

PROPOSED ALTERATIONS & ADDITIONS

At: 4 Windsor Street, Footscray 3011
For: Joshua Moore

**CITY OF MARIBYRNONG
ADVERTISED PLAN**



TOWN PLANNING DRAWINGS

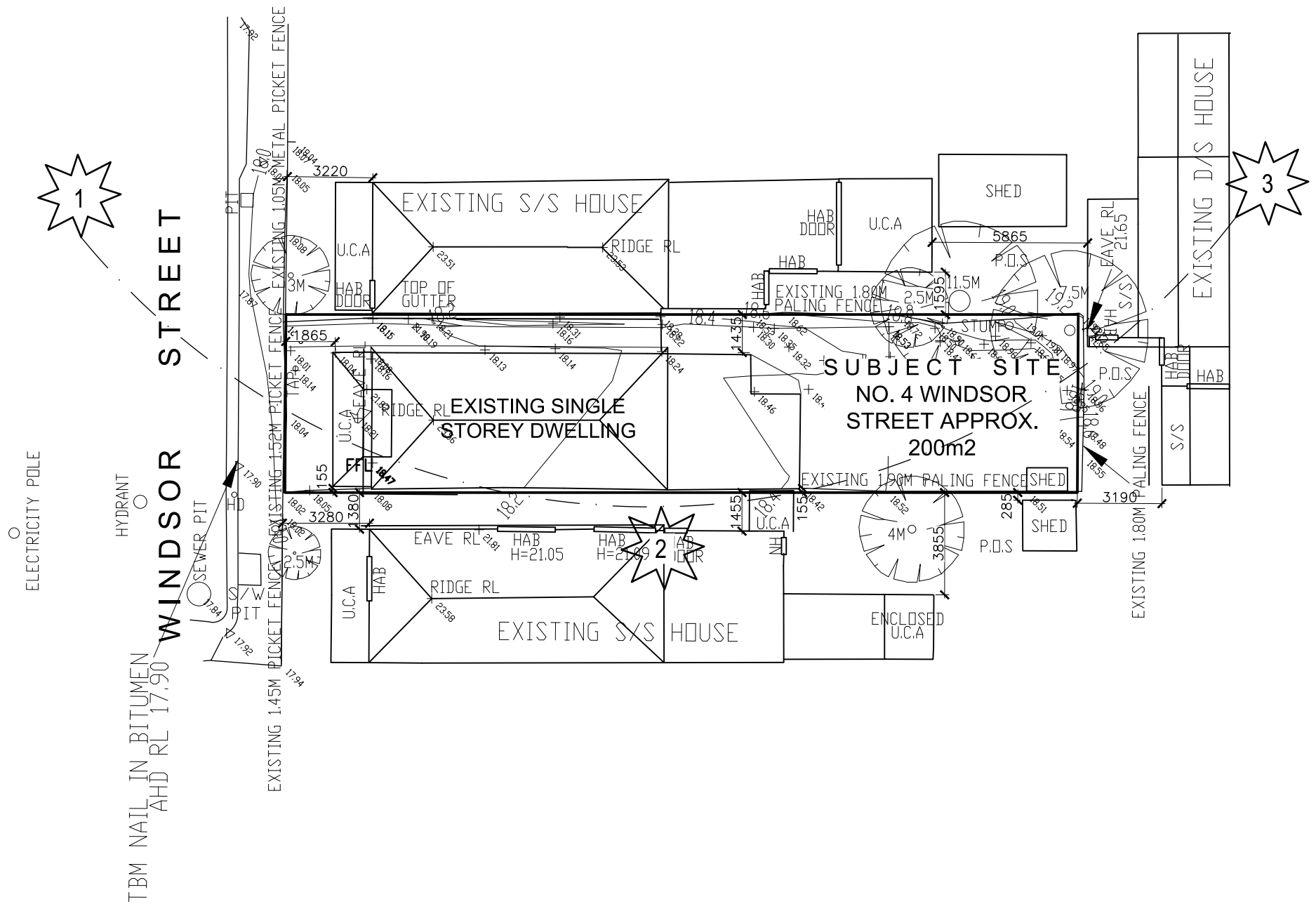
- TP01 - Neighbourhood & Site Description
- TP02 - Existing Site / Ground Floor Plan
- TP03 - Existing Ground Floor Plan
- TP04 - Design Response / Ground Floor Plan
- TP05 - Proposed Ground Floor Plan
- TP06 - Proposed Elevations
- TP07 - Proposed Elevations
- TP08 - Proposed 9am Shadow Plan
- TP09 - Proposed 12pm Shadow Plan
- TP10 - Proposed 3pm Shadow Plan

REVISIONS			
REV.	DESCRIPTION	BY	DATE

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Ver.02 Town Planning		GENERAL NOTES - <div>Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.</div> <div>Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies</div>		to the office of LMD Design & drafting for clarification. <div>These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.</div>		JOB NO. - 1064	DRAWN BY - AS	SCALE -	SHEET SIZE - A3	DRAWING NO. -	DATE - 25/06/2024	<div><div>LMD</div><div>DESIGN & DRAFTING</div></div> <div>A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 P: 04 746 967 95 E: luke@lmdesign.com.au</div>
<div>DOCUMENTATION ISSUE</div> <div><div><input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION)</div><div><input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION)</div><div><input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION)</div><div><input type="checkbox"/> CONSTRUCTION</div></div>				ADDRESS - 4 Windsor Street, Footscray VIC 3011		FOR - Joshua Moore		DESIGNER - LMD Design & Drafting Pty Ltd				
				PROJECT - Proposed Alterations & Additions to an Existing Dwelling		DRAWING - Contents Sheet		BUILDER - TBC				

NOTE:
DIMENSIONS FROM BUILDING STRUCTURE TO
PERIMETER OF SITES & BUILDING STRUCTURE
TO ADJACENT BUILDINGS APPROXIMATE.





