

PROPOSED DUAL OCCUPANCY
No. 35 FISHER STREET, MAIDSTONE
FOR: VV CONSTRUCTIONS

1 OF 7	CLAUSE 55 WRITTEN STATEMENT CHECKLIST
2 OF 7	PROPOSED SITE & GROUND FLOOR PLANS
3 OF 7	PROPOSED FIRST FLOOR PLANS
4 OF 7	PROPOSED ELEVATIONS
5 OF 7	ROOF PLAN & W.S.U.D / STORMWATER PLAN
6 OF 7	GARDEN AREA & SITE PERMEABILITY PLAN
7 OF 7	CROSS-VENTILATION AND TREE CANOPY COVERAGE PLAN
S1 OF S8	STREETSCAPE ELEVATIONS
S2 OF S8	SHADOW DIAGRAMS - 9:00 AM
S3 OF S8	SHADOW DIAGRAMS - 10:00 AM
S4 OF S8	SHADOW DIAGRAMS - 11:00 AM
S5 OF S8	SHADOW DIAGRAMS - 12:00 PM
S6 OF S8	SHADOW DIAGRAMS - 1:00 PM
S7 OF S8	SHADOW DIAGRAMS - 2:00 PM
S8 OF S8	SHADOW DIAGRAMS - 3:00 PM
D1 OF D2	SITE ANALYSIS
D2 OF D2	DESIGN RESPONSE
L1 OF L2	LANDSCAPE PLAN
L2 OF L2	PLANTING SCHEDULE, DETAILS & NOTES



3D FACADE PERSPECTIVE
(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE



3D FACADE PERSPECTIVE
(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE

CLAUSE 55 - WRITTEN STATEMENT CHECKLIST

NOT APPLICABLE

TOWNHOUSE AND LOW-RISE CODE			
WRITTEN STATEMENT CHECKLIST			
STANDARD:	IS THE STANDARD FULLY MET?	DOES AN OBJECTOR HAVE A RIGHT OF APPEAL?	IF THE STANDARD IS NOT MET, PROVIDE A WRITTEN STATEMENT THAT INCLUDES AN EXPLANATION OF HOW THE DEVELOPMENT MEETS THE CORRESPONDING OBJECTIVE HAVING REGARD TO THE CORRESPONDING DECISION GUIDELINES
STANDARD B2-1: STREET SETBACK (CLAUSE 55.02-1)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: THE PROPOSED DEVELOPMENT HAS A 4.55m FRONT SETBACK WHICH HAS BEEN ADOPTED FROM THE APPROVED FRONT SETBACK OF 4.55m IN PLANNING PERMIT TP108(2025)(1) FOR THE ADJOINING PROPERTY AT No. 37 FISHER STREET.
STANDARD B2-2: BUILDING HEIGHT (CLAUSE 55.02-2)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: THE PROPOSED DEVELOPMENT HAS A MAXIMUM BUILDING HEIGHT OF 7.70m FROM THE LOWEST POINT AT EXISTING NATURAL GROUND LEVEL.
STANDARD B2-3: SIDE & REAR SETBACKS (CLAUSE 55.02-3)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: THE PROPOSAL SITS WITHIN THE MINIMUM SETBACK REQUIREMENTS.
STANDARD B2-4: WALL ON BOUNDARIES (CLAUSE 55.02-4)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: THE PROPOSED GARAGE WALL ON TITLE BOUNDARY IS UNDER THE MAXIMUM ALLOWABLE HEIGHT OF 3.60m H AND ARE LOWER THAN THE ALLOWABLE AVERAGE OF 3.20m.
STANDARD B2-5: SITE COVERAGE (CLAUSE 55.02-5)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: SITE COVERAGE SITS AT 62.70%, WHICH IS UNDER THE MAXIMUM ALLOWABLE COVERAGE OF 65% IN A GR22 ZONE.
STANDARD B2-6: ACCESS (CLAUSE 55.02-6)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	PARTIALLY COMPLIES: THE PROPOSAL TAKES INTO ACCOUNT AND COMPLIES WITH THE NUMBER AND SIZES OF THE PROPOSED CROSSOVERS TO EACH DWELLING AND IS UNDER THE 40% PERCENTAGE LIMIT HOWEVER, THE PROPOSED GROSSOVER FOR DWELLING 1 ENCRUSTURES 11.05% INTO THE TREE PROTECTION ZONE, WHICH IS NON-COMPLIANT TO THE STANDARD.
STANDARD B2-7: TREE CANOPY (CLAUSE 55.02-7)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: THE PROPOSAL TAKES INTO ACCOUNT SPACE TO ALLOW FOR SUBSTANTIAL AND COMPLIANT LANDSCAPING THAT INCLUDES THE LARGE CANOPY TREES AND THEIR RESPECTIVE SOIL AREA REQUIREMENTS TO ACHIEVE 10.00% MINIMUM COVERAGE.
STANDARD B2-8: FRONT FENCES (CLAUSE 55.02-8)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: PROPOSAL HAS A FRONT FENCE WITH 0.90m HIGH BRICK PIER FENCE WITH POWDERCOATED BLADE / INSERTS WHICH IS COMPLIANT TO THE STANDARD TABLE B2-8.
STANDARD B3-1: DWELLING DIVERSITY (CLAUSE 55.03-1)	☐ YES ☐ NO ☒ N/A TO DUAL-OC.	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	NOT APPLICABLE TO THIS TYPE OF DEVELOPMENT
STANDARD B3-2: PARKING LOCATION (CLAUSE 55.03-2)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: EACH DWELLING HAS GARAGES AND TANDEM CAR SPACES IMMEDIATELY ADJACENT TO SITE FRONTAGE AND AWAY FROM HABITABLE ROOMS
STANDARD B3-3: STREET INTEGRATION (CLAUSE 55.03-3)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: EACH DWELLING HAS DIRECT INTERFACE WITH THE SITE FRONTAGE OF FISHER STREET. THIS ENSURES STREET INTEGRATION AND SUPPORTS PASSIVE SURVEILLANCE OF FISHER STREET
STANDARD B3-4: ENTRY (CLAUSE 55.03-4)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: EACH DWELLINGS ENTRY ZONES HAVE THEIR OWN CLEAR SENSE OF IDENTITY, PROVIDE NATURAL LIGHT, VENTILATION AND WEATHER PROTECTION. THE DWELLING ENTRY ZONES HAVE DIRECT INTERFACE WITH THE SITE FRONTAGE OF FISHER STREET, WHICH ALLOWS A DIRECT LINE OF SIGHT AND ACCESS.
STANDARD B3-5: PRIVATE OPEN SPACE (CLAUSE 55.03-5)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: EACH DWELLING HAS AN ALLOWANCE OF A MINIMUM 25m ² OF S.P.O.S WITH A MINIMUM DIMENSION OF 3.00m AND DIRECT ACCESS FROM A LIVING, DINING OR KITCHEN AREA
STANDARD B3-6: SOLAR ACCESS (CLAUSE 55.03-6)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: EACH DWELLING HAS A SECLUDED PRIVATE OPEN SPACE WHICH RECEIVES ADEQUATE SUNLIGHT ACCESS WHICH ENHANCES THE USABILITY DURING THE DAY.
STANDARD B3-7: FUNCTIONAL LAYOUT (CLAUSE 55.03-7)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: SITE SETBACKS, BUILDING HEIGHTS AND SHADOW DIAGRAMS DEMONSTRATE COMPLIANCE
STANDARD B3-8: ROOM DEPTH (CLAUSE 55.03-8)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: ALL HABITABLE ROOMS AND BEDROOM SIZES ENSURE MINIMUM REQUIREMENTS ARE SATISFIED. REFER TO TABLE TO THE RIGHT DEMONSTRATING COMPLIANCE.
STANDARD B3-9: DAYLIGHT TO NEW WINDOWS (CLAUSE 55.03-9)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: DAYLIGHT ALLOWANCE TO NEW WINDOWS IS SATISFIED VIA MINIMUM COMPLIANT BUILDING SETBACKS.
STANDARD B3-10: NATURAL VENTILATION (CLAUSE 55.03-10)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: MINIMUM BREEZE PATH ALLOWANCES AND VENTILATION OPENINGS ACROSS ROOMS ARE PROVIDED. REFER TO DRAWING 7 FOR AIR CROSS-FLOW VENTILATION DIAGRAMS
STANDARD B3-11: STORAGE (CLAUSE 55.03-11)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: A MINIMUM OF 6.00m ² OF EXTERNALLY ACCESSIBLE STORAGE HAS BEEN PROVIDED WITHIN THE GARAGES OF DWELLING 1 AND 2. THIS STORAGE SPACE IS EXTERNALLY ACCESSED FROM THE REAR SECLUDED PRIVATE OPEN SPACES VIA GARAGE DOOR.
STANDARD B3-12: ACCESSABILITY FOR APARTMENTS (CLAUSE 55.03-12)	☐ YES ☐ NO ☒ N/A TO DUAL-OC.	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	NOT APPLICABLE TO THIS TYPE OF DEVELOPMENT
STANDARD B4-1: DAYLIGHT TO EXISTING WINDOWS (CLAUSE 55.04-1)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: DAYLIGHT ALLOWANCE TO EXISTING WINDOWS IS SATISFIED VIA MINIMUM COMPLIANT SETBACKS TO THE PROPOSED DEVELOPMENT.
STANDARD B4-2: EXISTING NORTH-FACING WINDOWS (CLAUSE 55.04-2)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: DAYLIGHT ALLOWANCE TO EXISTING NORTH-FACING HABITABLE WINDOWS IS SATISFIED VIA MINIMUM COMPLIANT SETBACKS TO THE PROPOSED DEVELOPMENT.
STANDARD B4-3: OVERSHADOWING S.P.O.S (CLAUSE 55.04-3)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: THE PROPOSAL ENSURES THERE IS NO SIGNIFICANT OVERSHADOWING TO THE EXISTING S.P.O.S AREAS. REFER TO THE SHADOW DIAGRAM ANALYSIS ON DRAWINGS S2 - S8. NO ADDITIONAL OVERSHADOWING ON ADJOINING PROPERTIES IS GENERATED AT ANY HOUR FROM THE PROPOSED DEVELOPMENT
STANDARD B4-4: OVERLOOKING (CLAUSE 55.04-4)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: THE SITING AND INTERFACES OF THE PROPOSAL ENSURE THAT VIEWS INTO EXISTING S.P.O.S AREAS AND HABITABLE WINDOWS ARE PROTECTED FROM OVERLOOKING AND ARE COMPLIANT.
STANDARD B4-5: INTERNAL VIEWS (CLAUSE 55.04-5)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: THE SITING AND INTERFACES OF THE PROPOSAL ENSURE THAT INTERNAL VIEWS INTO S.P.O.S AREAS AND HABITABLE WINDOWS WITHIN THE DEVELOPMENT ARE PROTECTED AND COMPLIANT.
STANDARD B5-1: PERMEABILITY & STORMWATER MANAGEMENT (CLAUSE 55.05-1)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: THE DEVELOPMENT ENSURE A COMPLIANT PERMEABILITY FIGURES AND BEST STORMWATER MANAGEMENT PRACTICES. REFER TO THE STORMWATER ASSESSMENT PLAN OF DRAWING 5.
STANDARD B5-2: OVERSHADOWING DOMESTIC SOLAR SYSTEMS (CLAUSE 55.05-2)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	COMPLIES: THERE IS NO SOLAR PANEL SYSTEM ON THE ADJOINING PROPERTIES AND THE PROPOSAL SITS WITHIN THE MINIMUM SETBACK REQUIREMENTS FOR SOLAR ACCESS REQUIREMENTS.
STANDARD B5-3: ROOFTOP SOLAR ENG. GENERATION AREA (CLAUSE 55.05-3)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: A MINIMUM ROOF AREA ALLOWANCE OF 34.00m ² IS AVAILABLE TO BOTH DWELLING 1 AND DWELLING 2 FOR THE FUTURE INSTALLATION OF A SOLAR PHOTOVOLTAIC SYSTEM. REFER TO ROOF PLAN.
STANDARD B5-4: SOLAR PROTECTION TO NEW NORTH WINDOWS (CLAUSE 55.05-4)	☐ YES ☒ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	DOES NOT COMPLY: FIXED SHADING DEVICES HAVE NOT BEEN PROVIDED TO NORTH-FACING WINDOWS AS THE NOMINATED WINDOWS WOULD REQUIRE 900mm DEEP ELEMENTS (WINDOW SIZE < 0.25) WHICH WOULD NEGATIVELY VISUALLY IMPACT THE STREETSCAPE AND BE VERY DIFFICULT TO STRUCTURALLY SECURE.
STANDARD B5-5: WASTE AND RECYCLING (CLAUSE 55.05-5)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: AN INDIVIDUAL EXTERNAL BIN STORAGE AREA OF 1.80m ² HAS BEEN PROVIDED FOR EACH DWELLING AS WELL AS AN INTERNAL WASTE AND RECYCLING SPACE WITH A MINIMUM CUBIC SPACE OF 0.07m ³ WITH A MINIMUM DEPTH OF 250mm. REFER TO TYPICAL DETAILS FOR MORE INFO.
STANDARD B5-6: NOISE IMPACT (CLAUSE 55.05-6)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	COMPLIES: NO SUCH MECHANICAL EQUIPMENT ARE PRESENT WITHIN THE DEVELOPMENT
STANDARD B5-7: ENERGY EFFICIENCY FOR APARTMENTS (CLAUSE 55.05-7)	☐ YES ☐ NO ☒ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	NOT APPLICABLE TO THIS TYPE OF DEVELOPMENT

