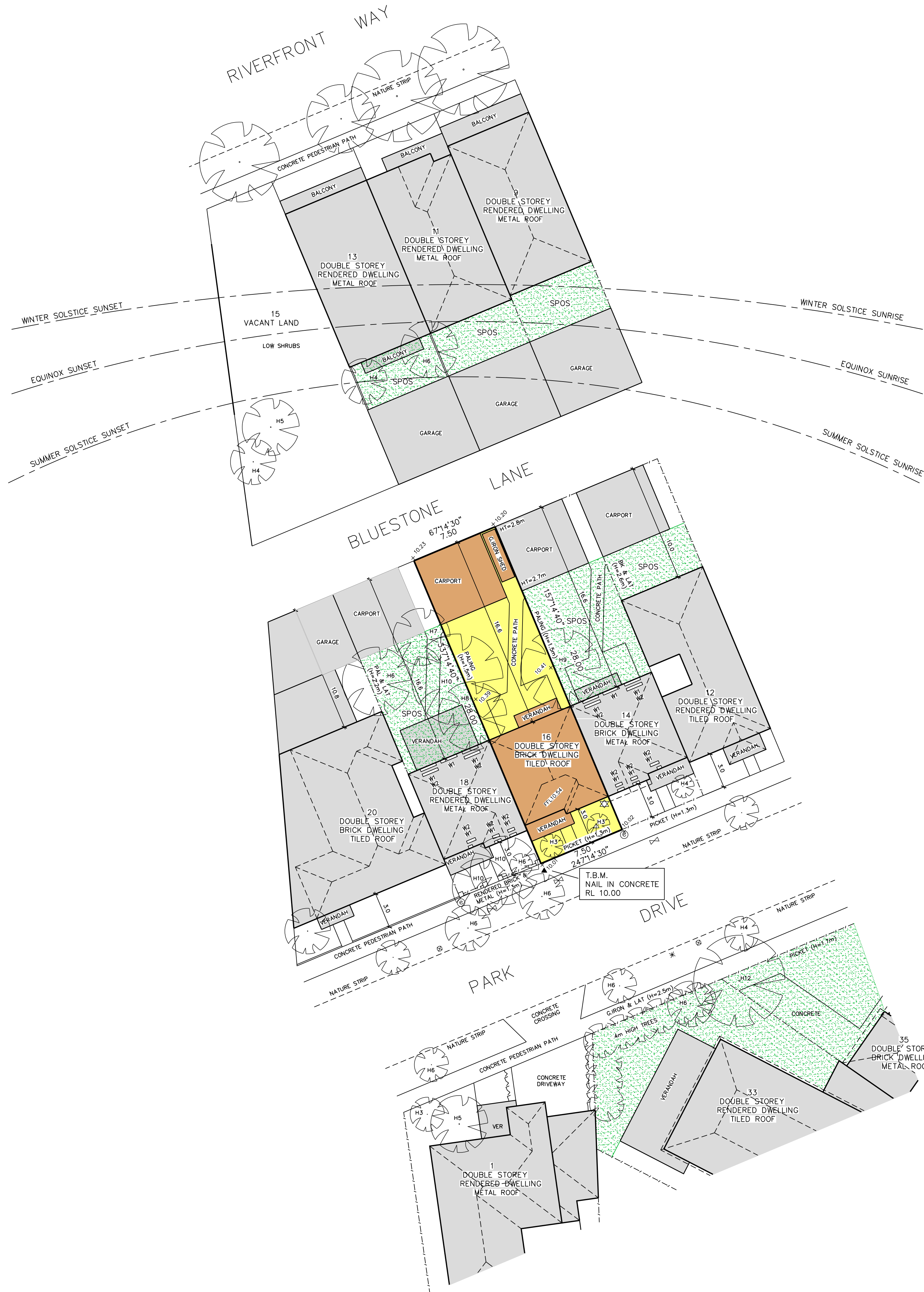




LOCAL AMENITIES		
AMENITY	DIRECTION	DISTANCE
PRINCIPAL BICYCLE NETWORK	↑	120m
MARIBYRNONG RIVER	↑	140m
PRINCIPAL PUBLIC TRANSPORT NETW.	↘	200m
PRIMARY SCHOOL	➔	600m
TRAM SERVICE 57	↘	700m
HIGHPOINT SHOPPING CENTRE	↘	900m
MARIBYRNONG RESERVE	↘	1km
MARIBYRNONG RIVER FOOTBRIDGE	➔	350m
MELBOURNE CBD	↘	9km



Plan Information

Contour Interval = -
Temporary bench mark connected to an arbitrary datum
Layer 00AerialPhoto derived from
nearmap.com.au.audated 15th October 2025

The diagram shows a vertical line representing a contour interval. A horizontal line at the bottom indicates the True North direction.

Approx.
True North

Temporary Bench Mark

Telstra Pit

Electricity Pole

Electricity Pit

Traffic Light

Fire Hydrant

Street Light

Street Sign

Tree

Gas Meter

Water Meter

▲ [D+]
● ●
⊙ ⊙
⦿ ⦿
✖ ✖
⊗ ⊗
☼ ☼
↑ ↑

NOTE

This plan should not be used for any purpose other than what it was intended and any uncertainty in this plan must be clarified with the author

Only visible services have been located

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of underground services and detailed locations of all services

Only habitable room windows have been located

Overhead cables are not shown

This is not a re-establishment of title survey plan

Boundaries are not fenced unless otherwise stated

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54 one dwelling on a lot or a small second dwelling on a lot

54.02-1 Street setback objective

This application presents no change to the front setback to the dwelling.

54.02-2 Building height objective

The height to the uppermost point of the proposal is well under the maximum height specified, reducing the appearance of visual bulk, impacts of overshadowing on adjoining properties and overall protects neighbourhood character.

54.02-3 Side and rear setbacks objective

This proposal has a rear setback of 10.6 metres and is setback 0.3 metres from both side boundaries.

The proposed single storey scale reduces adverse amenity impacts on neighbouring dwellings together with reducing impact of visual bulk on neighbourhood character.

54.02-4 Walls on boundaries objectives

No walls are proposed along site boundaries.

54.02-5 Site coverage objective

The site occupies an area of approx 210 square metres and this proposal presents a site coverage of 70.29% promoting planting of trees and the provision of open space and permeable surfaces.

54.02-6 Tree canopy objective

This proposal will not result in the removal of significant vegetation on the site and seeks to introduce additional vegetation that is contextually compatible with the landscape character.

Adequate space has been provided to achieve meaningful landscaping outcomes for the dwellings within the front and rear private open space areas

54.02-7 Front fences objective

This application presents no change to this objective.

54.03-1 Street integration objective

The existing dwelling is orientated to front Park Avenue. There are two (2) habitable room window) facing the street frontage offering passive surveillance throughout the day.

54.03-2 Private open space objective

Over 50 square metres of land has been reserved for private open space, of which 49.93 square metres is secluded, over 3 metres in dimension, subject to sunlight, safe and functional while contributing to the character of the neighbourhood.

54.03-3 Solar access to open space objective

Secluded private open space is located to the north of the dwelling, there is an existing carport to the north west however falls outside of 20degwest/30deg east.

54.03-4 Daylight to new windows objectives

Habitable room windows of the proposed addition face open space and are provided with more than the minimum dimension of one metre and area of 3 square metres clear to the sky promoting penetration of natural daylight into these windows for amenity while limiting the need for artificial light during the day.

54.04-1 Daylight to existing windows objective

The proposed dwellings will not reduce the amount of natural daylight entering habitable room windows within neighbouring properties; sufficiently setback achieving well in excess of 3 square metres with a minimum dimension of 1 metre clear to the sky.

54.04-2 Existing north-facing windows objective

There are no northern habitable room windows within 3m of the site's southern boundary.

54.04-3 Overshadowing secluded open space objective

There is private open space within nine metres of the site and are situated to the rear of 14 Park Avenue and 18 Park Avenue. This application will not unreasonably reduce the amount of solar access adjoining SPOS are currently receiving.

54.04-4 Overlooking objective

Existing habitable room windows and private open space are within 9m of the proposal, however potential for overlooking is minimised as this proposal is single storey and setback from boundaries; providing reasonable protection against visual intrusion.

54.05-1 Permeability and stormwater management objective

Due to a site coverage of 70% there is sufficient remaining land to provide for more than 20% of the surface to be permeable promoting increased absorption of stormwater on the site. This application includes 28.73% permeability.

