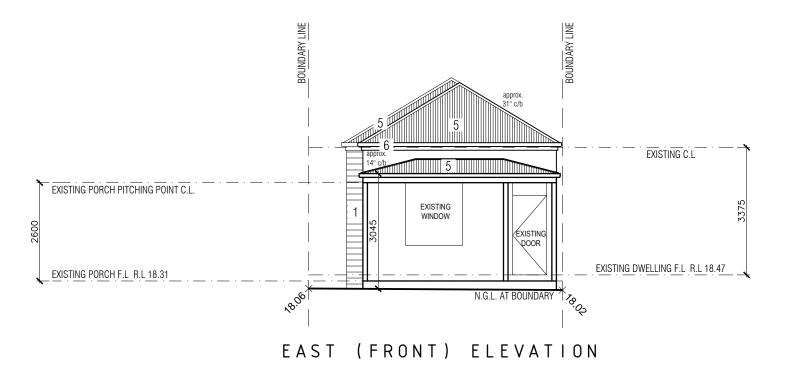
DESIGNER -

DATE -

25/06/2024

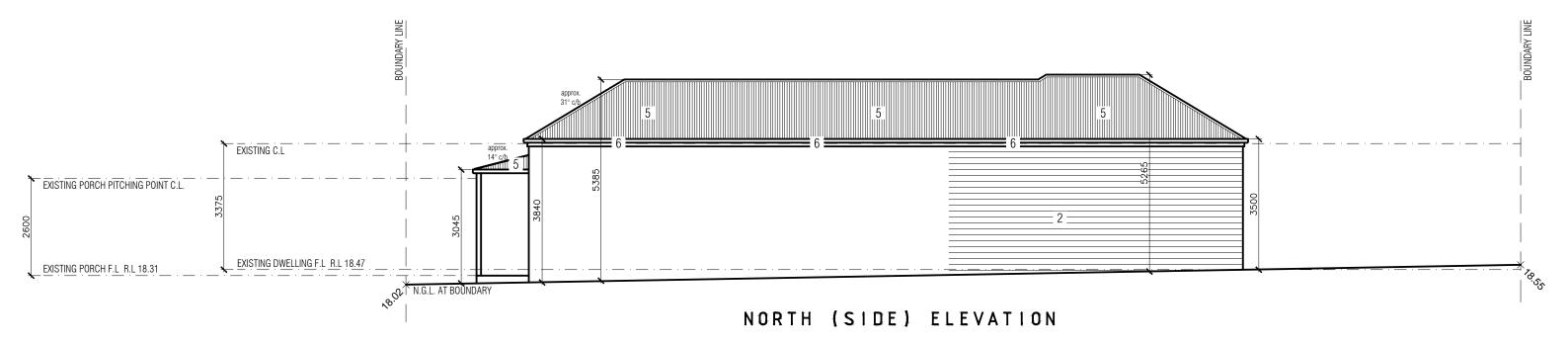






schedule of materials and finishes

- 1. walls weatherboard 'blue grey to match existing'
- 2. walls firewall 'linea weatherboard or equally approved 'blue grey to match existing'
- 3. windows & doors timber frame 'classic cream to match existing'
- 4. post timber natural finish
- 5. roof colorbond 'shale grey'
- 6. gutter, fascia & down pipes fascia colorbond 'classic cream to match existing'
- 7. deck timber natural stained finish