STANDARD B3-7: FUNCTIONAL LAYOUT			
ROOM SIZE COMPLIANCE:			
DWELLING 1:			
ROOM TYPE:	DIMENSION:	MINIMUM REQUIRED SIZE:	COMPLIES:
MAIN / MASTER BED ROOM (BED ROOM 1)	3.50 m W x 3.50m D	3.00 m W x 3.40m D	YES
BED ROOM 02	4.35 m W x 3.00m D	3.00 m W x 3.00m D	YES
BED ROOM 03	3.50 m W x 3.00m D	3.00 m W x 3.00m D	YES
GUEST BED ROOM	4.00 m W x 3.35m D	3.00 m W x 3.00m D	YES
FAMILY LIVING AREA	6.24 m W x 5.29m D	3.6 m W (MINIMUM 12.00m2)	YES
RETREAT	4.39 m W x 3.28m D	3.6 m W (MINIMUM 12.00m2)	YES
DWELLING 2:			
ROOM TYPE:	DIMENSION:	MINIMUM REQUIRED SIZE:	COMPLIES:
MAIN / MASTER BED ROOM (BED ROOM 1)	3.50 m W x 4.10m D	3.00 m W x 3.40m D	YES
BED ROOM 02	4.35 m W x 3.50m D	3.00 m W x 3.00m D	YES
BED ROOM 03	4.39 m W x 3.61m D	3.00 m W x 3.00m D	YES
GUEST BED ROOM	4.00 m W x 3.35m D	3.00 m W x 3.00m D	YES
FAMILY LIVING AREA	6.24 m W x 5.29m D	3.6 m W (MINIMUM 12.00m2)	YES
RETREAT	4.39 m W x 3.70m D	3.6 m W (MINIMUM 12.00m2)	YES
NOTE: ALL ROOM SIZES ARE EXCLUSIVE OF ANY DEDICATED STORAGE SPACES SUCH AS WARDROBES, CABINETY, LINEN ETC.....			

CLAUSE 52.37 - CANOPY TREES

PURPOSE: TO PROTECT AND ENHANCE CANOPY TREE COVER TO SUPPORT GREENER AND COOLER RESIDENTIAL AREAS. TO MAXIMISE THE RETENTION OF EXISTING CANOPY TREE COVER WHERE NO DEVELOPMENT IS PROPOSED. TO ENSURE THAT DEVELOPMENT IS DESIGNED TO MAXIMISE THE RETENTION AND LONG-TERM HEALTH OF EXISTING AND NEW CANOPY TREES AND CONTRIBUTES TO INCREASING CANOPY TREE COVER. TO BALANCE THE RETENTION OF EXISTING CANOPY TREES AND RESIDENTIAL DEVELOPMENT TO MEET THE HOUSING NEEDS OF VICTORIA'S GROWING POPULATION. TO ENCOURAGE CANOPY TREE COVER THAT IS SITE AND CLIMATE RESPONSIVE AND SUPPORTS THE LOCAL ENVIRONMENT. MEANING OF TERMS IN CLAUSE 52.37: CANOPY TREE MEANS A TREE THAT HAS: - A HEIGHT OF MORE THAN 5 METRES ABOVE GROUND LEVEL; AND - A TRUNK CIRCUMFERENCE OF MORE THAN 0.5 METRES, MEASURED AT 1.4 METRES ABOVE GROUND LEVEL; AND - A CANOPY DIAMETER OF AT LEAST 4 METRES; BOUNDARY CANOPY TREE MEANS A CANOPY TREE IF ANY PART OF ITS TRUNK IS WITHIN: - 6 METRES OF THE NARROWEST STREET FRONTAGE OF A LOT; OR - 4.5 METRES OF THE REAR BOUNDARY OF A LOT; NEW CANOPY TREE MEANS A CANOPY TREE PROPOSED TO BE PLANTED. IT MUST BE A SPECIES AND TYPE THAT WILL, AT MATURITY, HAVE: - AN EXPECTED HEIGHT OF AT LEAST 6 METRES ABOVE GROUND LEVEL; AND - AN EXPECTED CANOPY DIAMETER OF AT LEAST 4 METRES. RESPONSE: UNDER CLAUSE 52.37, THIS APPLICATION SEEKS CONSENT TO REMOVE ONE (1) TREE1, WHICH IS LOCATED WITHIN THE THE REAR 4.5-METRE SETBACK HOWEVER, THIS TREE IS NOT CLASSIFIED AS A LARGE CANOPY TREE AS DEFINED IN CLAUSE 52.37 AND IS NOT SUBJECT TO THIS REQUIREMENTS. IN ACCORDANCE WITH STANDARD B2-7, THE PROPOSAL PROVIDES 10% CANOPY COVERAGE THROUGH THE INCLUSION OF 4 x TYPE A CANOPY TREES, WHICH SUFFICIENTLY OFFSETS THE LOSS OF BOTH TREES. REFER TO 'TREE CANOPY COVERAGE PLAN' ON DRAWING 7 OF 7 FOR FURTHER DETAILS.