54.05-2 Overshadowing domestic solar energy systems objective

There are no existing domestic solar energy systems on roofs of buildings within adjoining properties

54.05-3 Rooftop solar energy generation area objectives

The design / layout of proposed addition presents no change to the existing roof which ensures capability of siting a rooftop solar energy:

- Has a minimum dimension of well more than 1.7 metres.
- Has a minimum area of more than 34 square metres.
- Is oriented to the north, west or east.
- Is positioned on the top two thirds of a pitched roof.
- Is free of obstructions on the roof of the dwelling

54.05-4 Solar protection to new north-facing windows objectives

No north facing windows are included within the proposed addition



Plan Information

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Temporary bench mark connected to an arbitrary datum
Layer 00AerialPhoto derived from nearmap.com.au dated 15th October 2025



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Boundaries are not fenced unless otherwise stated



DRAWING
Design Response Plan

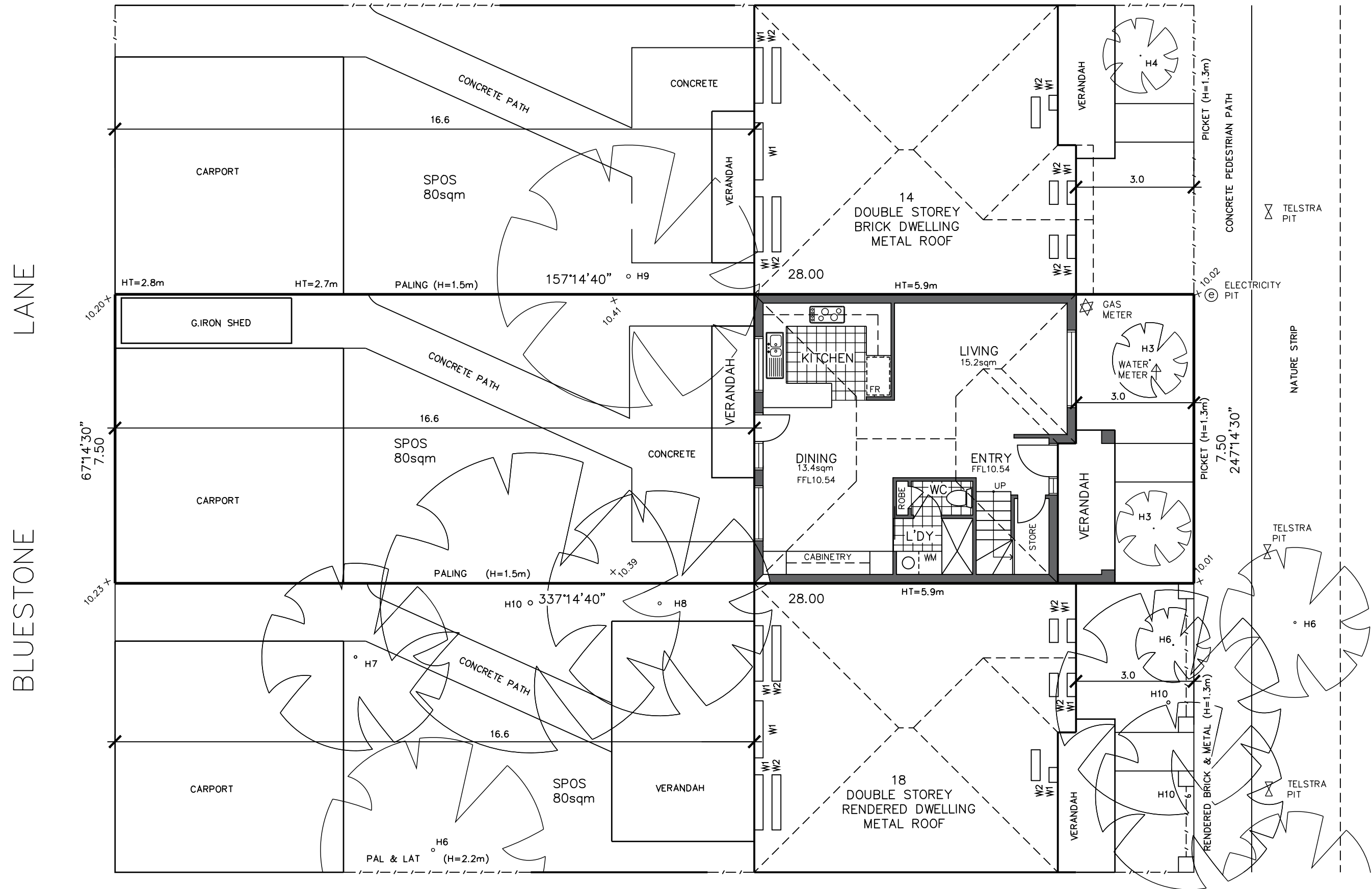
ADDRESS
16 Park Drive, MARIBYRNONG

FIELD WORK
23 October 2025
Narelle Cassar

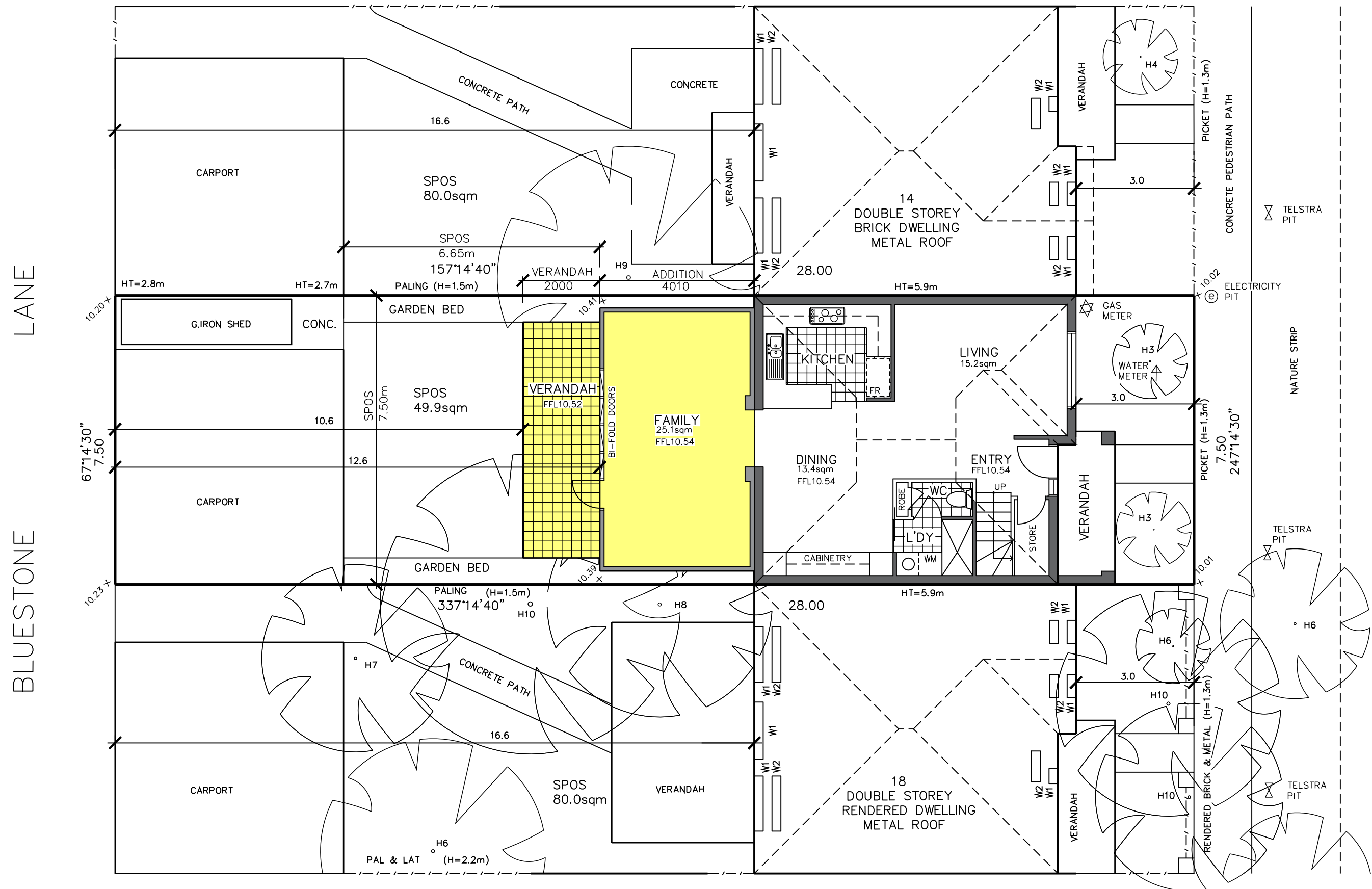
PLAN
Scale of 1:200

Job Reference

0203195



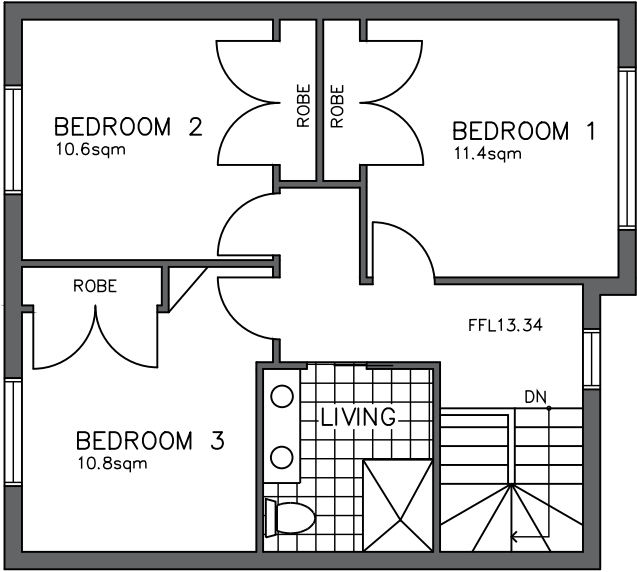
EXISTING GROUND FLOOR PLAN
SCALE 1:100



PROPOSED GROUND FLOOR PLAN
SCALE 1:100

DEVELOPMENT SUMMARY (EXISTING)