NEIGHBOURHOOD & SITE DESCRIPTION
- SCALE 1:200

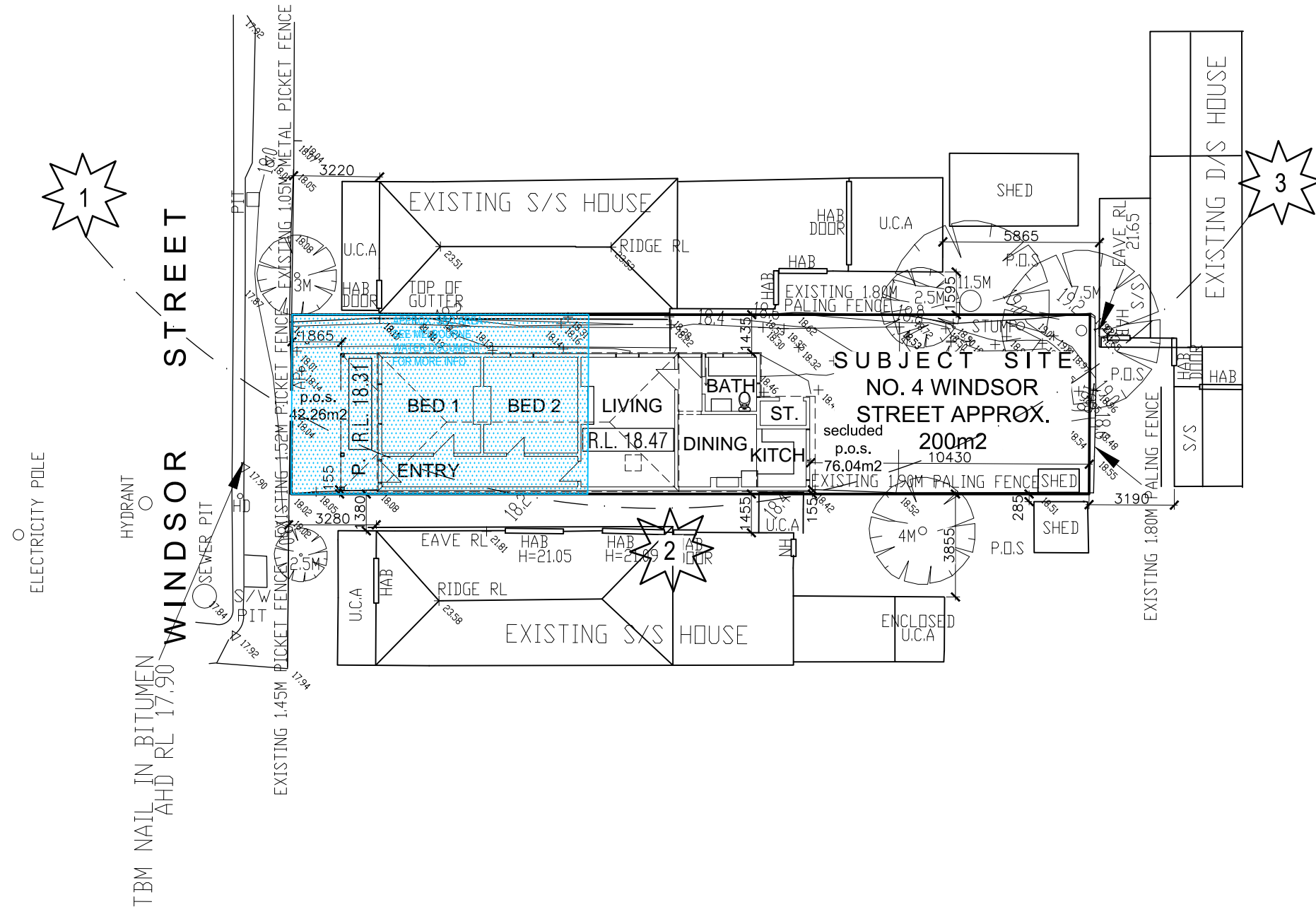
1. Sun Risers.
2. Path of Suns Travel- East to West.
3. Sun Sets.

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		PROJECT - Proposed Alterations & Additions to an Existing Dwelling		DRAWING - Neighbourhood & Site Description		BUILDER - TBC					

DIMENSIONS FROM BUILDING STRUCTURE TO PERIMETER OF SITES & BUILDING STRUCTURE TO ADJACENT BUILDINGS APPROXIMATE.





EXISTING SITE/GROUND FLOOR PLAN
- SCALE 1:200

1. Sun Risers.
2. Path of Suns Travel- East to West.
3. Sun Sets.

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				PROJECT - Proposed Alterations & Additions to an Existing Dwelling		DRAWING - Existing Site / Ground Floor Plan		BUILDER - TBC			

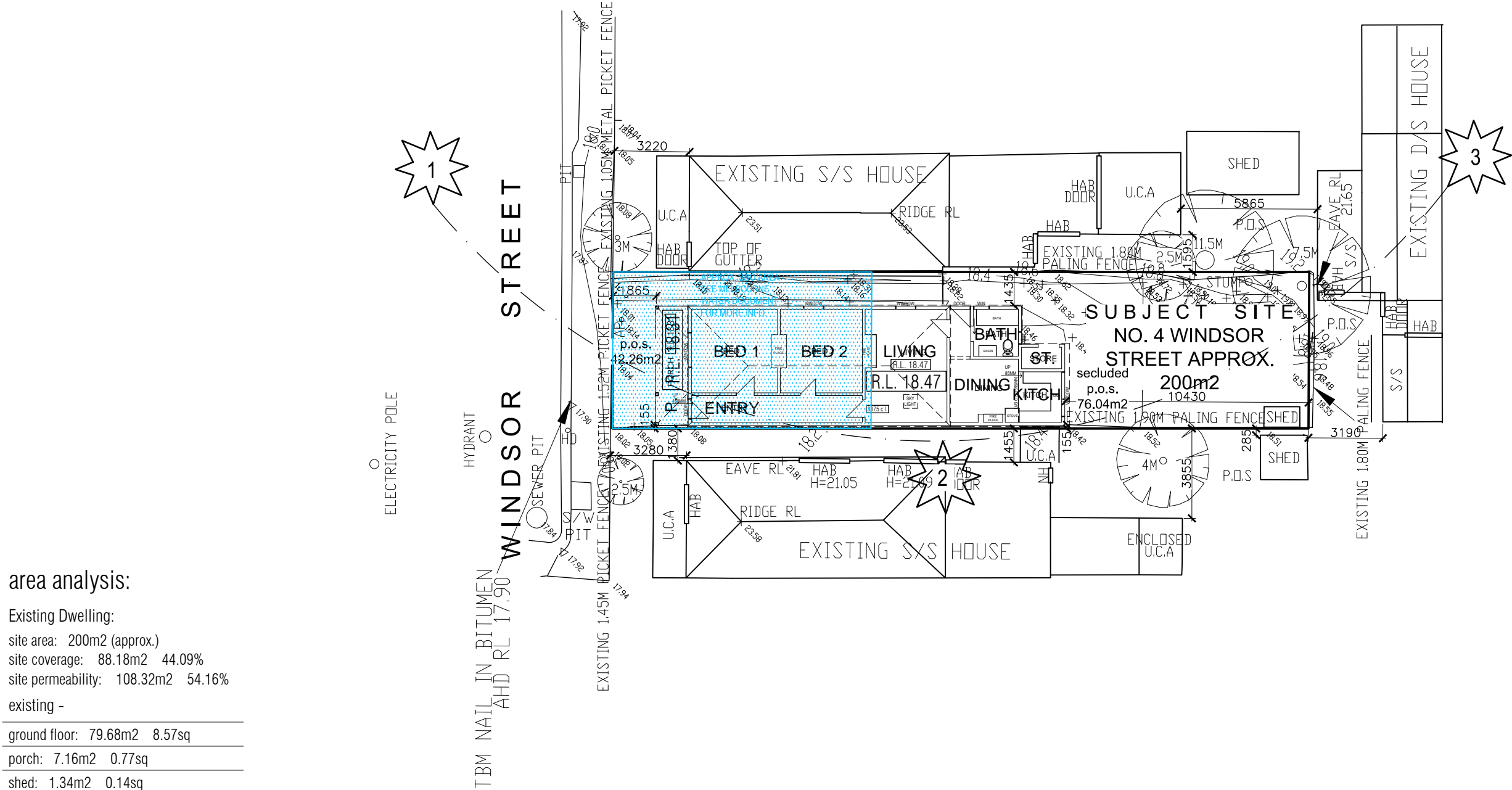
NOTE:
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area analysis:

Existing Dwelling:	
site area:	200m2 (approx.)
site coverage:	88.18m2 44.09%
site permeability:	108.32m2 54.16%
existing -	
ground floor:	79.68m2 8.57sq
porch:	7.16m2 0.77sq
shed:	1.34m2 0.14sq
total built area:	88.18m2 9.49sq
secluded p.o.s :	76.04m2
p.o.s :	42.26m2
total p.o.s :	118.30m2



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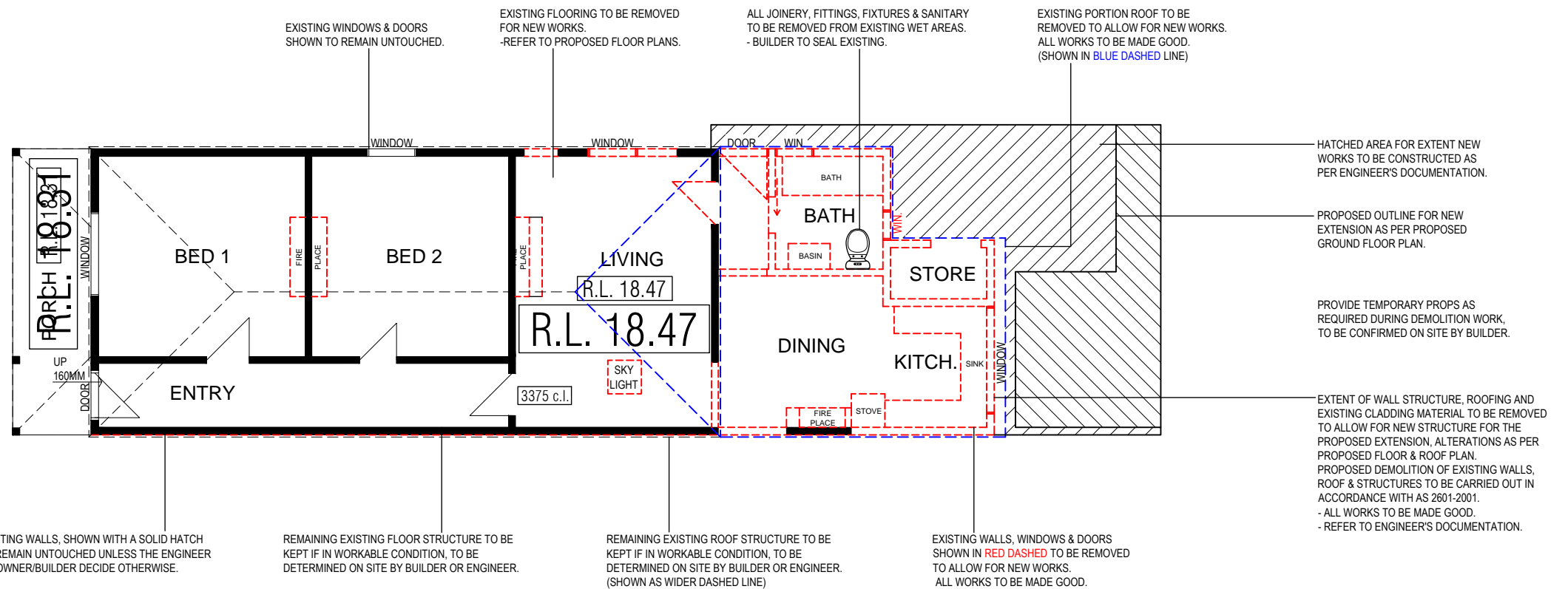
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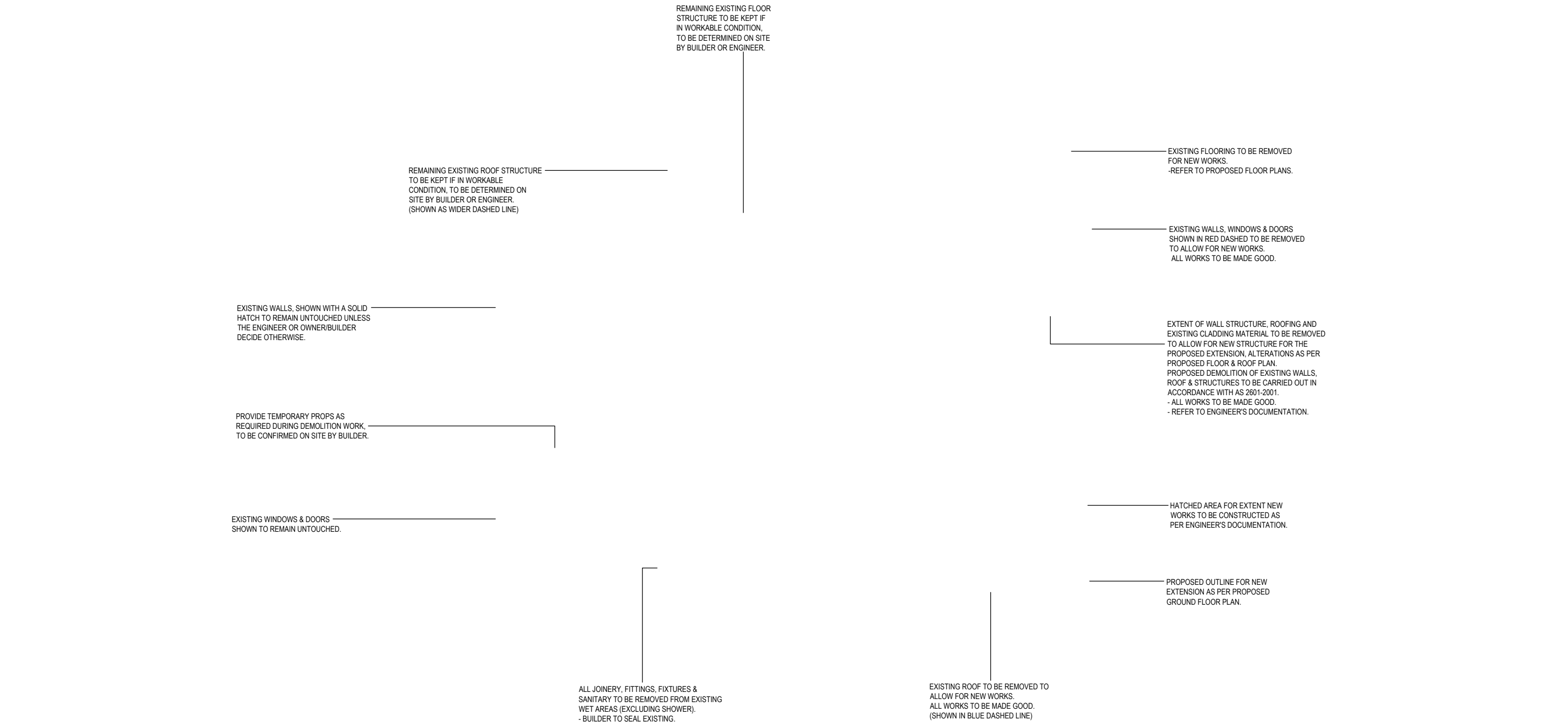
EXISTING SITE/GROUND FLOOR PLAN
- SCALE 1:200

- Sun Risers.
- Path of Suns Travel- East to West.
- Sun Sets.