CLAUSE 52.06 - CAR PARKING ASSESSMENT:

STATUTORY CAR PARKING REQUIREMENTS APPLICABLE TO THE SUBJECT SITE ARE OUTLINED IN CLAUSE 52.06 OF THE MARIBYRNONG PLANNING SCHEME.
THE SITE IS SITUATED IN THE 'CATEGORY 2' CAR PARKING AREA AND IS SUBJECT TO THE APPLICABLE RATES FOR THIS.
THE STATUTORY PARKING REQUIREMENTS ARE SET OUT IN TABLE 1 BELOW:

Table 1: Car parking requirement					
Land use	Measure	Category 1 (Minimum Requirement)	Category 2 (Minimum Requirement)	Category 3 (Minimum and Maximum Requirement)	Category 4 (Maximum Requirement)
Dwelling	To each dwelling	1.2	1	0 - minimum 2 - maximum	2

IT CAN BE SEEN THERE IS A REQUIREMENT OF 1 CAR SPACE PER DWELLING, WHICH IS MET BY THE PROPOSED SUPPLY AND ALLOCATION OF PARKING.

SUBJECT SITE

OVERVIEW

THE SUBJECT SITE IS LOCATED AT 35 FISHER STREET, MAIDSTONE 3012 AND IS LOCATED WITHIN AN ESTABLISHED RESIDENTIAL SETTING UNDER MARIBYRNONG CITY COUNCIL IN MELBOURNE'S INNER WESTERN SUBURBS.
THE SITE IS LOCATED WITHIN A GENERAL RESIDENTIAL ZONE (GR22).

THE PROPOSAL IS FOR TWO (2) DOUBLE STOREY DWELLINGS ON THE PROPERTY AND WILL DEMONSTRATE SUFFICIENT MERIT FOR PLANNING APPROVAL FROM MARIBYRNONG CITY COUNCIL.

IN ITS CURRENT STATE, THE SUBJECT SITE IS CURRENTLY OCCUPIED AND HAS A SINGLE-STOREY WEATHERBOARD HOUSE AND GARAGE / STORAGE SHED TO THE SOUTH OF THE PROPERTY .

SITE SIZE & ORIENTATION



THE SUBJECT SITE IS 524.00msq, WITH AN OVERALL LENGTH OF 33.76m. AND OVERALL WIDTH OF 15.24m. THE SITE IS ORIENTATED NORTH (FISHER STREET - FRONT) TO SOUTH (REAR)

CERTIFICATE OF TITLE

THE SUBJECT SITE IS FORMALLY KNOWN AS LOT 15 ON LP7947 AND GENERALLY KNOWN AS: 35 FISHER STREET, MAIDSTONE 3012

THERE IS A NO COVENANT ON TITLE.
THE PROPOSAL DOES NOT BREACH IN ANY WAY, AN ENCUMBRANCE ON TITLE SUCH AS A RESTRICTIVE COVENANT, SECTION 173 AGREEMENT OR OTHER OBLIGATION SUCH AS AN EASEMENT OR BUILDING ENVELOPE.

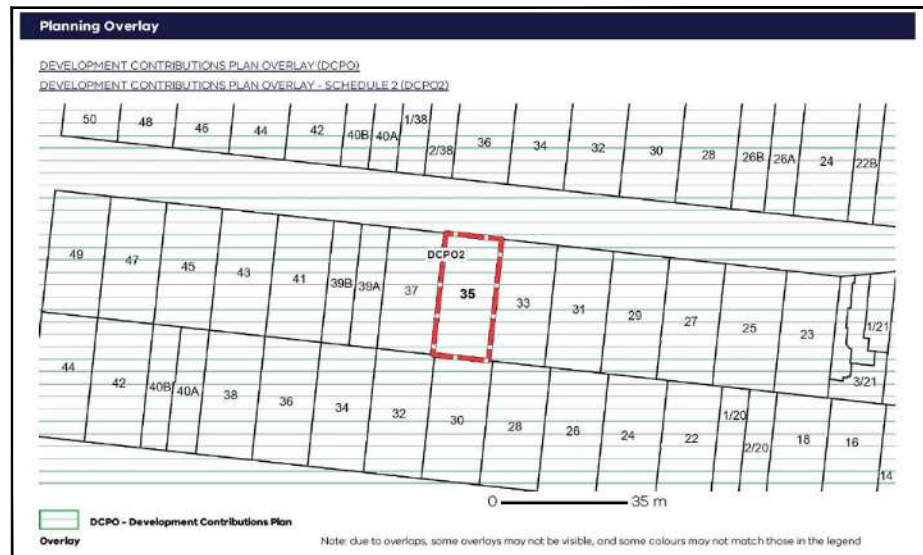
ZONES & OVERLAYS

- GENERAL RESIDENTIAL ZONE (GRZ)
- GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)



DCPO OVERLAY

- DEVELOPMENT CONTRIBUTION PLAN OVERLAY (DCPO)
- DEVELOPMENT CONTRIBUTION PLAN OVERLAY - SCHEDULE 2 (DCPO2)



THE SITE IS ALSO AFFECTED BY THE DEVELOPMENT CONTRIBUTIONS OVERLAY SCHEDULE 2. THE PURPOSE OF THE OVERLAY IS AS FOLLOWS:

- TO IMPLEMENT THE MUNICIPAL PLANNING STRATEGY AND THE PLANNING POLICY FRAMEWORK.
- TO IDENTIFY AREAS WHICH REQUIRE THE PREPARATION OF A DEVELOPMENT CONTRIBUTIONS PLAN FOR THE PURPOSE OF LEVYING CONTRIBUTIONS FOR THE PROVISION OF WORKS, SERVICES AND FACILITIES BEFORE DEVELOPMENT CAN COMMENCE.

NOTE: THIS OVERLAY IS ASSOCIATED WITH COSTS NEEDED TO SUPPORT AND DEVELOP COUNCIL & PUBLIC INFRASTRUCTURE & HAS NO BEARING IN THIS PLANNING APPLICATION.

REV A 26.05.2026
REV B 12.06.2026
REV C 24.06.2026

TOWN PLANNING SUBMISSION SET
REQUEST FOR FURTHER INFORMATION SET
SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY
**AT: 35 FISHER STREET,
MAIDSTONE**
FOR: WV CONSTRUCTIONS

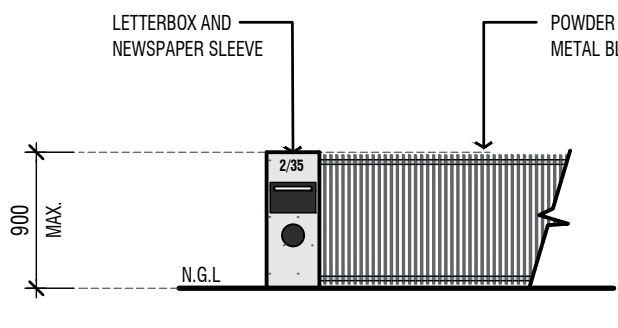
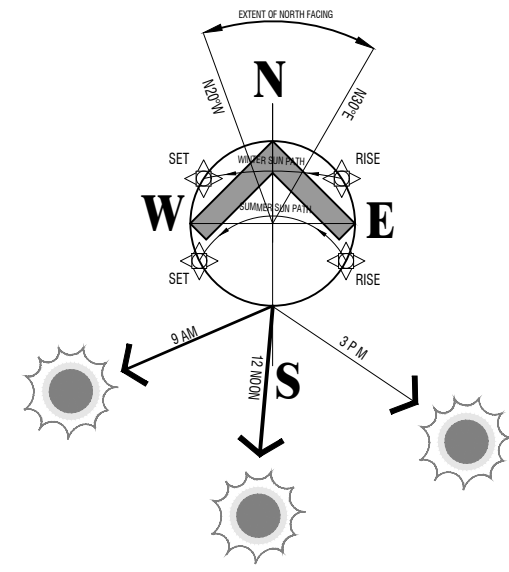
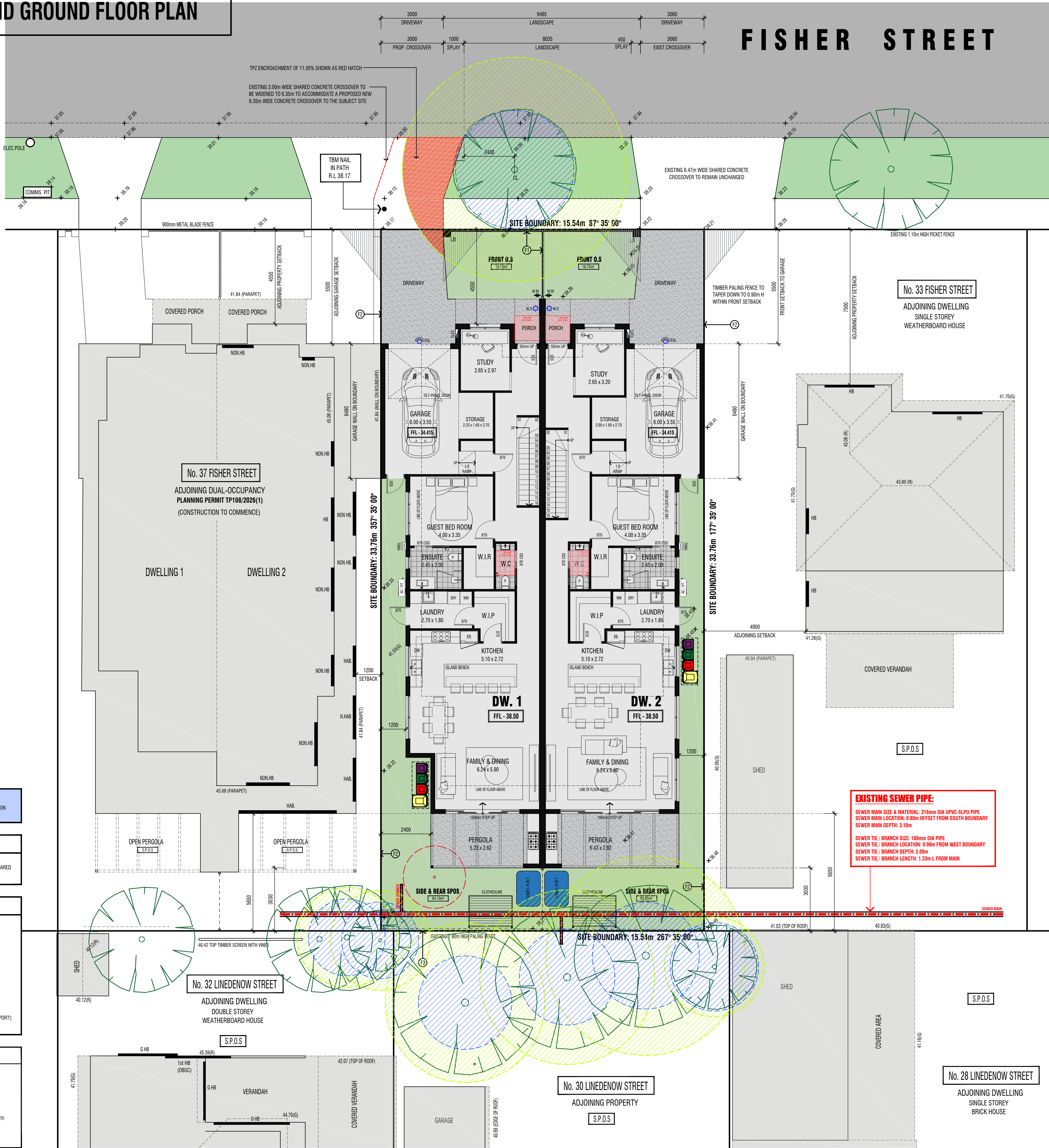
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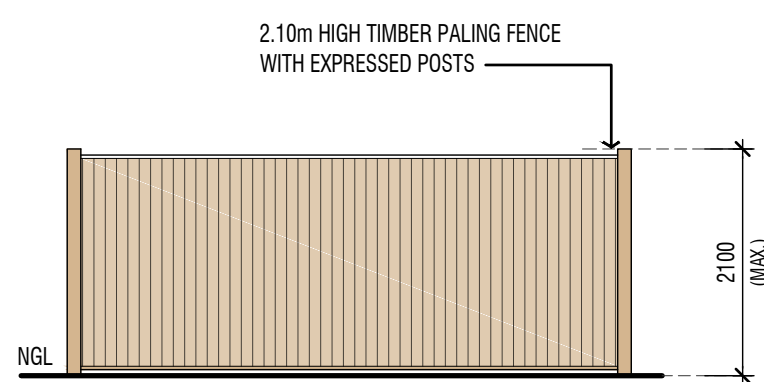
A - 38 Thomas Street, Airport West - 3012
P - 0300 3434
E - enquiries@draftmode.com.au