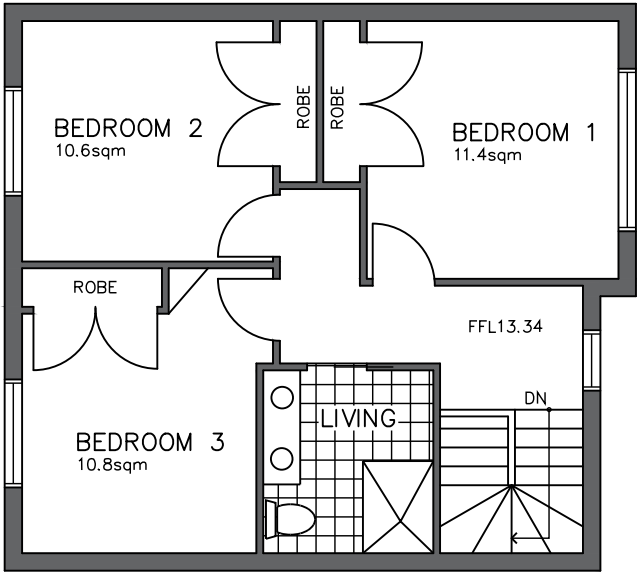
SITE AREA	210.00
EXISTING	
DWELLING	60.92
FRONT PORCH	5.72
REAR PORCH	4.33
CARPORT	36.17
SHED	5.19
TOTAL	112.33
SITE COVERAGE	53.49%
TOTAL BUILDING	112.33
CONCRETED AREAS (PATHS)	27.57
TOTAL HARD SURFACE AREA	139.90
PERMEABILITY	33.38%
SPOS	80.00



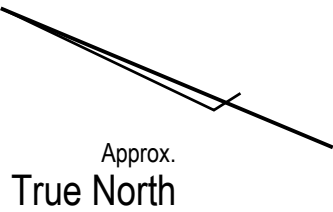
EXISTING FIRST FLOOR PLAN
SCALE 1:100

DEVELOPMENT SUMMARY (PROPOSED)

SITE AREA	210.00
EXISTING	
DWELLING	60.92
FRONT PORCH	5.72
REAR PORCH	4.33
CARPORT	36.17
SHED	5.19
TOTAL	108.00
PPROPOSED	
ADDITION	27.38
REAR VERANDAH	12.23
TOTAL	147.61
SITE COVERAGE	70.29%
TOTAL BUILDING	147.61
FRONT PATH	2.05
TOTAL HARD SURFACE AREA	149.66
PERMEABILITY	28.73%
SPOS	49.93



PROPOSED FIRST FLOOR PLAN (NO CHANGE)
SCALE 1:100



Approx.
True North

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DRAWING

Existing & Proposed Floor Plans

ADDRESS

16 Park Drive, MARIBYRNONG

FIELD WORK

23 October 2025

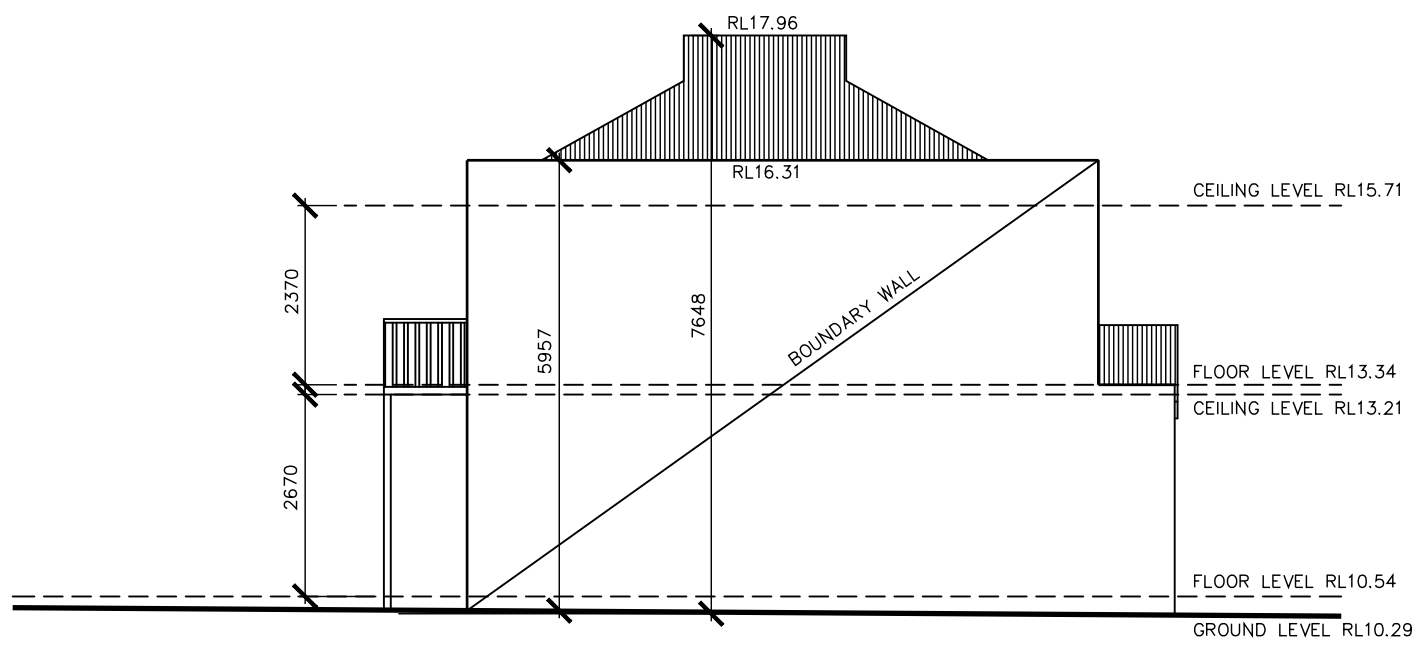
Narelle Cassar

PLAN

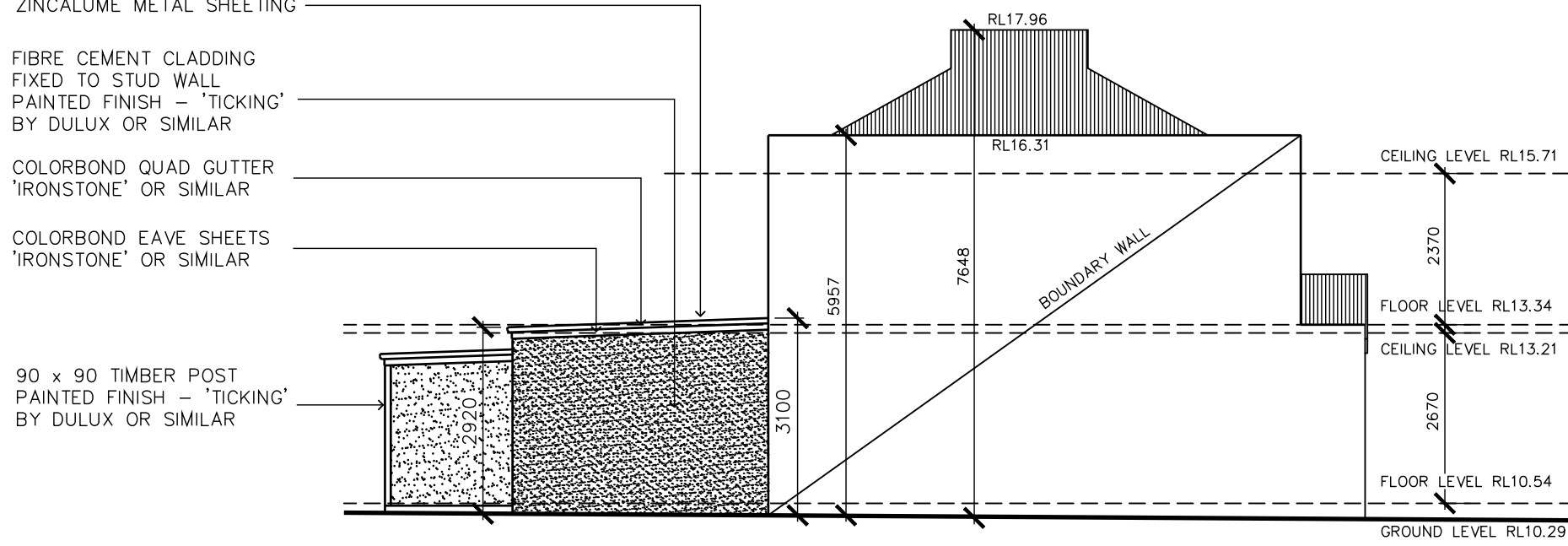
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Job Reference