Ver.02 Town Planning		GENERAL NOTES - <div>Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.</div> <div>Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.</div> <div>These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.</div>		JOB NO. - 1064	DRAWN BY - AS	SCALE - 1:200	SHEET SIZE - A3	DRAWING NO. - WD02	DATE - 25/06/2024	<div>NORTH</div> 	<div></div> <div>A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 P: 04 74 696 795 E: luke@lmdesign.com.au</div>
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	PROJECT - Proposed Alterations & Additions to an Existing Dwelling		DRAWING - Existing Site/Ground Floor Plan		BUILDER - TBC						



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PROPOSED GROUND FLOOR DEMOLITION PLAN
- SCALE 1:100

REVISIONS

REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning

DOCUMENTATION ISSUE

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☐ CONSTRUCTION

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JOB NO. - 1064

DRAWN BY - AS

ADDRESS - 4 Windsor Street, Footscray VIC 3011

PROJECT - Proposed Alterations & Additions to an Existing Dwelling

SCALE - 1:100

SHEET SIZE - A3

FOR - Joshua Moore

DRAWING - Proposed Ground Floor Demolition Plan

DRAWING NO. - WD04

DATE - 25/06/2024

DESIGNER - LMD Design & Drafting Pty Ltd

BUILDER - TBC

NORTH

LMD

DESIGN & DRAFTING

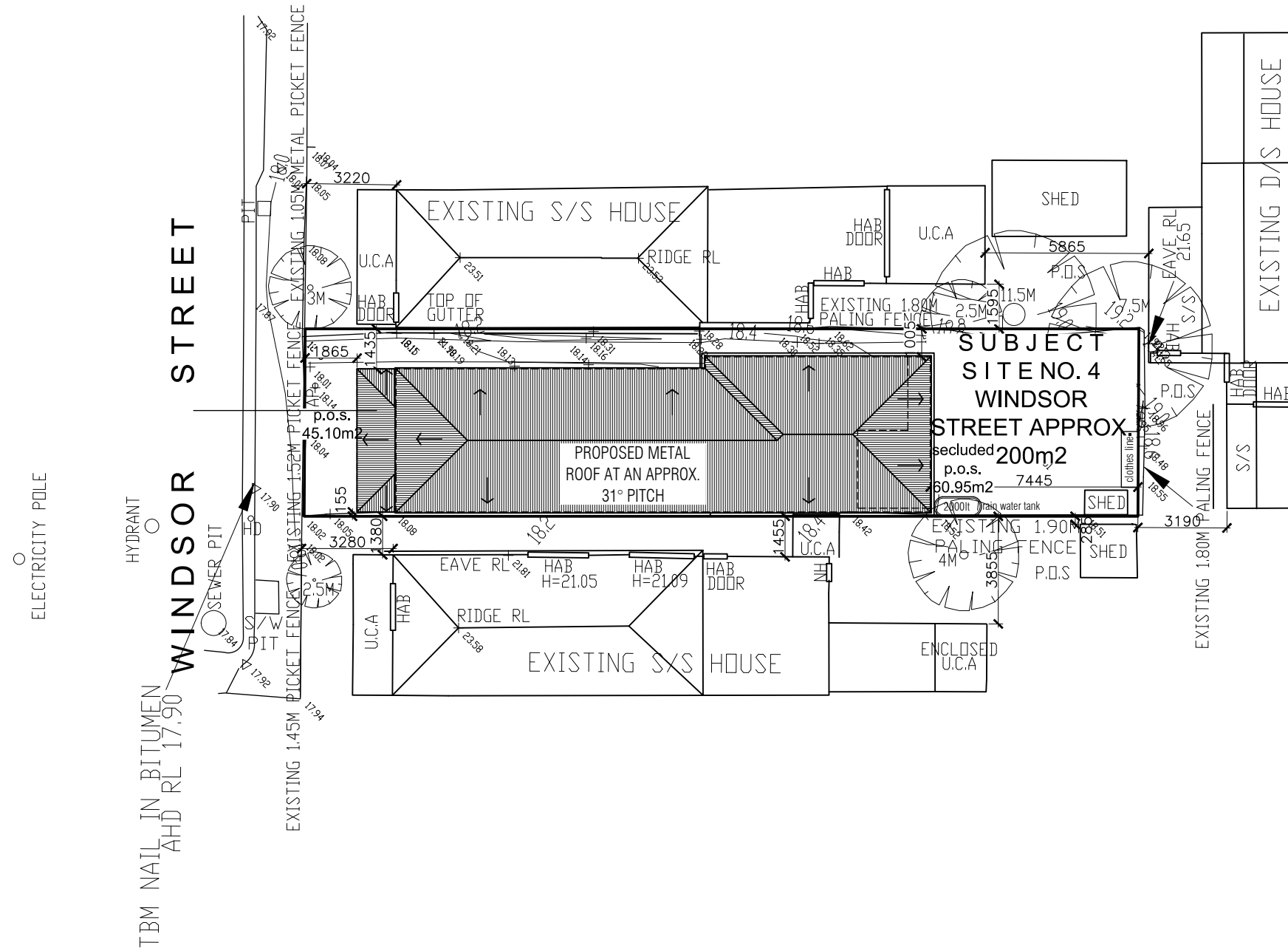
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PROPOSED SITE/ROOF PLAN
- SCALE 1:200

ROOF NOTES:

PROPOSED STORMWATER DRAINAGE LAYOUT AS SHOWN, WITH MIN. 100MM DIA. PVC PIPES SET MIN. 200MM BELOW SURFACE LEVEL, AT MIN. FALL TO BE CONNECTED TO EXISTING STORMWATER PIPE LAYOUT. TO BE DISBURSED TO THE LEGAL POINT OF DISCHARGE AS PER AS 3500.3.1—2021
-BUILDER/DRAINAGE CONTRACTOR TO CONFIRM SIZE, TYPE, OFFSETS & DEPTHS OF EXISTING STORMWATER PIPES PRIOR TO CONSTRUCTION.

ALL ROOF STRUCTURE/S AS PER ENGINEERS DESIGN & MANUFACTURE DETAILS.

WATER TO BE CARRIED THROUGH DP's INTO DRAINAGE SYSTEM,
AND DISBURSED TO LEGAL POINT OF DISCHARGE (Typ).

PROPOSED 90MM MIN. DIA. DOWNPIPES TO PROPOSED ROOF, TO BE DISTRIBUTED INTO THE PROPOSED STORMWATER LAYOUT AT GROUND LEVEL.


SELECTED FLASHING & RIDGE CAPPING FOR WATERPROOFING
REQUIREMENTS TO ALL FIXING/CONNECTION POINTS (Typ.)

PROPOSED METAL SHEET ROOF TO DWELLING AT AN APPROX. 31°
PITCH, WITH A FASCIA & GUTTER TO MATCH EXISTING.