PROPOSED ELEVATIONS -SCALE 1:100



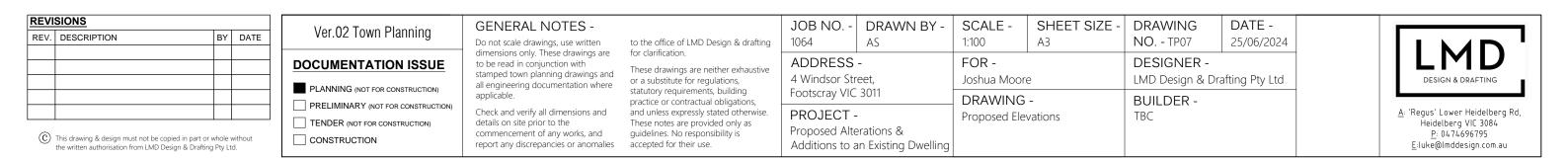


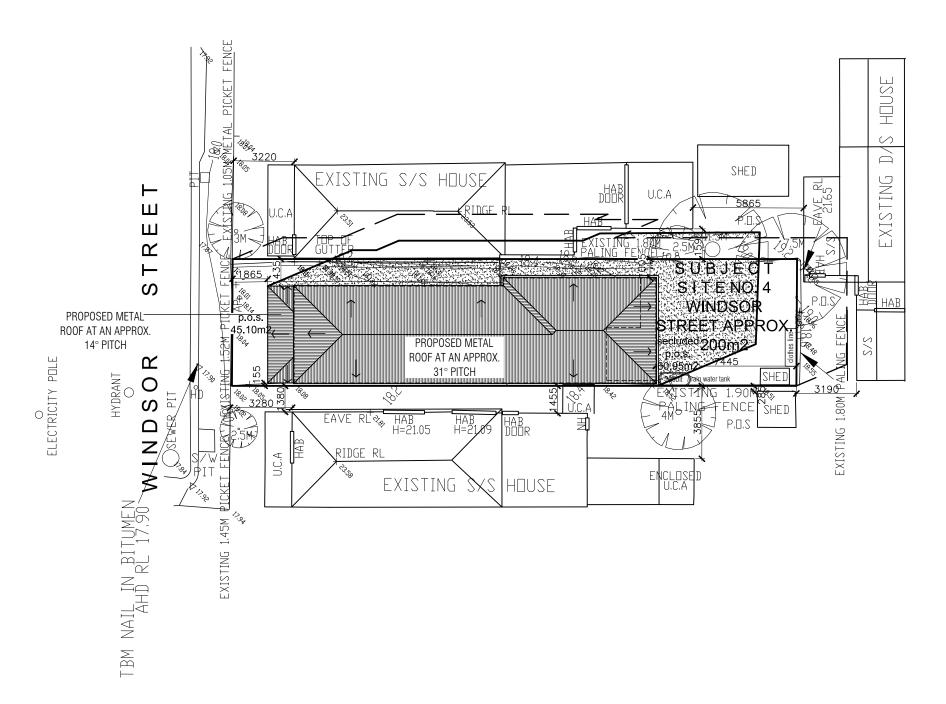
schedule of materials and finishes

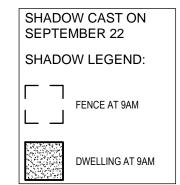
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- 2. walls firewall 'linea weatherboard or equally approved 'blue grey to match existing'
- 3. windows & doors timber frame 'classic cream to match existing'
- 4. post timber natural finish
- 5. roof colorbond 'shale grey'
- 6. gutter, fascia & down pipes fascia colorbond 'classic cream to match existing'
- 7. deck timber natural stained finish



PROPOSED ELEVATIONS -SCALE 1:100







PROPOSED 9AM SHADOW PLAN -SCALE 1:200

REVI	REVISIONS			
REV.	DESCRIPTION	BY	DATE	

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Ver.02 Town Planning	GENERAL NOTES -		
vor.oz rowii i lailillig	Do not scale drawings, use written		
OCUMENTATION ISSUE	dimensions only. These drawings are to be read in conjunction with		

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TENDER (NOT FOR CONSTRUCTION)

CONSTRUCTION

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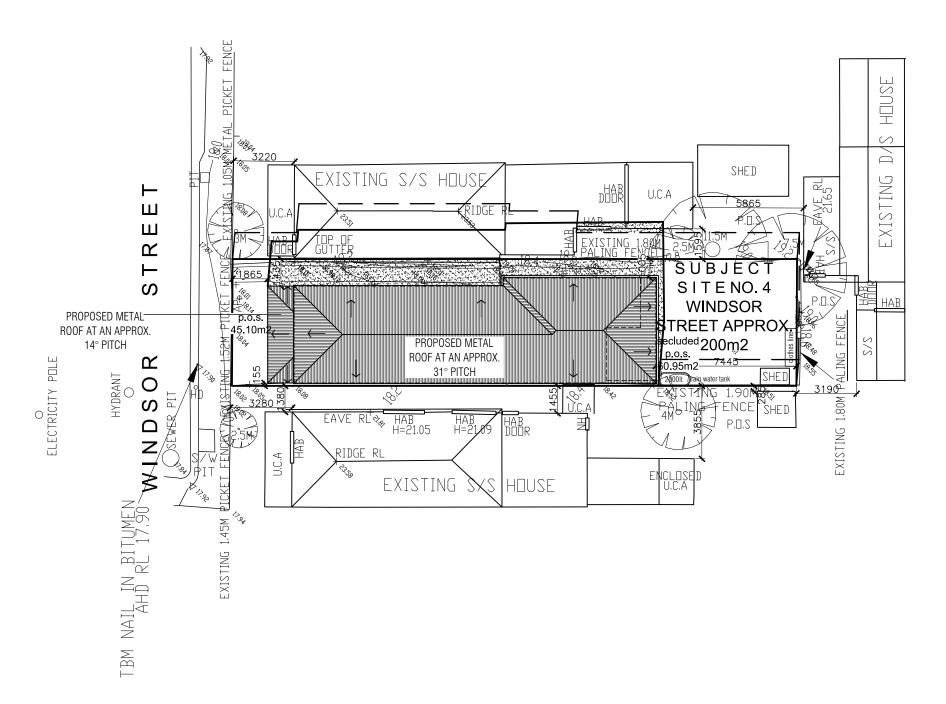
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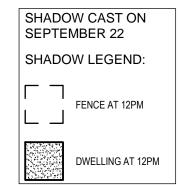
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ıg	JOB NO 1064	DRAWN BY - AS	SCALE - 1:100	SHEET SIZE - A3	DRAWING NO TP08	DATE - 25/06/2024	
e	ADDRESS	-	FOR -		DESIGNER -		
C	4 Windsor Street,		Joshua Moore		LMD Design & Drafting Pty Ltd		
	Footscray VIC 3011		DRAWING	-	BUILDER -		
2.	PROJECT -		Proposed 9ar	n Shadow Plan	TBC		
	Proposed Alte Additions to a	erations & an Existing Dwelling	·				