PROPOSED SITE AND GROUND FLOOR PLAN

SCALE 1:100



TYPICAL FRONT FENCE DETAIL
NOT TO SCALE

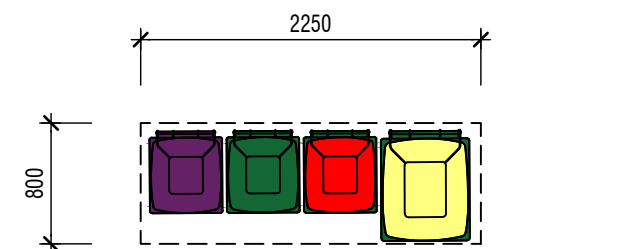


TYPICAL SIDE FENCE DETAIL
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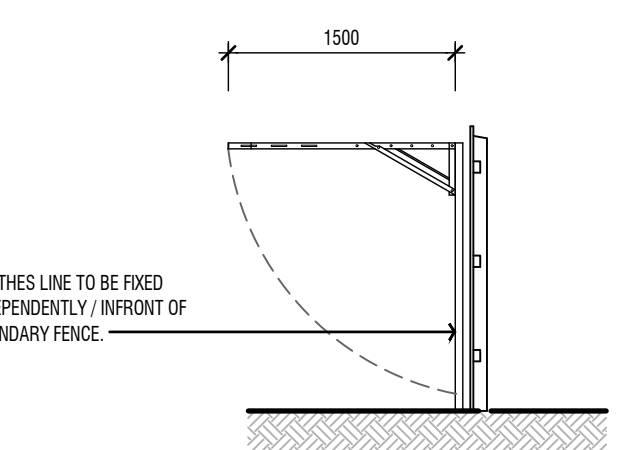
INTERNAL WASTE STORAGE EXAMPLE
EXAMPLE IMAGE

INTERNAL WASTE STORAGE EXAMPLE
EXAMPLE IMAGE



EXTERNAL WASTE STORAGE DETAIL
SCALE 1:50

EXTERNAL WASTE STORAGE DETAIL
SCALE 1:50



RETRACTABLE CLOTHES LINE DETAIL
SCALE 1:50

FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1

GROUND FLOOR: 124.40 msq. / 13.39 SQ's
FIRST FLOOR: 102.65 msq. / 11.05 SQ's
GARAGE: 31.40 msq.
PORCH: 6.30msq.
PERGOLA: 15.15msq.

TOTAL: 279.90 msq. / 30.13 SQ's

FRONT YARD O.S.: 19.10 msq.
SIDE & REAR S.P.O.S.: 63.90 msq.

DWELLING 2

GROUND FLOOR: 128.00 msq. / 13.78 SQ's
FIRST FLOOR: 117.90 msq. / 12.69 SQ's
GARAGE: 31.00 msq.
PORCH: 6.30msq.
PERGOLA: 18.50 msq.

TOTAL: 301.70 msq. / 32.47 SQ's

FRONT YARD O.S.: 18.75 msq.
SIDE & REAR S.P.O.S.: 60.65 msq.

SITE AREA: 524.00 msq.
% LAND COVERAGE WITH O.H.: 325.00 msq. = 62.02 %
(MAXIMUM SITE COVERAGE IN GRZ1/2000 = 65.00%)
% PERMEABILITY: 126.00msq. = 24.04 %
% IMPERMEABILITY: 73.00 msq = 13.94%

GARDEN AREA

SITE AREA: 524.00 msq.
MINIMUM REQUIRED GARDEN AREA FOR SITE (30%) = 157.20 msq.
TOTAL GARDEN AREA = 162.80 msq (31.06%)

DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 138.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,600 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND LANDSCAPE IRRIGATION

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 141.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,600 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND LANDSCAPE IRRIGATION

IMPORTANT BOUNDARY FENCE NOTE:

ANY HEIGHT AND/OR MATERIAL CHANGES TO BOUNDARY FENCING IS A CIVIL MATTER BETWEEN ADJOINING PROPERTIES AND TO REMAIN COMPLIANT WITH THE REQUIREMENTS OF STANDARD 64-4 OF CLAUSE 55.04-4 (OVERLOOKING) OF THE 'TOWNHOUSE & LOW-RISE CODE GUIDELINES'

VISIBILITY SPILAY NOTE:

ACCESSWAYS MUST HAVE A CORNER SPILAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE, TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD.

THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

FENCE LEGEND:

- (F1) PROPOSED 0.90m HIGH POWDERCOATED METAL BLADE FENCE WITH RENDERED BRICK PIERS
- (F2) PROPOSED 2.10m H TIMBER PALING FENCE (TAPERED TO 0.90m H WITHIN FRONT SETBACK)
- (F3) EXISTING 1.90m H TIMBER PALING FENCE (TO REMAIN UNCHANGED)

RETICULATED GAS SERVICE NOTE:

ANY NEW DWELLING PROPOSED MUST NOT BE CONNECTED TO A RETICULATED GAS SERVICE (WITHIN THE MEANING OF CLAUSE 53.03 OF THE RELEVANT PLANNING SCHEME), THE PROPOSED DEVELOPMENT IS TO REMAIN GAS-FREE.