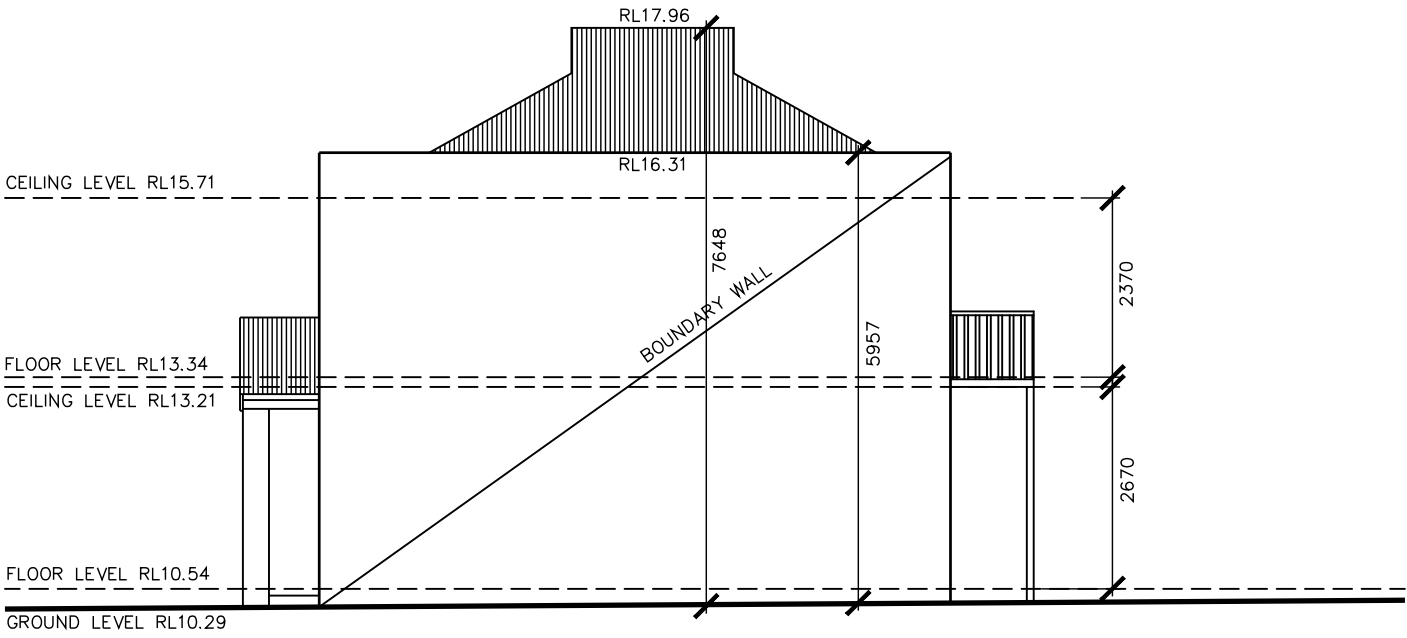
0203195



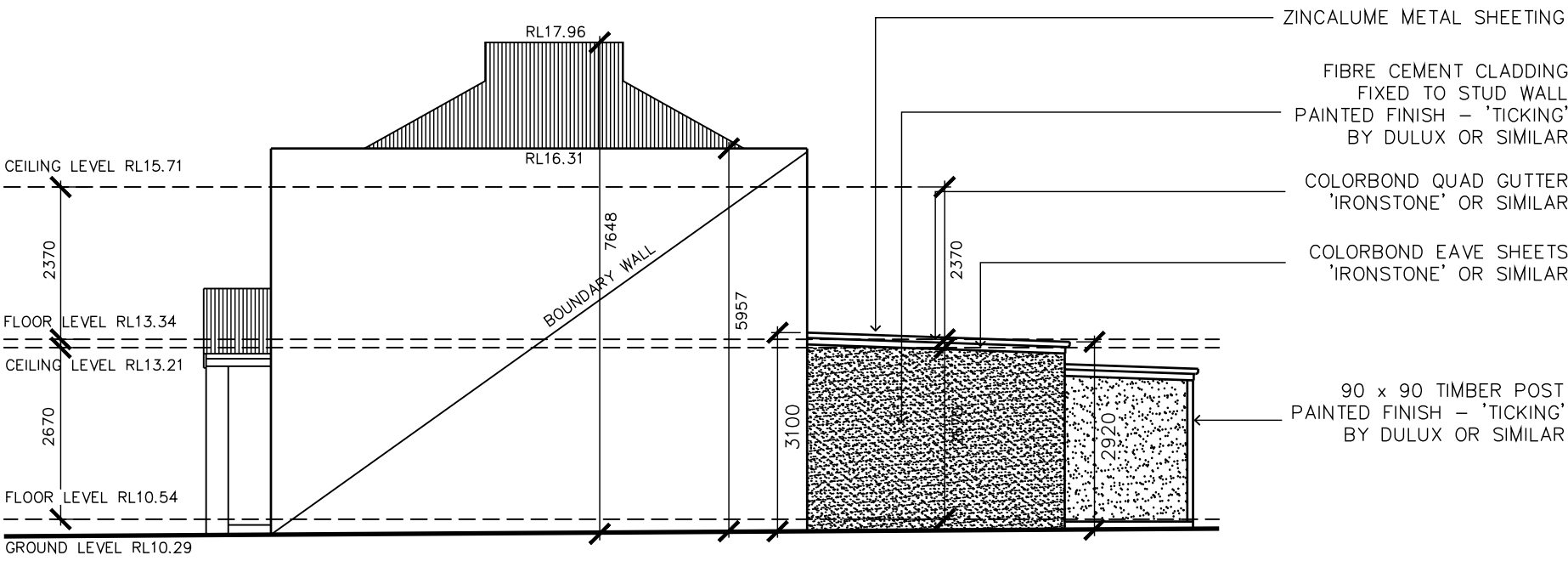
EXISTING SOUTHWEST ELEVATION
SCALE 1:100



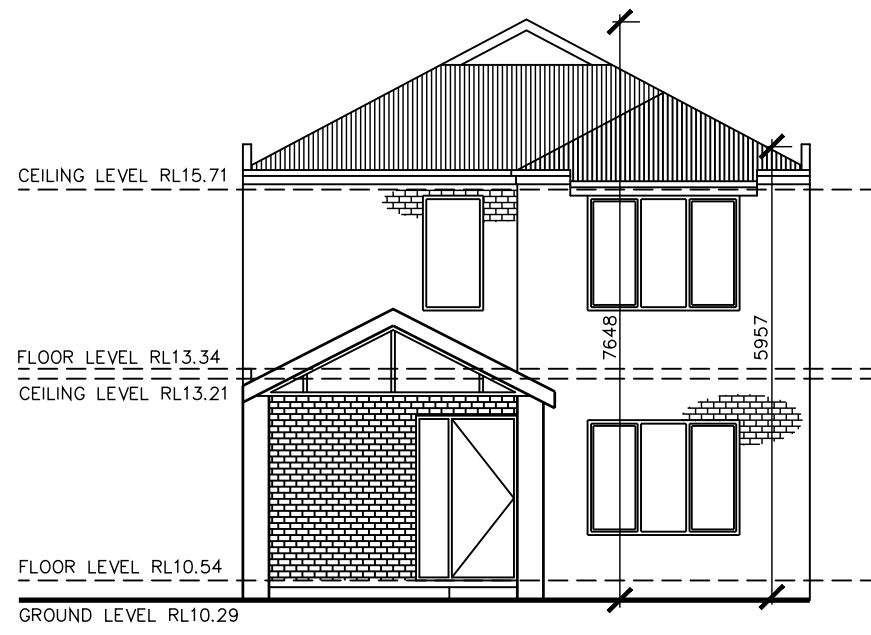
PROPOSED SOUTHWEST ELEVATION
SCALE 1:100



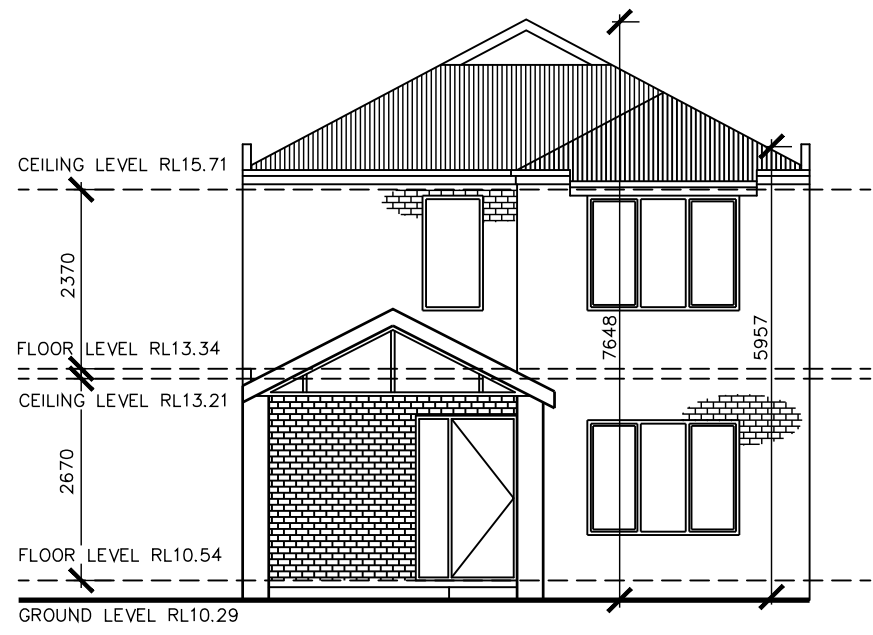
EXISTING NORTHEAST ELEVATION
SCALE 1:100