PROPOSED 12PM SHADOW PLAN-SCALE 1:200

REVI	REVISIONS			
REV.	DESCRIPTION	BY	DATE	

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Ver.02 Town Planning	GENERAL NOTES -	
ver.oz rowiri iailillig	Do not scale drawings, use written	
DOCUMENTATION ISSUE	dimensions only. These drawings ar to be read in conjunction with	

TENDER (NOT FOR CONSTRUCTION)

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DOCUMENTATION ISSUE

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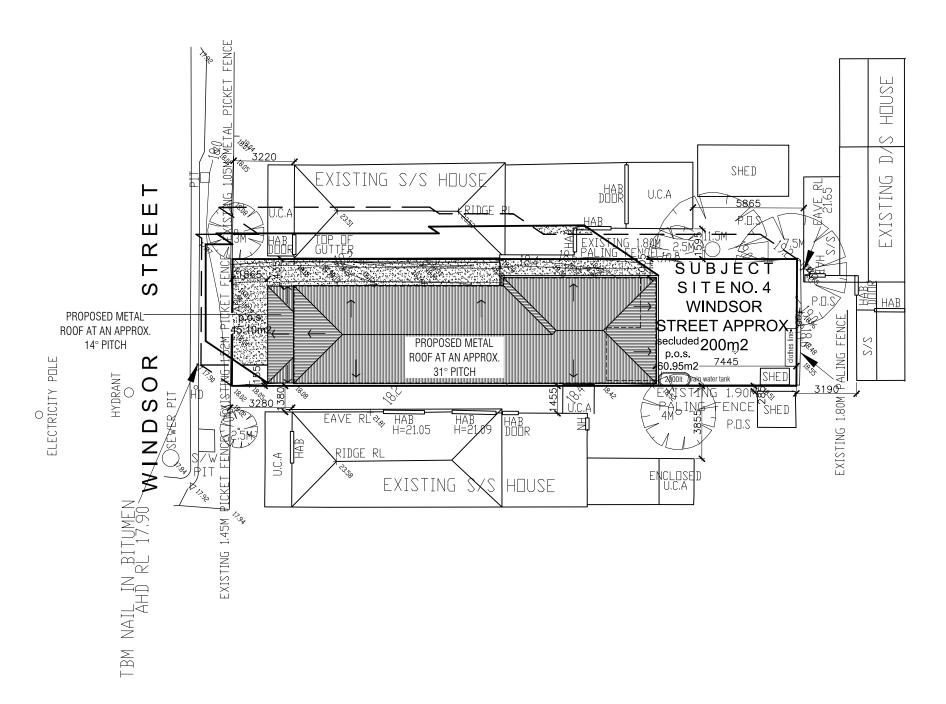
to the office of LMD Design & drafting for clarification.

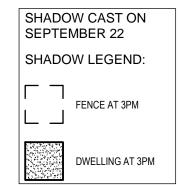
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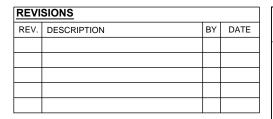
9	JOB NO 1064	DRAWN BY -	SCALE - 1:100	SHEET SIZE - A3	DRAWING NO TP09	DATE - 25/06/2024
	ADDRESS - 4 Windsor Street, Footscray VIC 3011 PROJECT -		FOR - Joshua Moore	9	DESIGNER - LMD Design & Dra	afting Pty Ltd
			DRAWING	-	BUILDER -	
			Proposed 12pm Shadow Plan		TBC	
	Proposed Alte Additions to a	erations & an Existing Dwelling				







PROPOSED 3PM SHADOW PLAN-SCALE 1:200



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Ver.02 Town Planning	GENERAL NOTES -	
vonez rown riammig	Do not scale drawings, use writter	
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PLANNING (NOT FOR CONSTRUCTION)

TENDER (NOT FOR CONSTRUCTION)

CONSTRUCTION

PRELIMINARY (NOT FOR CONSTRUCTION)

to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.

Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies

to the office of LMD Design & drafting for clarification.

These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.

1	JOB NO 1064	DRAWN BY -	SCALE - 1:100	SHEET SIZE -	DRAWING NO TP10	DATE - 25/06/2024
	ADDRESS - 4 Windsor Street, Footscray VIC 3011		FOR - Joshua Moore	2	DESIGNER - LMD Design & Dra	afting Pty Ltd
			DRAWING	-	BUILDER -	
	PROJECT - Proposed Alterations & Additions to an Existing Dwelling		Proposed 3pm Shadow Plan		TBC	