GRADIENT NOTES

- THE GRADES ALONG THE ACCESS RAMP TO BE PROVIDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS
- THE GRADE CHANGES AT THE PROPERTY BOUNDARY TO BE CONFIRMED AND ENSURE THE TRANSITION DOES NOT EXCEED A MIN. 1:8
- A MINIMUM GRADE OF 1:200 FOR INDOOR, AND 1:100 FOR OUTDOOR PARKING AREAS, GRADED TOWARDS A DISCHARGE POINT FOR DRAINAGE
- THE CAR SPACES TO ACHIEVE A 1:20 MAXIMUM GRADE

ALL LEVELS ARE SURVEYED TO AUSTRALIAN HEIGHT DATUM (A.H.D) BY A LICENSED SURVEYOR

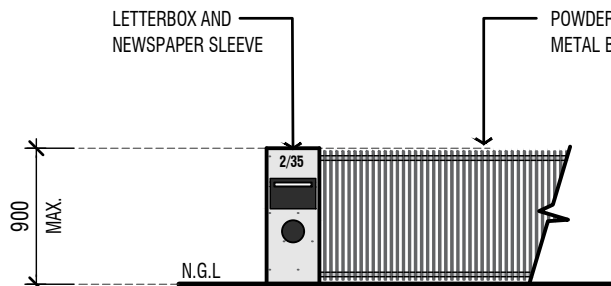
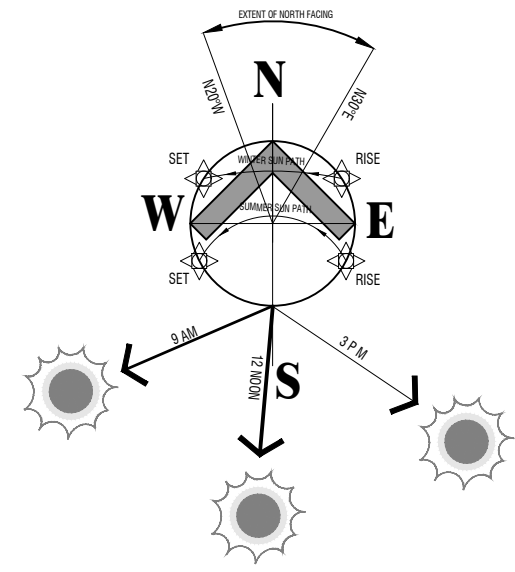
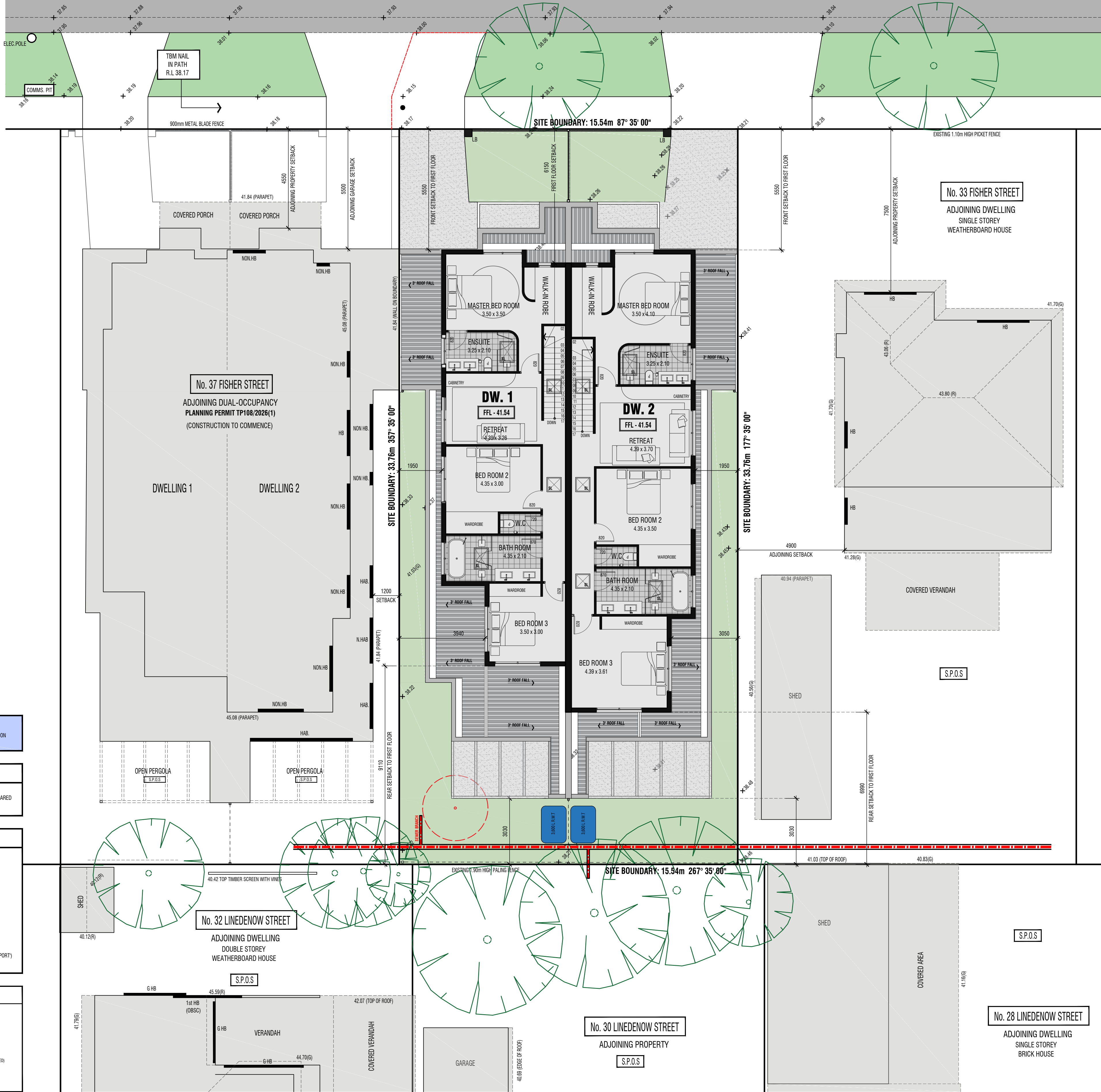
REV A 26.05.2026 TOWN PLANNING SUBMISSION SET
REV B 12.06.2026 REQUEST FOR FURTHER INFORMATION SET
REV C 24.06.2026 SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY AT: 35 FISHER STREET, MAIDSTONE FOR: WV CONSTRUCTIONS

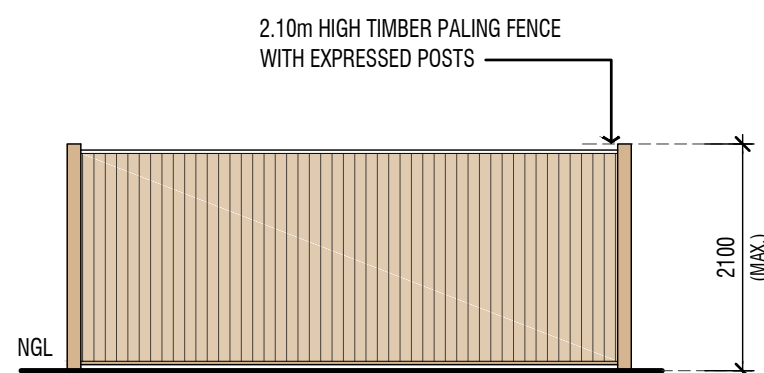
PROPOSED FIRST FLOOR PLAN

SCALE 1:100

FISHER STREET



Ⓕ TYPICAL FRONT FENCE DETAIL
NOT TO SCALE

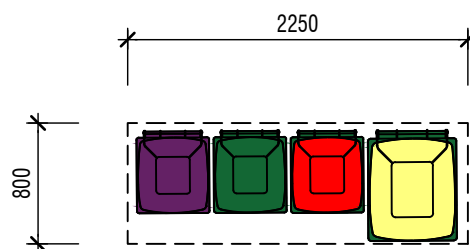


Ⓖ TYPICAL SIDE FENCE DETAIL
NOT TO SCALE



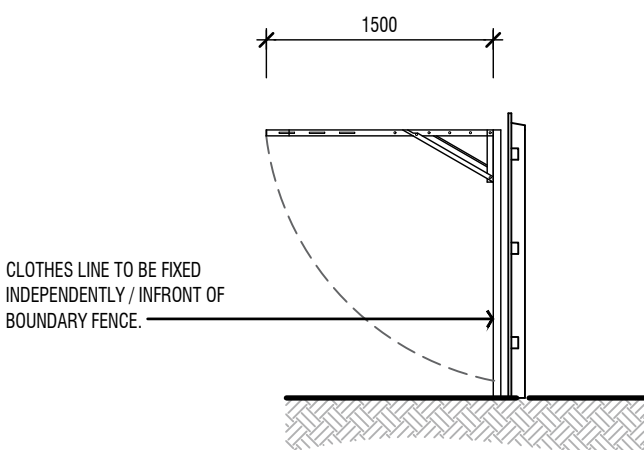
EACH DWELLING IS TO BE PROVIDED WITH AN INTERNAL WASTE AND RECYCLING STORAGE SPACE OF AT LEAST 0.07m² WITH A MINIMUM DEPTH OF 250mm IN ACCORDANCE WITH STANDARD B5-5 OF CLAUSE 55.05-5 OF COUNCIL'S PLANNING SCHEME. REFER TO EXAMPLE IMAGE ABOVE AND FLOOR PLANS FOR LOCATION.

INTERNAL WASTE STORAGE EXAMPLE
EXAMPLE IMAGE



STANDARD B5-5.1: BIN STORAGE
INDIVIDUAL BIN STORAGE AREA TO BE PROVIDED FOR A DWELLING:
MINIMUM REQUIRED AREA: 2.25M L x 0.80M W x 1.80M H

EXTERNAL WASTE STORAGE DETAIL
SCALE 1:50



RETRACTABLE CLOTHES LINE DETAIL
SCALE 1:50

FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1

GROUND FLOOR: 124.40 msq. / 13.39 SQ's
FIRST FLOOR: 102.65 msq. / 11.05 SQ's
GARAGE: 31.40 msq.
PORCH: 6.30msq.
PERGOLA: 15.15msq.

TOTAL: 279.90 msq. / 30.13 SQ's

FRONT YARD O.S.: 19.10 msq.
SIDE & REAR S.P.O.S: 63.90 msq.