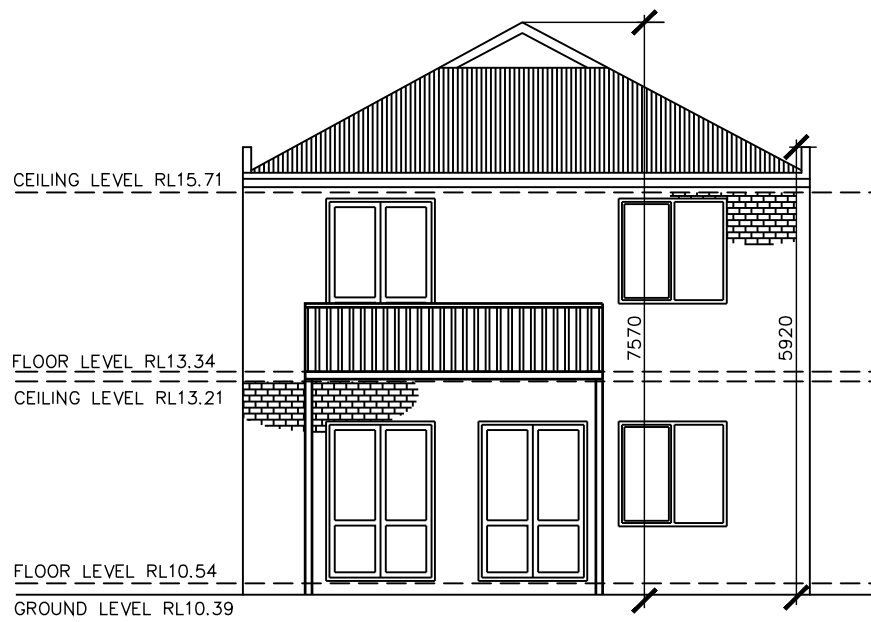
PROPOSED NORTHEAST ELEVATION
SCALE 1:100



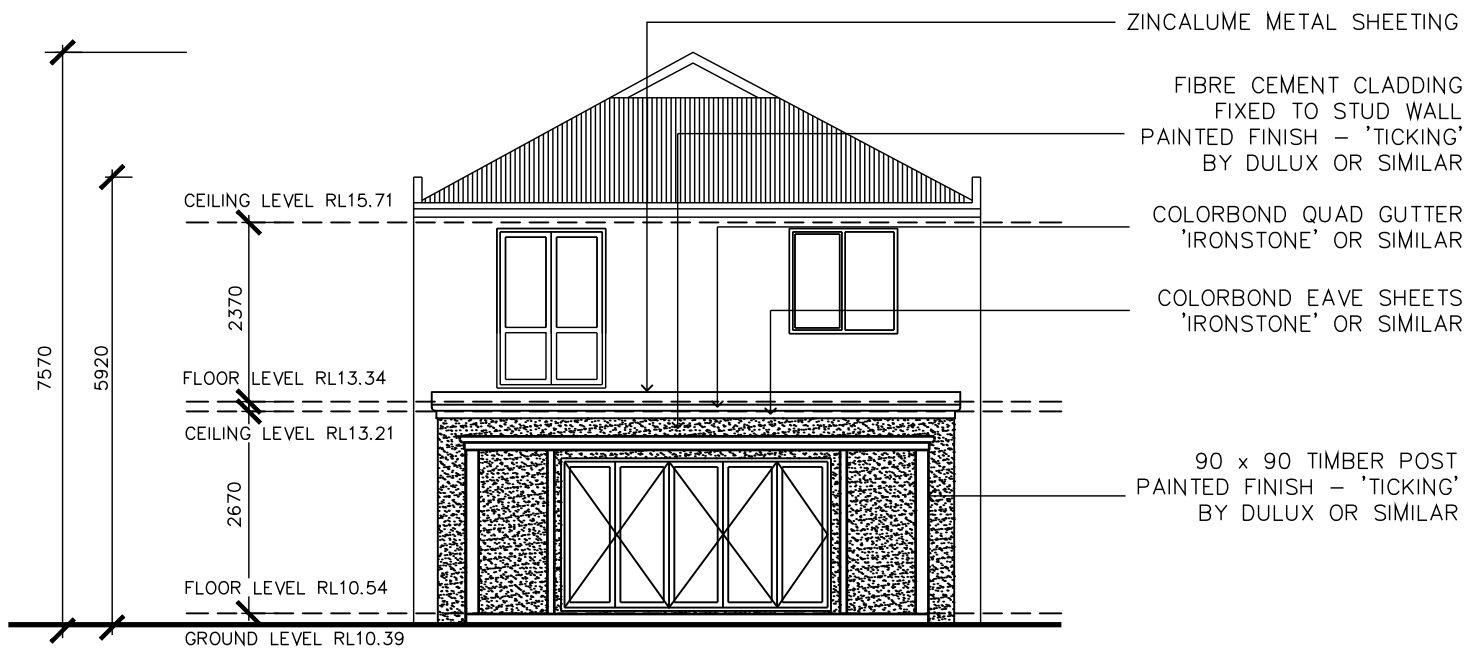
EXISTING SOUTHEAST ELEVATION
SCALE 1:100



PROPOSED SOUTHEAST ELEVATION (NO CHANGE)
SCALE 1:100



EXISTING NORTHWEST ELEVATION
SCALE 1:100



PROPOSED NORTHWEST ELEVATION
SCALE 1:100

COLOURS AND MATERIALS SCHEDULE		
MATERIAL	COLOUR	SWATCH
EXTERNAL WALL PAINTED FINISH TO CLADDED WALLS	TICKING BY DULUX OR SIMILAR	
POSTS PAINTED FINISH TO TIMBER POSTS	TICKING BY DULUX OR SIMILAR	
ROOFING ZINCALUME CORRUGATED	NATURAL	
FASCIA, CAPPING & WINDOW FRAMES PAINTED	IRONSTONE BY C/BOND OR SIMILAR	

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DRAWING
Existing & Proposed Elevations