EXISTING TILED ROOF AT AN APPROX. 14° FALL, WITH EXISTING FASCIA & GUTTER.

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				PROJECT - Proposed Alterations & Additions to an Existing Dwelling		DRAWING - Proposed Site/Roof Plan		BUILDER - TBC			

NOTE:
DIMENSIONS FROM BUILDING STRUCTURE TO
PERIMETER OF SITES & BUILDING STRUCTURE
TO ADJACENT BUILDINGS APPROXIMATE.

area analysis:

Existing Dwelling:
site area: 200m2 (approx.)
site coverage: 109.92m2 54.96%
site permeability: 87.79m2 43.89%

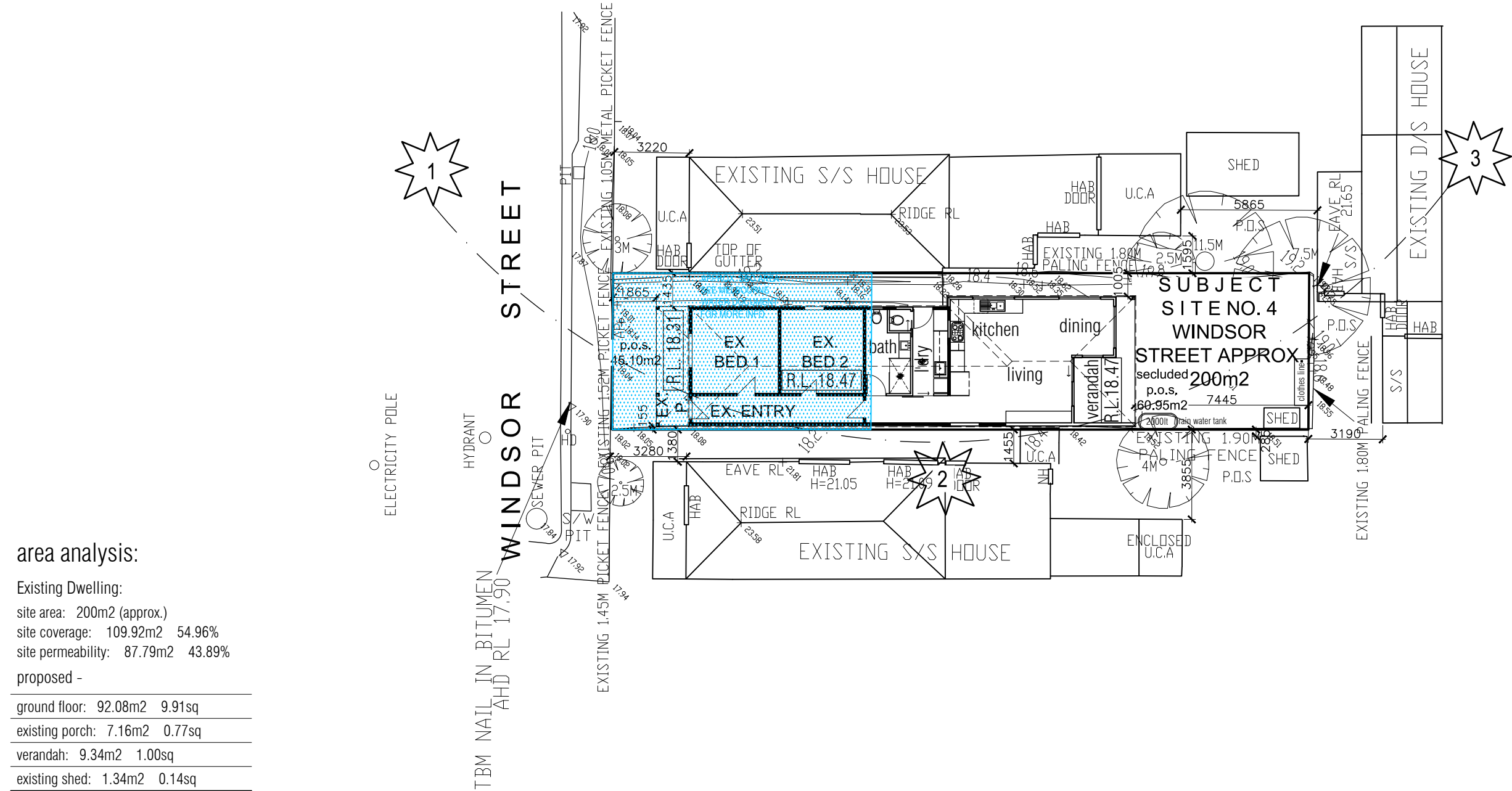
proposed -

ground floor:	92.08m2	9.91sq
existing porch:	7.16m2	0.77sq
verandah:	9.34m2	1.00sq
existing shed:	1.34m2	0.14sq
total built area:	109.92m2	11.83sq
secluded p.o.s :	60.95m2	
p.o.s :	45.10m2	
total p.o.s :	106.05m2	

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				DRAWING - Design Response / Ground Floor Plan		BUILDER - TBC							
				PROJECT - Proposed Alterations & Additions to an Existing Dwelling									

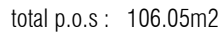


DESIGN RESPONSE / GROUND FLOOR PLAN
- SCALE 1:200

2000 litre rain water tank.
1.7m(L) x 0.7m(W) x 1.86m(H)
rainwater tank to be connected
to all sanitary - flushing systems

- Sun Risers.
- Path of Suns Travel- East to West.
- Sun Sets.