DWELLING 2

GROUND FLOOR: 128.00 msq. / 13.78 SQ's
FIRST FLOOR: 117.90 msq. / 12.69 SQ's
GARAGE: 31.00 msq.
PORCH: 6.30msq.
PERGOLA: 18.50 msq.

TOTAL: 301.70 msq. / 32.47 SQ's

FRONT YARD O.S.: 18.75 msq.
SIDE & REAR S.P.O.S: 60.65 msq.

SITE AREA: 524.00 msq.
% LAND COVERAGE WITH O/H: 325.00 msq. = 62.02 %
(MAXIMUM SITE COVERAGE IN GREY ZONE) = 65.90%
% PERMEABILITY: 126.00msq. = 24.04 %
% IMPERMEABILITY: 73.00 msq = 13.94%

GARDEN AREA

SITE AREA: 524.00 msq.
MINIMUM REQUIRED GARDEN AREA FOR SITE (30%) = 157.20 msq.
TOTAL GARDEN AREA = 162.80 msq (31.06%)

DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 138.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,600 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND LANDSCAPE IRRIGATION

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 141.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,600 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND LANDSCAPE IRRIGATION

IMPORTANT BOUNDARY FENCE NOTE:

ANY HEIGHT AND/OR MATERIAL CHANGES TO BOUNDARY FENCING IS A CIVIL MATTER BETWEEN ADJOINING PROPERTIES AND TO REMAIN COMPLIANT WITH THE REQUIREMENTS OF STANDARD 64.4 OF CLAUSE 55.04-4 (OVERLOOKING) OF THE 'TOWNHOUSE & LOW-RISE CODE GUIDELINES

VISIBILITY SPAYL NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)

ACCESSWAYS MUST HAVE A CORNER SPAYL OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXT LAND AND 2.5m ALONG THE EXT LANE FROM THE FRONTAGE, TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD.

THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

FENCE LEGEND:

- Ⓕ PROPOSED 0.90m HIGH POWDERCOATED METAL BLADE FENCE WITH RENDERED BRICK PIERS
- Ⓖ PROPOSED 2.10m H TIMBER PALING FENCE (TAPERED TO 0.90m H WITHIN FRONT SETBACK)
- Ⓖ EXISTING 1.90m H TIMBER PALING FENCE (TO REMAIN UNCHANGED)

RETICULATED GAS SERVICE NOTE:

ANY NEW DWELLING PROPOSED MUST NOT BE CONNECTED TO A RETICULATED GAS SERVICE (WITHIN THE MEANING OF CLAUSE 53.03 OF THE RELEVANT PLANNING SCHEME), THE PROPOSED DEVELOPMENT IS TO REMAIN GAS-FEE.

GRADIENT NOTES

- THE GRADES ALONG THE ACCESS RAMP TO BE PROVIDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS
- THE GRADE CHANGES AT THE PROPERTY BOUNDARY TO BE CONFIRMED AND ENSURE THE TRANSITION DOES NOT EXCEED A MIN. 1:8
- A MINIMUM GRADE OF 1:200 FOR INDOOR, AND 1:100 FOR OUTDOOR PARKING AREAS, GRADED TOWARDS A DISCHARGE POINT FOR DRAINAGE
- THE CAR SPACES TO ACHIEVE A 1:20 MAXIMUM GRADE

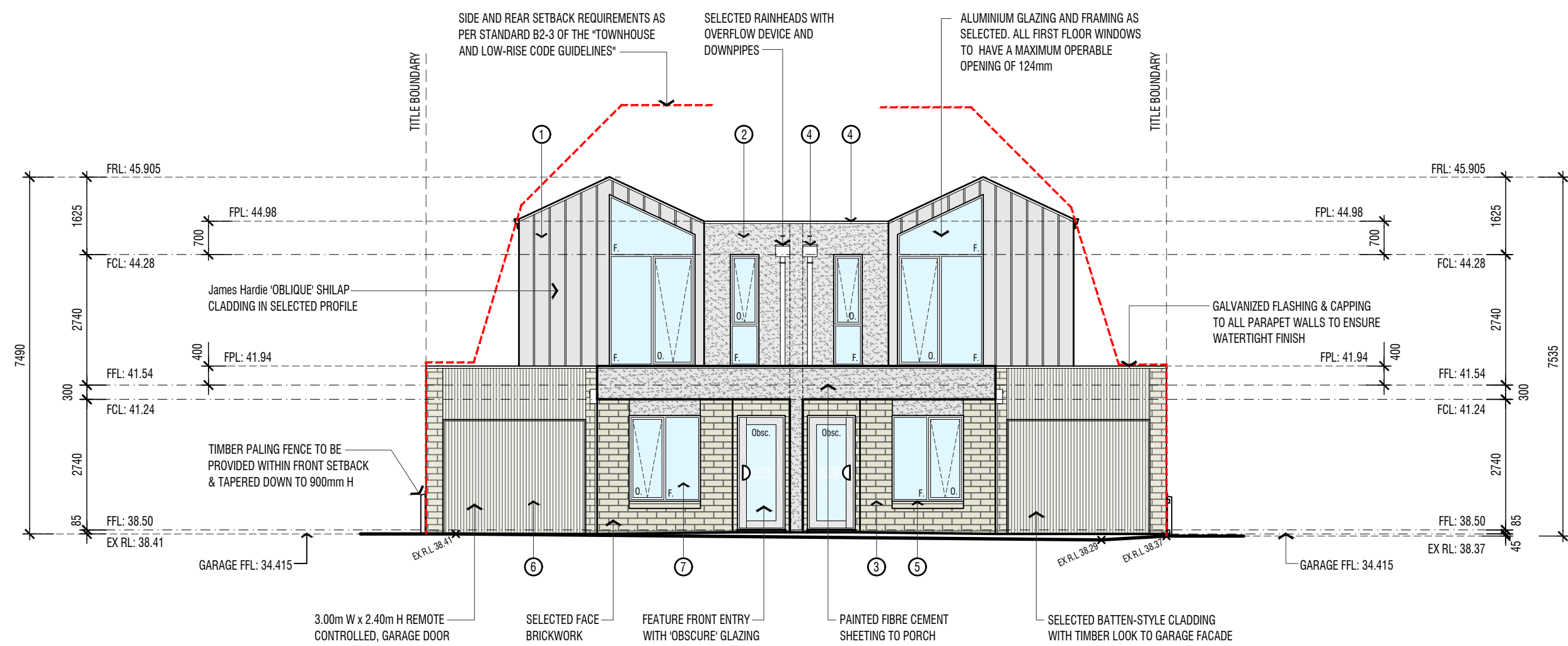
ALL LEVELS ARE SURVEYED TO AUSTRALIAN HEIGHT DATUM (A.H.D) BY A LICENSED SURVEYOR

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PROPOSED DUAL OCCUPANCY AT: 35 FISHER STREET, MAIDSTONE FOR: WV CONSTRUCTIONS