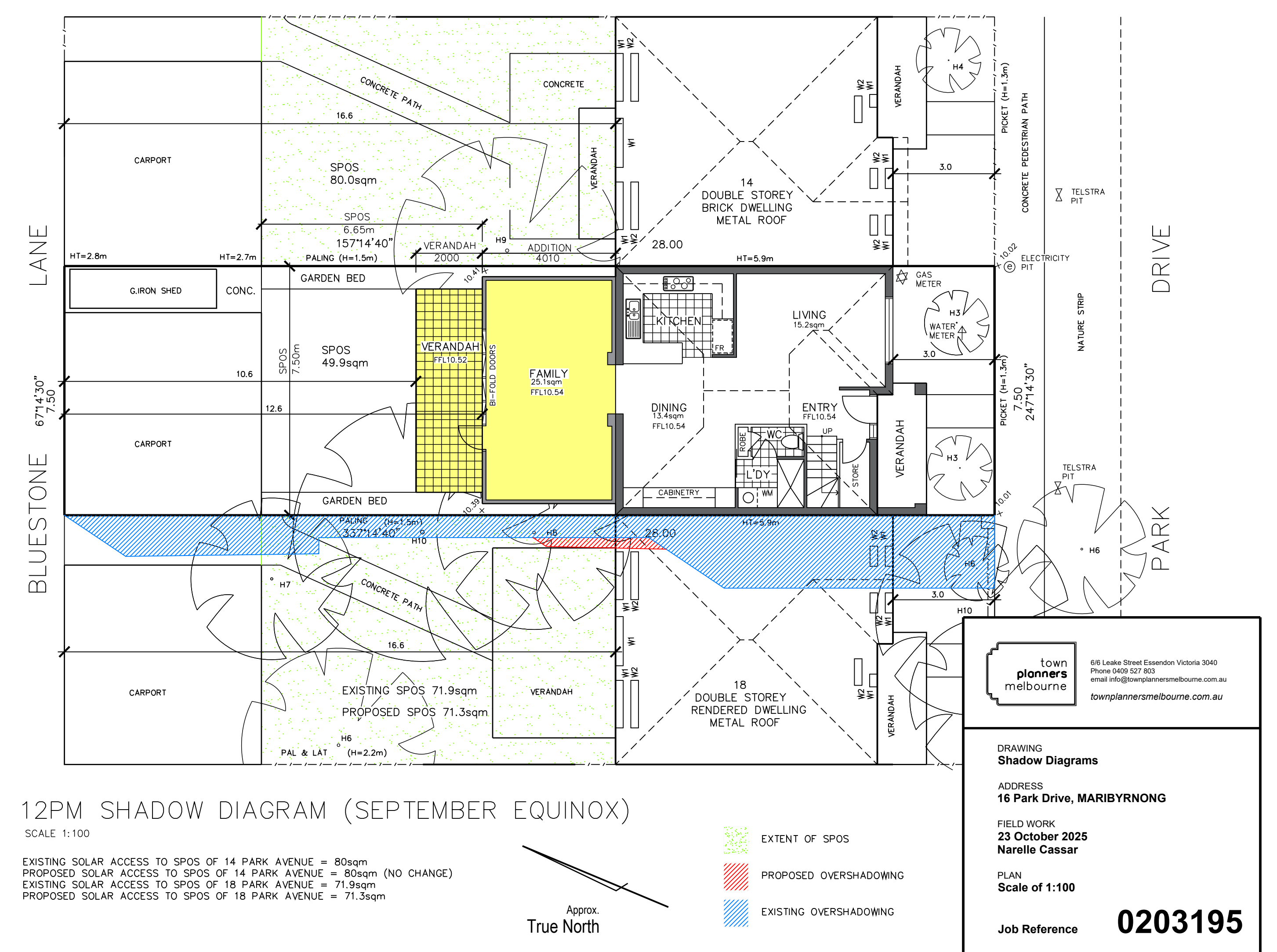
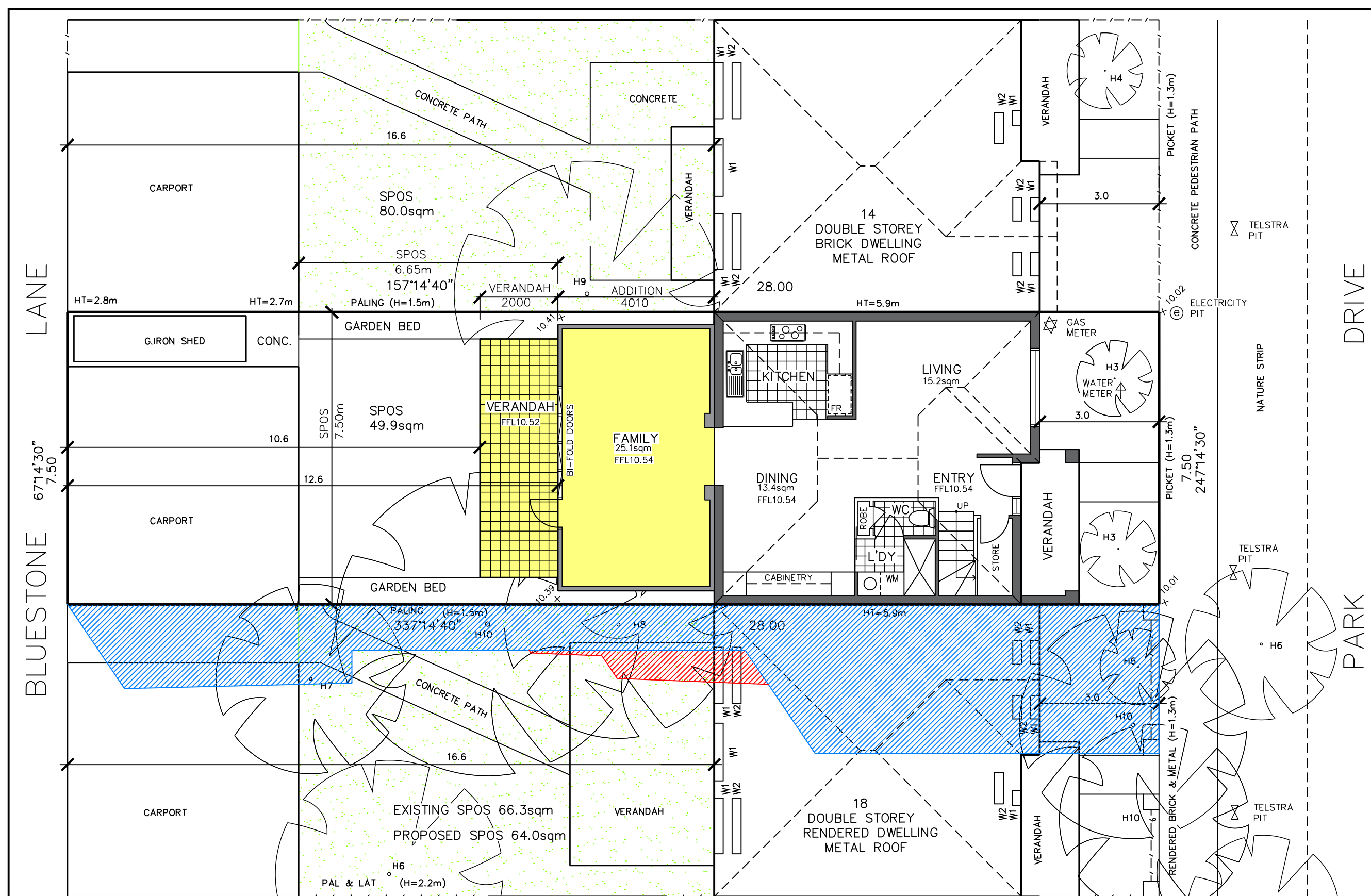
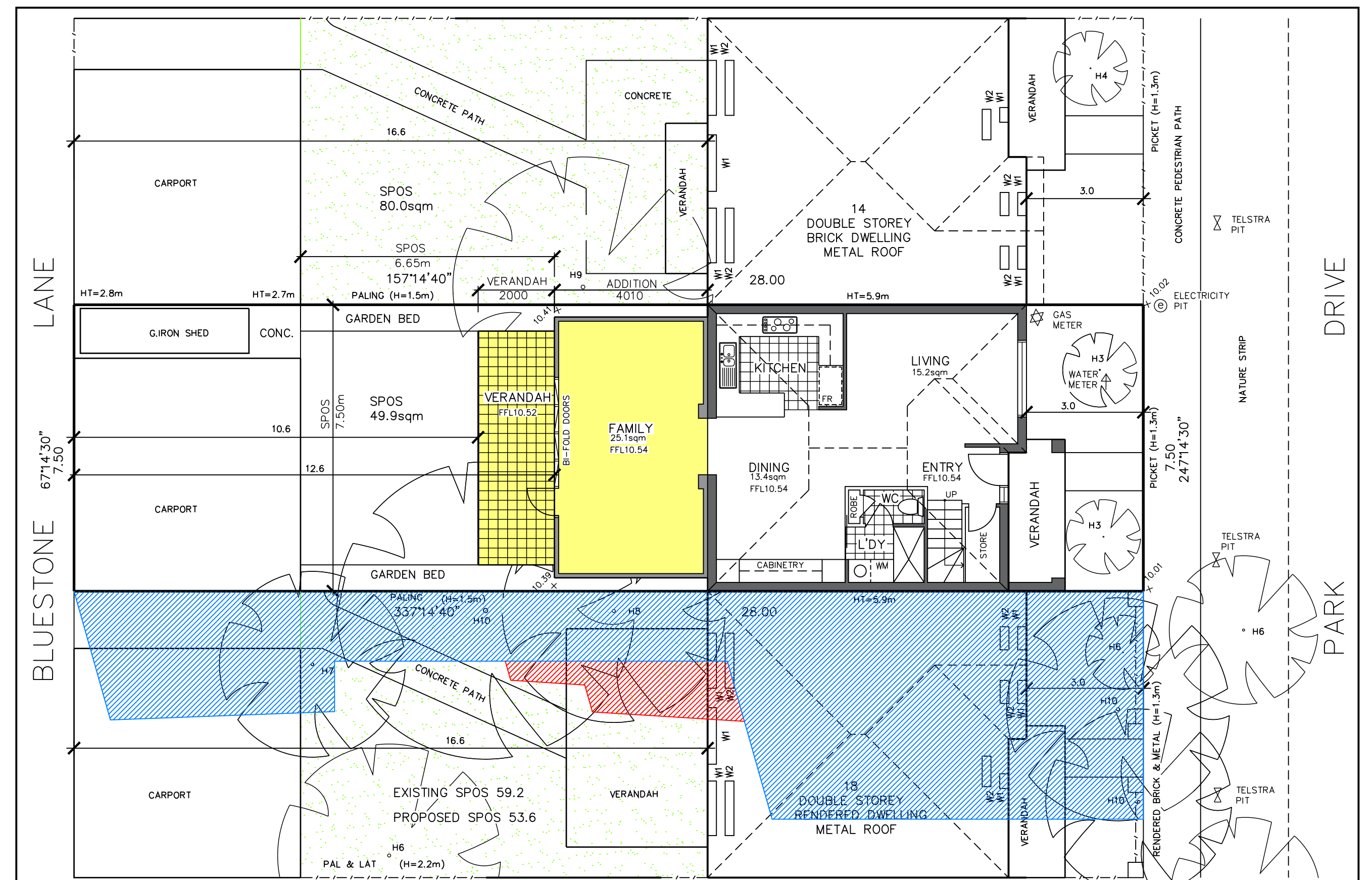
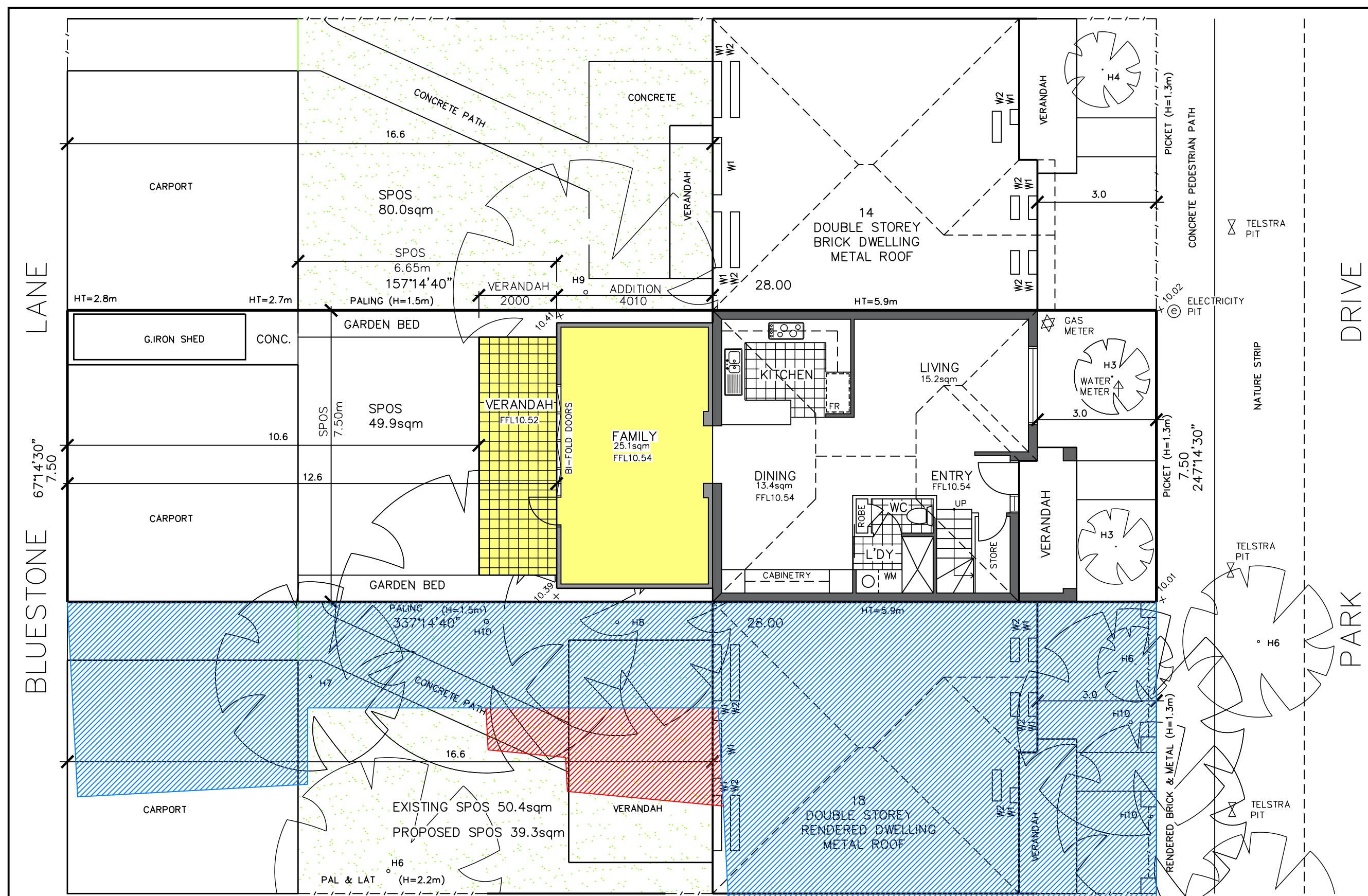
ADDRESS
16 Park Drive, MARIBYRNONG