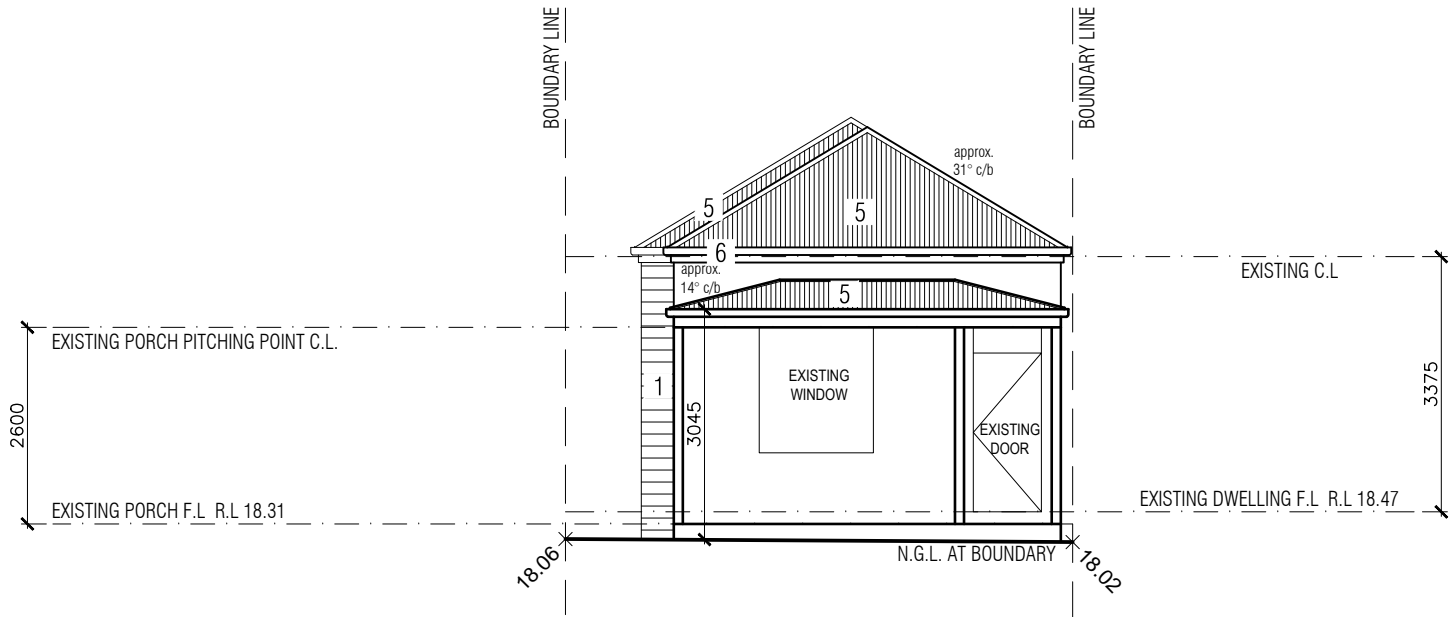
proposed (cladding) wall



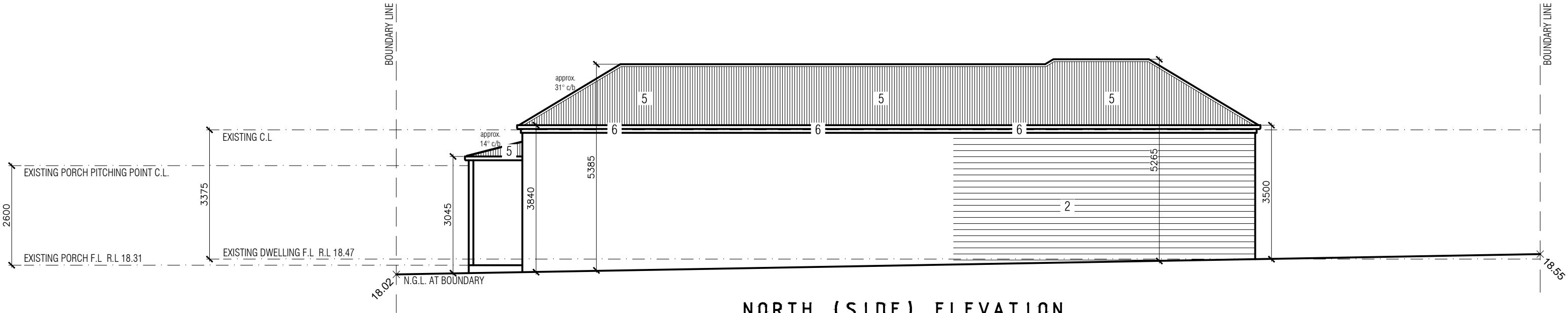
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E:luke@lmdesign.com.au

schedule of materials and finishes

- 1. walls - weatherboard - 'blue grey to match existing'
- 2. walls - firewall - 'linea weatherboard or equally approved - 'blue grey to match existing'
- 3. windows & doors - timber frame - 'classic cream to match existing'
- 4. post - timber - natural finish
- 5. roof - colorbond - 'shale grey'
- 6. gutter, fascia & down pipes fascia - colorbond - 'classic cream to match existing'
- 7. deck - timber - natural stained finish



EAST (FRONT) ELEVATION



NORTH (SIDE) ELEVATION

PROPOSED ELEVATIONS
- SCALE 1:100

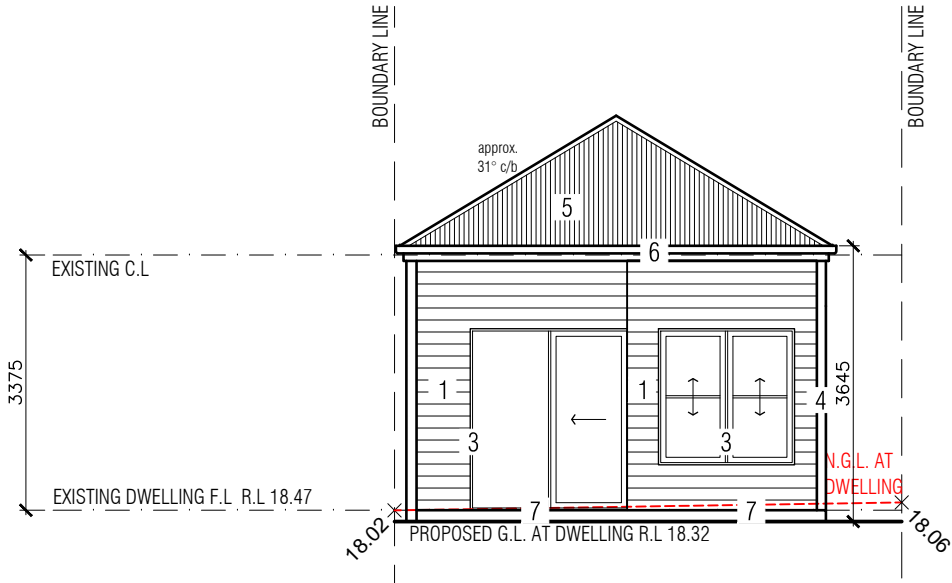
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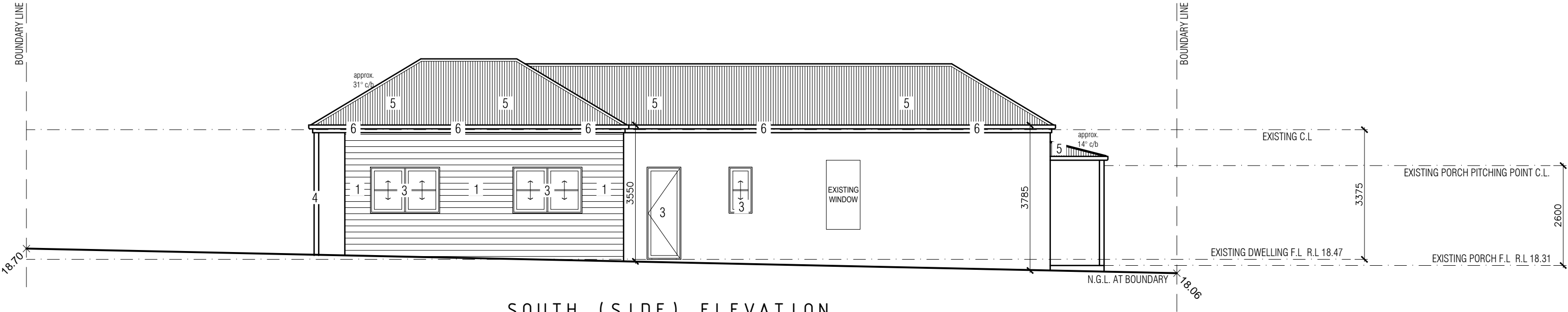
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				DRAWING - Proposed Elevations		BUILDER - TBC						
		PROJECT - Proposed Alterations & Additions to an Existing Dwelling										

schedule of materials and finishes

- 1. walls - weatherboard - 'blue grey to match existing'
- 2. walls - firewall - 'linea weatherboard or equally approved - 'blue grey to match existing'
- 3. windows & doors - timber frame - 'classic cream to match existing'
- 4. post - timber - natural finish
- 5. roof - colorbond - 'shale grey'
- 6. gutter, fascia & down pipes fascia - colorbond - 'classic cream to match existing'
- 7. deck - timber - natural stained finish