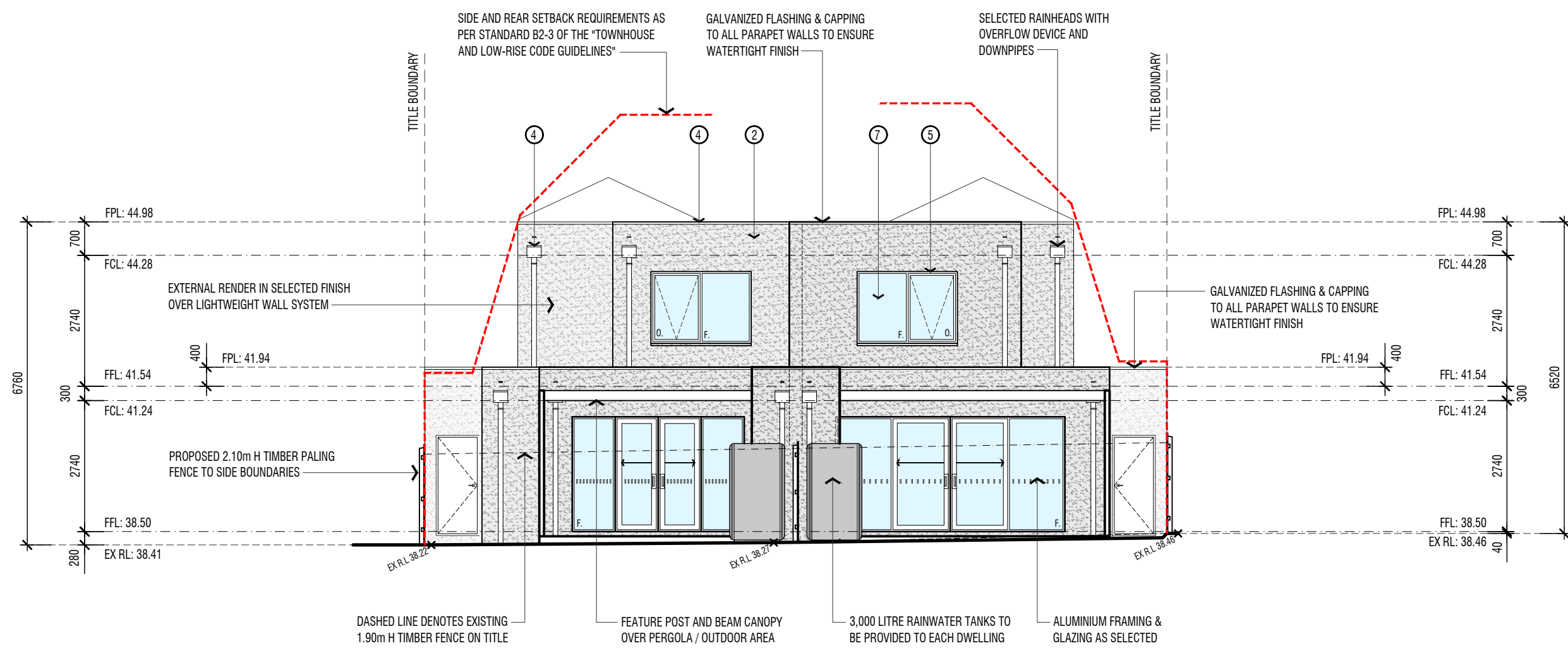
PROPOSED ELEVATIONS, MATERIAL & FINISHES SCHEDULE

SCALE 1:100



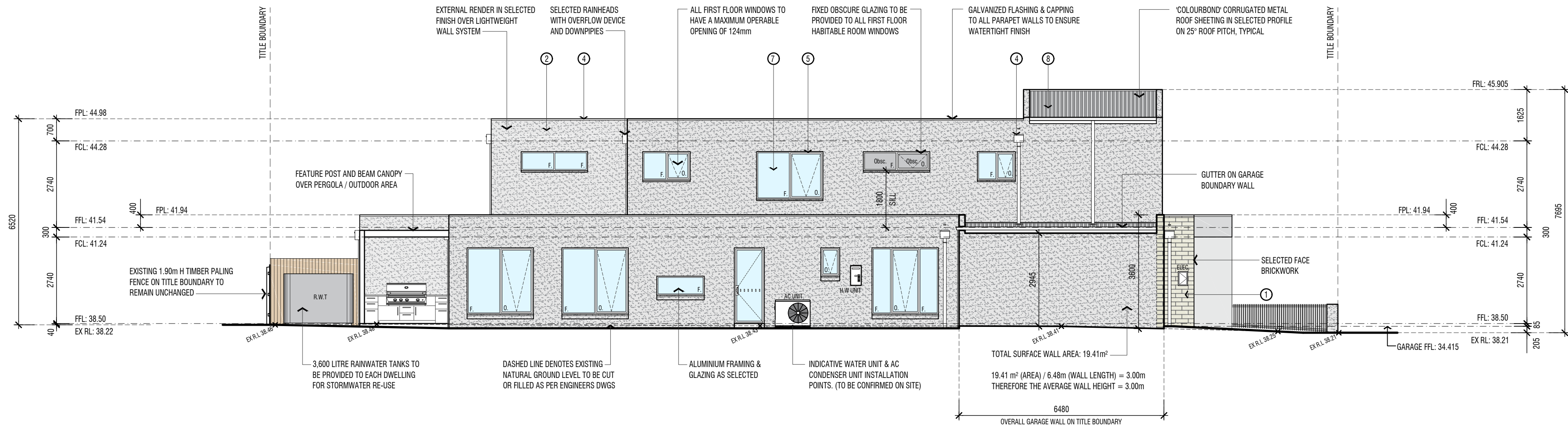
NORTH ELEVATION

SCALE 1:100



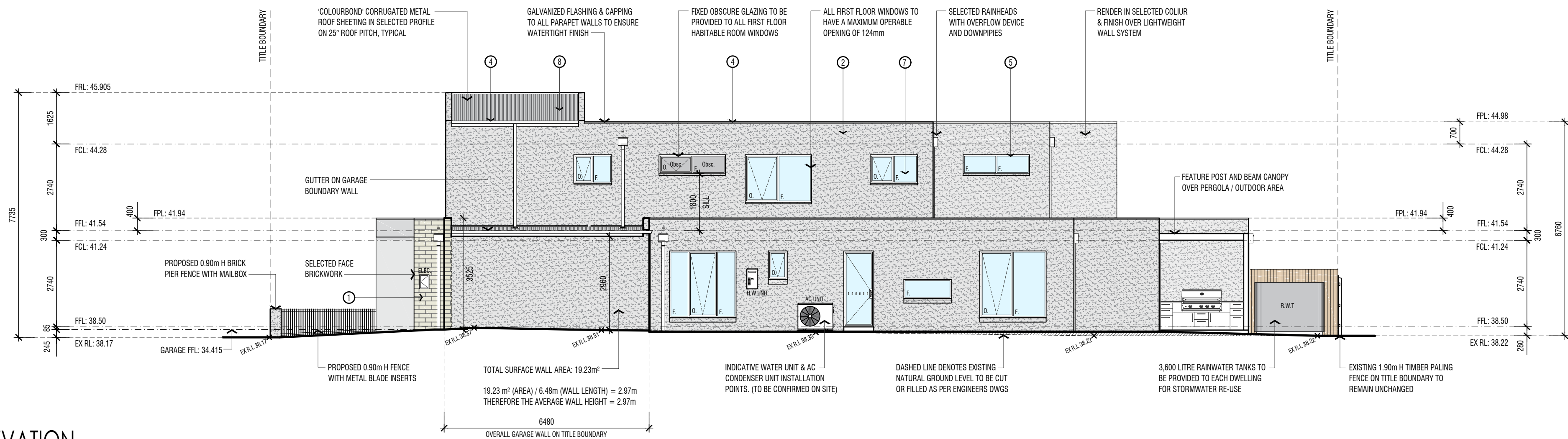
SOUTH ELEVATION

SCALE 1:100



EAST ELEVATION

SCALE 1:100



WEST ELEVATION

SCALE 1:100

LEGEND:	
N.G.L.	DENOTES NATURAL GROUND LINE
O.	DENOTES OPENABLE WINDOW
F.	DENOTES FIXED WINDOW
Obs.	DENOTES WINDOW WITH OBSCURE / SAFETY GLAZING
F.S.D.	DENOTES FIXED SHADING DEVICE
F.F.L.	DENOTES FINISHED FLOOR LEVEL
F.C.L.	DENOTES FINISHED CEILING LEVEL
F.P.L.	DENOTES FINISHED PARAPET LEVEL
F.R.L.	DENOTES FINISHED RIDGE LEVEL

IMPORTANT BOUNDARY FENCE NOTE:
ANY HEIGHT AND/OR MATERIAL CHANGES TO BOUNDARY FENCING IS A CIVIL MATTER BETWEEN ADJOINING PROPERTIES AND TO REMAIN COMPLIANT WITH THE REQUIREMENTS OF STANDARD B4-4 OF CLAUSE 55.04-4 (OVERLOOKING) OF THE 'TOWNHOUSE & LOW-RISE CODE GUIDELINES'

MATERIALS & FINISHES SCHEDULE

- JAMES HARDIE 'OBLIQUE' CLADDING:
DULUX 'LEXICON QUARTER'
- EXTERNAL CEMENT RENDER:
DULUX 'LEXICON QUARTER'
- BRICKWORK
AUSTRAL BRICKS 'ACCESS ASH'
- CAPPING, FLASHING, GUTTERS & DOWNPIPES
COLOURBOND 'DOVER WHITE'
- ALUMINIUM WINDOW FRAMES
DULUX 'LEXICON QUARTER'
- GARAGE DOOR
MODNEX 'ALU-SELEKTA' CASTELLATED CLADDING / BATTENS
COLOUR: LIGHT OAK
- GLAZING
COLOUR: 'CLEAR'
- 'KLIP-LOK' / CORRUGATED ROOF SHEETING
COLOURBOND 'SOUTHERY'

REV A 26.05.2026 TOWN PLANNING SUBMISSION SET
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REV C 24.06.2026 SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY
AT: 35 FISHER STREET, MAIDSTONE
FOR: WV CONSTRUCTIONS