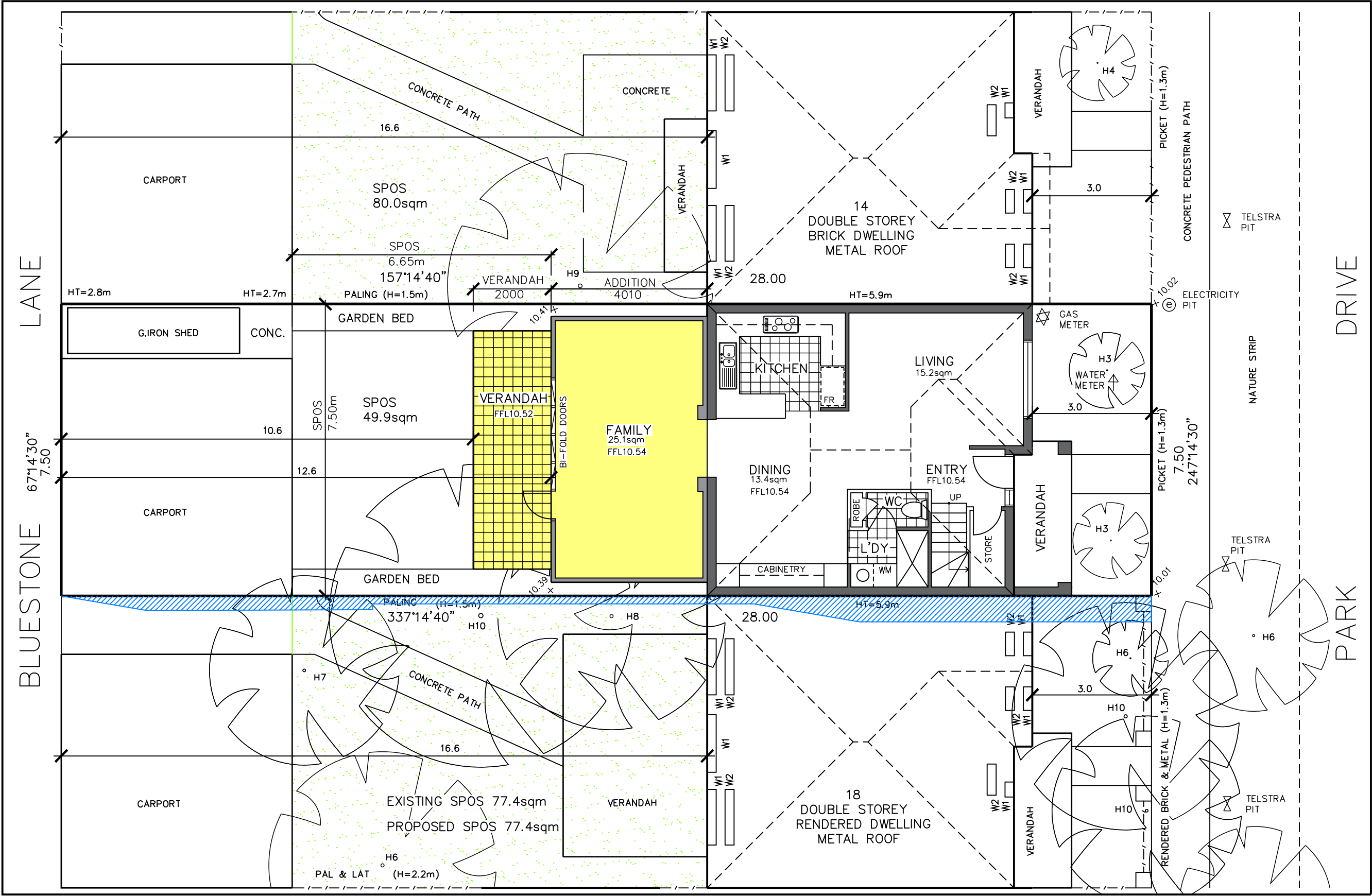
FIELD WORK
23 October 2025
Narelle Cassar