WEST (REAR) ELEVATION



SOUTH (SIDE) ELEVATION

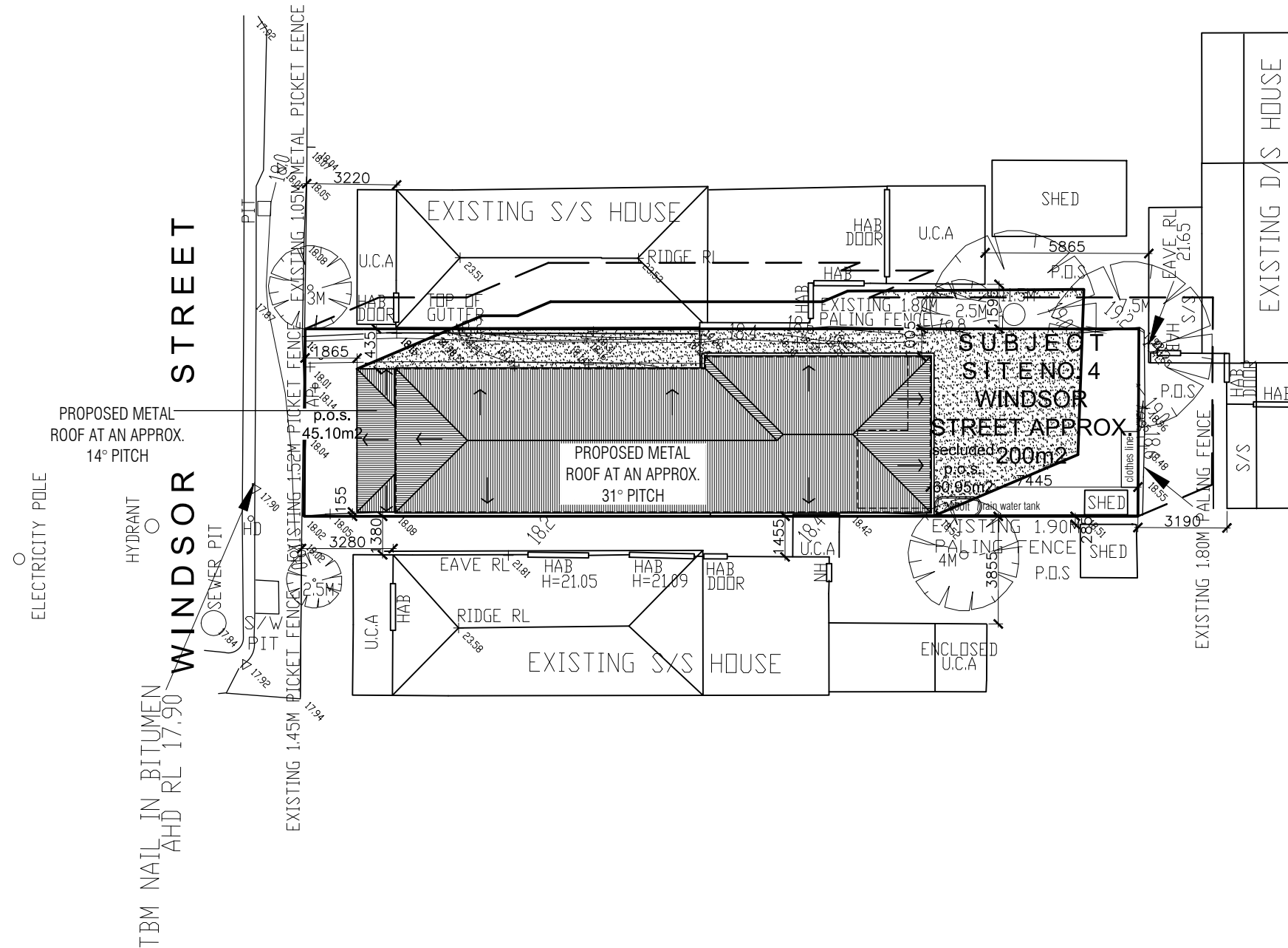
PROPOSED ELEVATIONS
- SCALE 1:100

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PROPOSED 9AM SHADOW PLAN
-SCALE 1:200

SHADOW CAST ON SEPTEMBER 22

SHADOW LEGEND:




FENCE AT 9AM



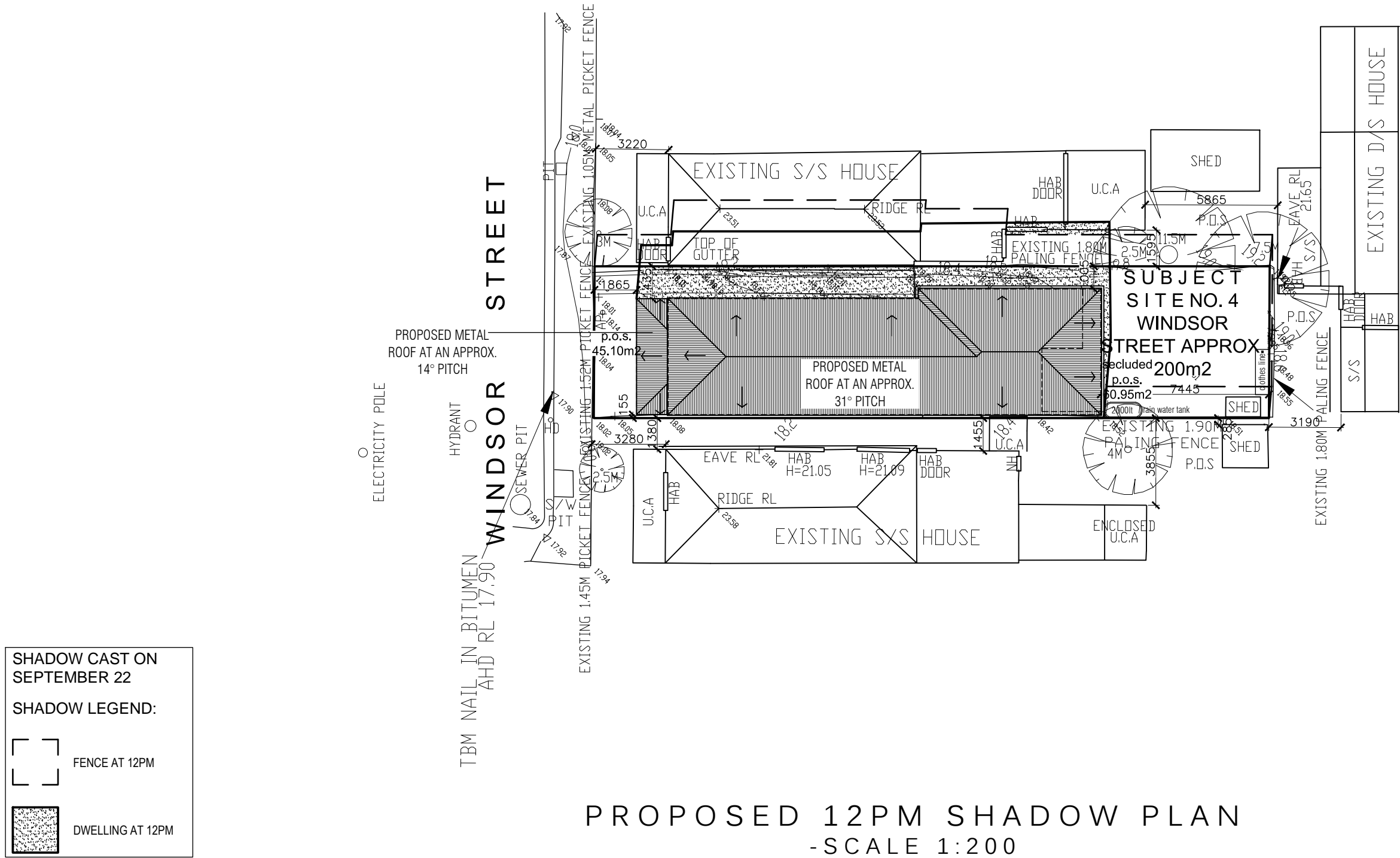
DWELLING AT 9AM

<u>REVISIONS</u>			
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Ver.02 Town Planning		GENERAL NOTES -		JOB NO. - 1064	DRAWN BY - AS	SCALE - 1:100	SHEET SIZE - A3	DRAWING NO. - TP08	DATE - 25/06/2024	 <p>A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 P: 04 74 696795 E: luke@lmdesign.com.au</p>
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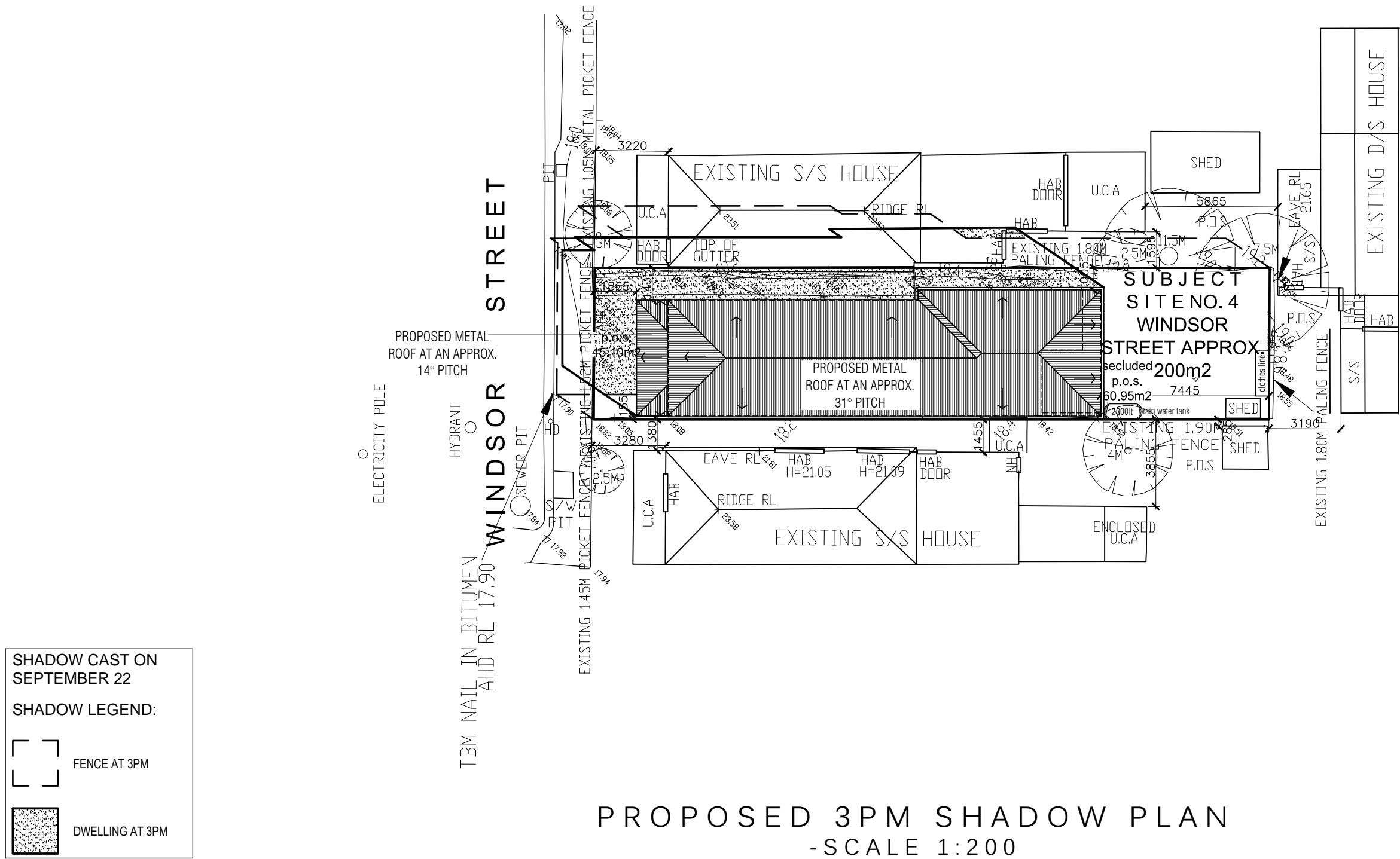


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		PROJECT - Proposed Alterations & Additions to an Existing Dwelling		DRAWING - Proposed 12pm Shadow Plan		BUILDER - TBC				

NOTE:
DIMENSIONS FROM BUILDING STRUCTURE TO
PERIMETER OF SITES & BUILDING STRUCTURE
TO ADJACENT BUILDINGS APPROXIMATE.



REVISIONS			
REV.	DESCRIPTION	BY	DATE

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Ver.02 Town Planning		GENERAL NOTES - <div>Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.</div> <div>Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.</div> <div>These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.</div>		JOB NO. - 1064	DRAWN BY - AS	SCALE - 1:100	SHEET SIZE - A3	DRAWING NO. - TP10	DATE - 25/06/2024	<div><div>LMD</div><div>DESIGN & DRAFTING</div></div> <div>A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 P: 04 74696795 E: luke@lmdesign.com.au</div>
<div><div>DOCUMENTATION ISSUE</div><div><div><div>■ PLANNING (NOT FOR CONSTRUCTION)</div><div><input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION)</div><div><input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION)</div><div><input type="checkbox"/> CONSTRUCTION</div></div></div></div>		ADDRESS - 4 Windsor Street, Footscray VIC 3011		FOR - Joshua Moore		DESIGNER - LMD Design & Drafting Pty Ltd				
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