PLAN
Scale of 1:100

Job Reference

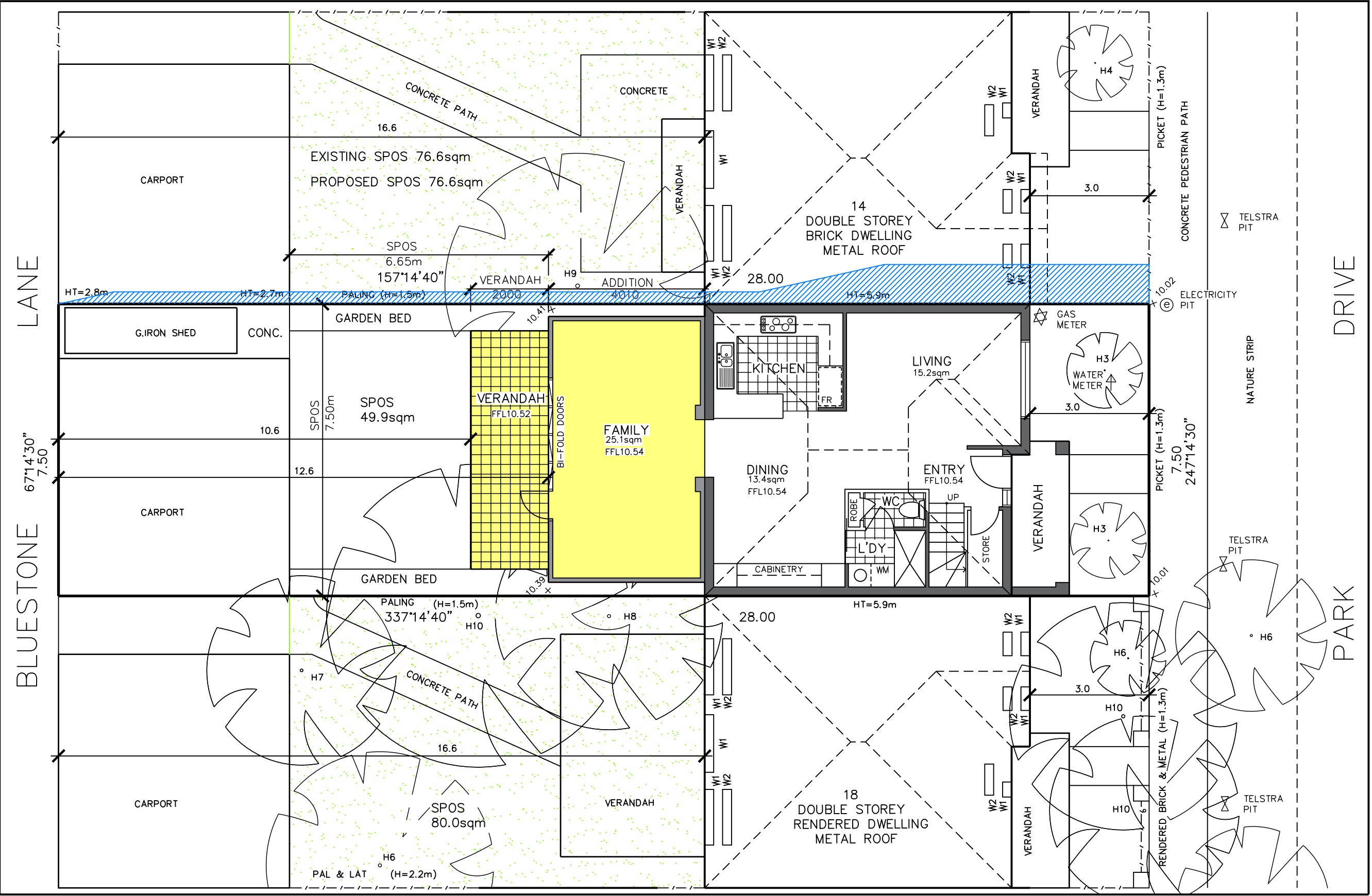
0203195





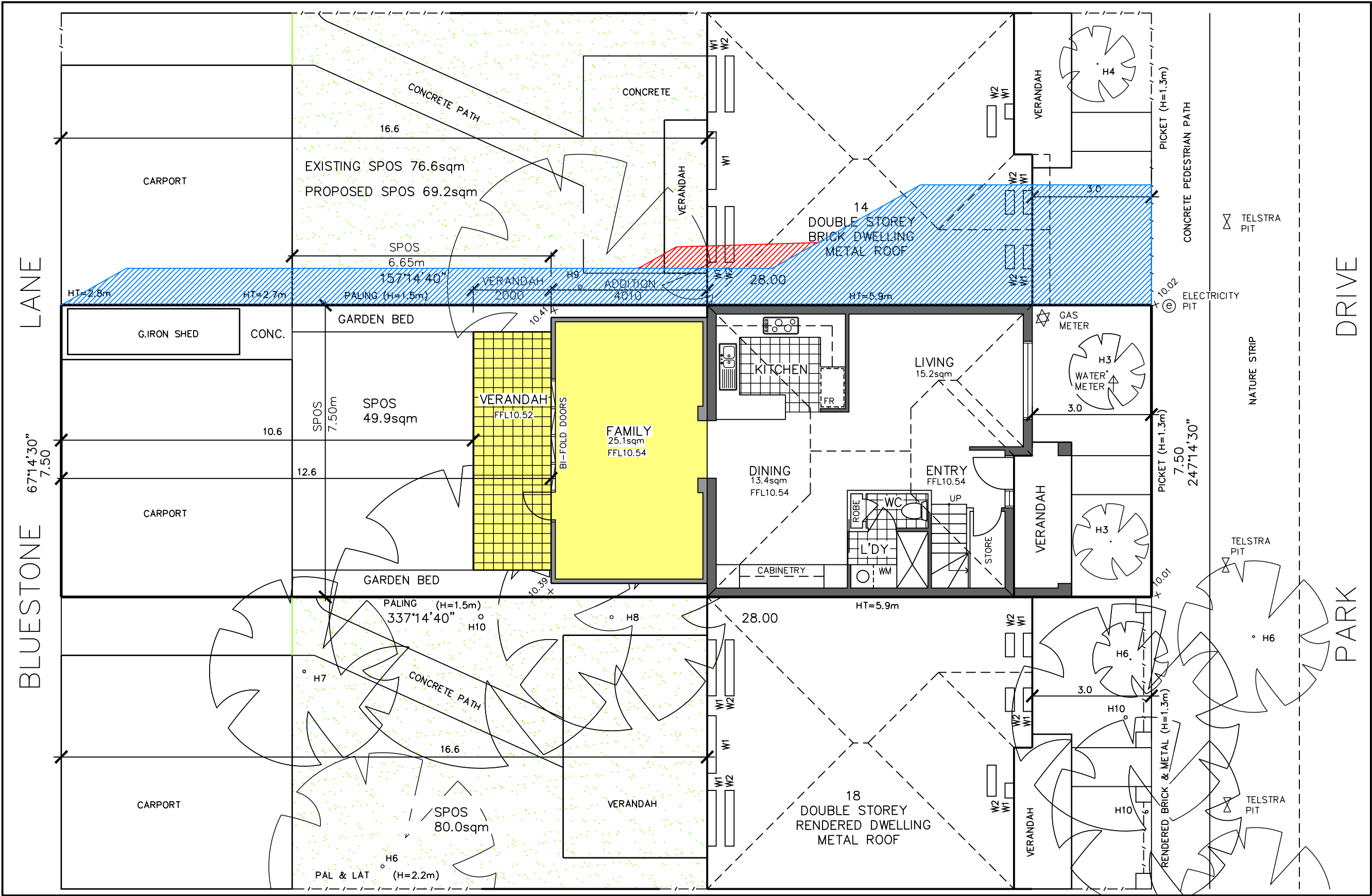
1PM SHADOW DIAGRAM (SEPTEMBER EQUINOX)
SCALE 1:100

EXISTING SOLAR ACCESS TO SPOS OF 14 PARK AVENUE = 80sqm
PROPOSED SOLAR ACCESS TO SPOS OF 14 PARK AVENUE = 80sqm (NO CHANGE)
EXISTING SOLAR ACCESS TO SPOS OF 18 PARK AVENUE = 77.4sqm
PROPOSED SOLAR ACCESS TO SPOS OF 18 PARK AVENUE = 77.4sqm (NO CHANGE)



2PM SHADOW DIAGRAM (SEPTEMBER EQUINOX)
SCALE 1:100

EXISTING SOLAR ACCESS TO SPOS OF 14 PARK AVENUE = 76.6sqm
PROPOSED SOLAR ACCESS TO SPOS OF 14 PARK AVENUE = 76.6sqm (NO CHANGE)
EXISTING SOLAR ACCESS TO SPOS OF 18 PARK AVENUE = 80sqm
PROPOSED SOLAR ACCESS TO SPOS OF 18 PARK AVENUE = 80sqm (NO CHANGE)



3PM SHADOW DIAGRAM (SEPTEMBER EQUINOX)
SCALE 1:100

EXISTING SOLAR ACCESS TO SPOS OF 14 PARK AVENUE = 50.4sqm
PROPOSED SOLAR ACCESS TO SPOS OF 14 PARK AVENUE = 59.3sqm
EXISTING SOLAR ACCESS TO SPOS OF 18 PARK AVENUE = 80sqm
PROPOSED SOLAR ACCESS TO SPOS OF 18 PARK AVENUE = 80sqm (NO CHANGE)

OVERSHADOWING SUMMARY

TIME	14 PARK AVENUE				18 PARK AVENUE			
	EXISTING OVERSHADOWING	PROPOSED OVERSHADOWING	CHANGE (sqm)	CHANGE (%)	EXISTING OVERSHADOWING	PROPOSED OVERSHADOWING	CHANGE (sqm)	CHANGE (%)
9am	80.0	80.0	0.00	0.00%	50.4	39.3	11.1	27.41%
10am	80.0	80.0	0.00	0.00%	59.2	53.6	5.60	0.09%
11am	80.0	80.0	0.00	0.00%	66.3	64.0	2.30	0.03%
12pm	80.0	80.0	0.00	0.00%	71.9	71.3	0.60	0.01%
1pm	80.0	80.0	0.00	0.00%	77.4	77.4	0.00	0.00%
2pm	76.6	76.6	0.00	0.00%	80.0	80.0	0.00	0.00%
3pm	76.6	69.2	7.40	0.97%	80.0	80.0	0.00	0.00%

REDUCED SOLAR ACCESS

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DRAWING
Shadow Diagrams

ADDRESS
16 Park Drive, MARIBYRNONG

FIELD WORK
23 October 2025
Narelle Cassar

PLAN
Scale of 1:100

Job Reference

0203195