ROOF PLAN & WSUD PLAN

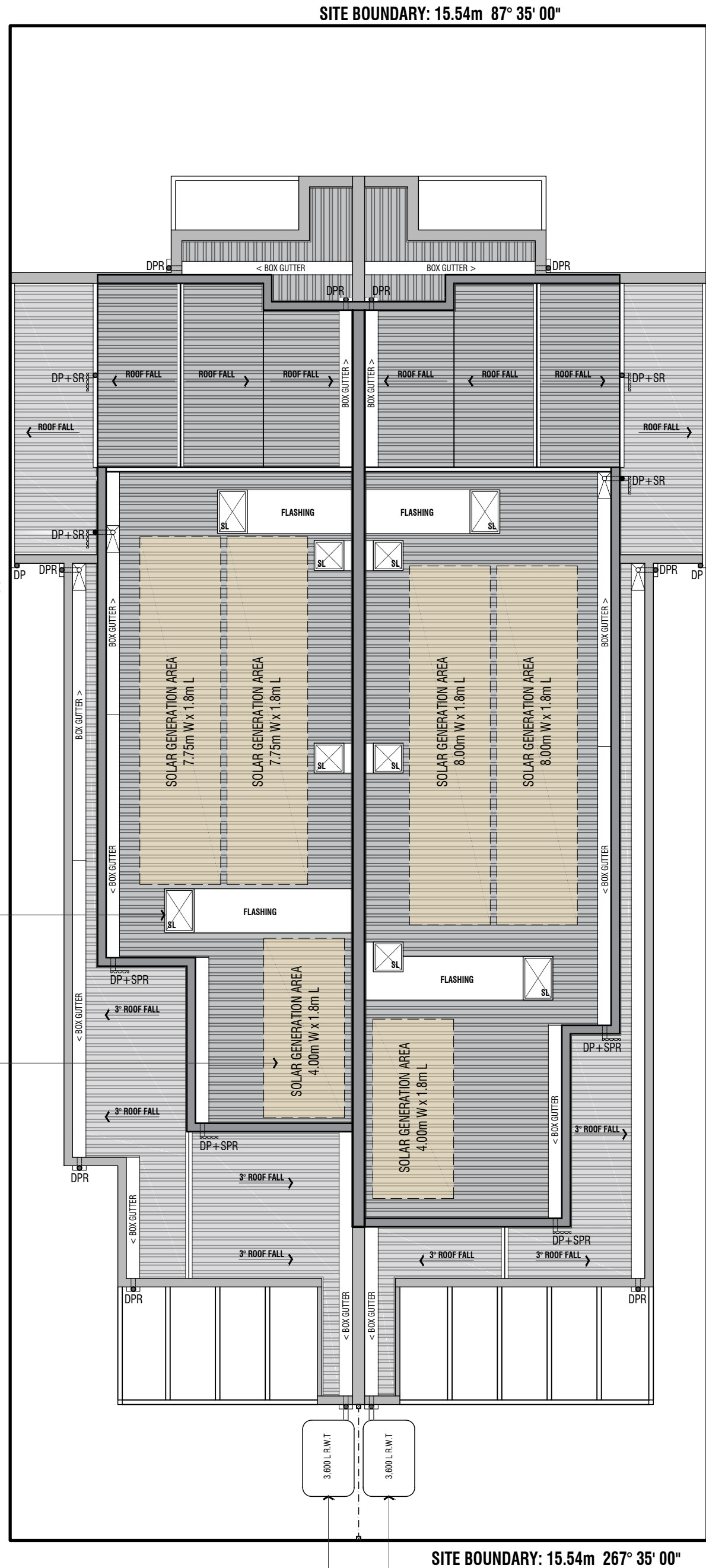
SCALE 1:100

"VELUX" FIXED SKYLIGHTS TO BE
INSTALLED WHERE SHOWN ON
PLANS.

YELLOW HATCHED AREA DENOTES
35.10M² OF ROOF SPACE SET ASIDE
FOR SOLAR ENERGY GENERATION
SYSTEM AS PER STANDARD B5-3
(CLAUSE 55.05-33)

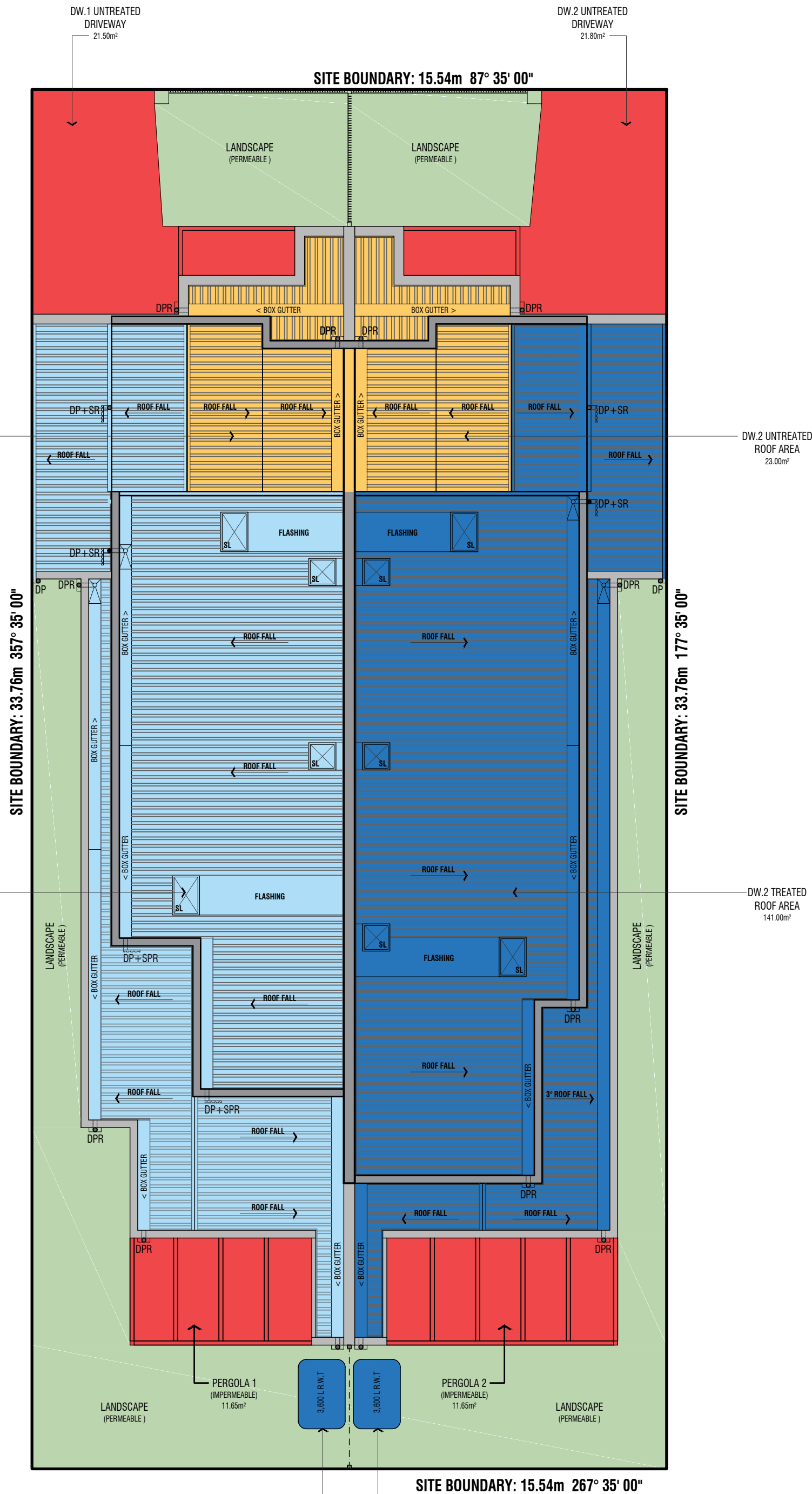
THE RAINWATER FROM DWELLING 1 ROOF AREA OF 138.00msq IS
TO BE COLLECTED AND DISCHARGED INTO 3,600 LITRE CAPACITY
RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS
FOR TOILET FLUSHING & LANDSCAPE IRRIGATION

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 141.00msq IS
TO BE COLLECTED AND DISCHARGED INTO 3,600 LITRE CAPACITY
RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS
FOR TOILET FLUSHING & LANDSCAPE IRRIGATION



ROOF PLAN

SCALE 1:100



W.S.U.D / STORMWATER PLAN

SCALE 1:100

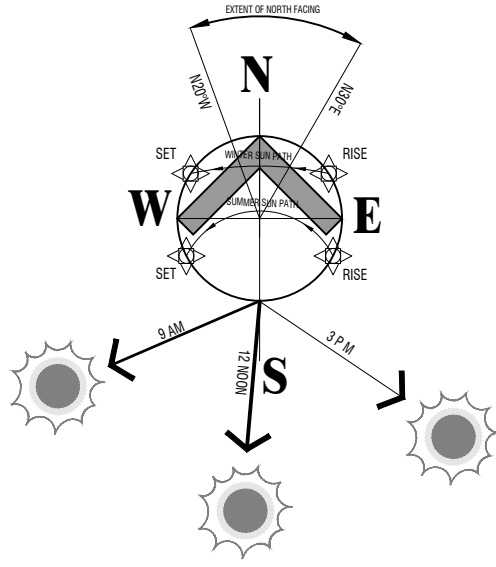
Project # DBF178BC
Dual-Occupancy Development
Daniel Grima - danielg@draftmode.com.au
35 Fisher St, Maidstone VIC 3012, Australia
26 May 2026 4:48 p.m.

Dual-Occupancy Development

The proposed stormwater treatments provide 'deemed to comply'
compliance with the minimum planning requirement for total nitrogen but
does not comply with all the relevant objectives for management of
stormwater flows on-site.

Project details

Name	Dual-Occupancy Development
Project ID	DBF178BC
Street address	35 Fisher St, Maidstone VIC 3012, Australia
Municipality	Maribymong
Site area	524 m ²
Planning Number	



BLUE FACTOR

103%
SCORE

ASSESSMENT PLAN LEGEND:

STORMWATER ASSESSMENT LEGEND:

- DWELLING 1
TREATED ROOF AREA DIVERTED TO
3,600 LITRE RAINWATER TANK
- DWELLING 2
TREATED ROOF AREA DIVERTED TO
3,600 LITRE RAINWATER TANK
- UNTREATED ROOF AREAS
- PERMEABLE AREAS
(LANDSCAPING, GRASS, GARDEN BEDS ETC.)
- IMPERMEABLE SURFACES
- 3,600 LITRE RAINWATER TANKS

STORMWATER RATING AREAS:

DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 138.00msq IS TO BE
COLLECTED AND DISCHARGED INTO 3,600 L CAPACITY RAINWATER TANK
WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND
LANDSCAPE IRRIGATION

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 141.00msq IS TO BE
COLLECTED AND DISCHARGED INTO 3,600 L CAPACITY RAINWATER TANK
WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND
LANDSCAPE IRRIGATION

NOTE:
RAINWATER TANKS ARE TO BE USED ONLY FOR RE-USE WITHIN THE DEVELOPMENT - THEY
ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL
POINT OF DISCHARGE PROCESS)

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PROPOSED DUAL OCCUPANCY

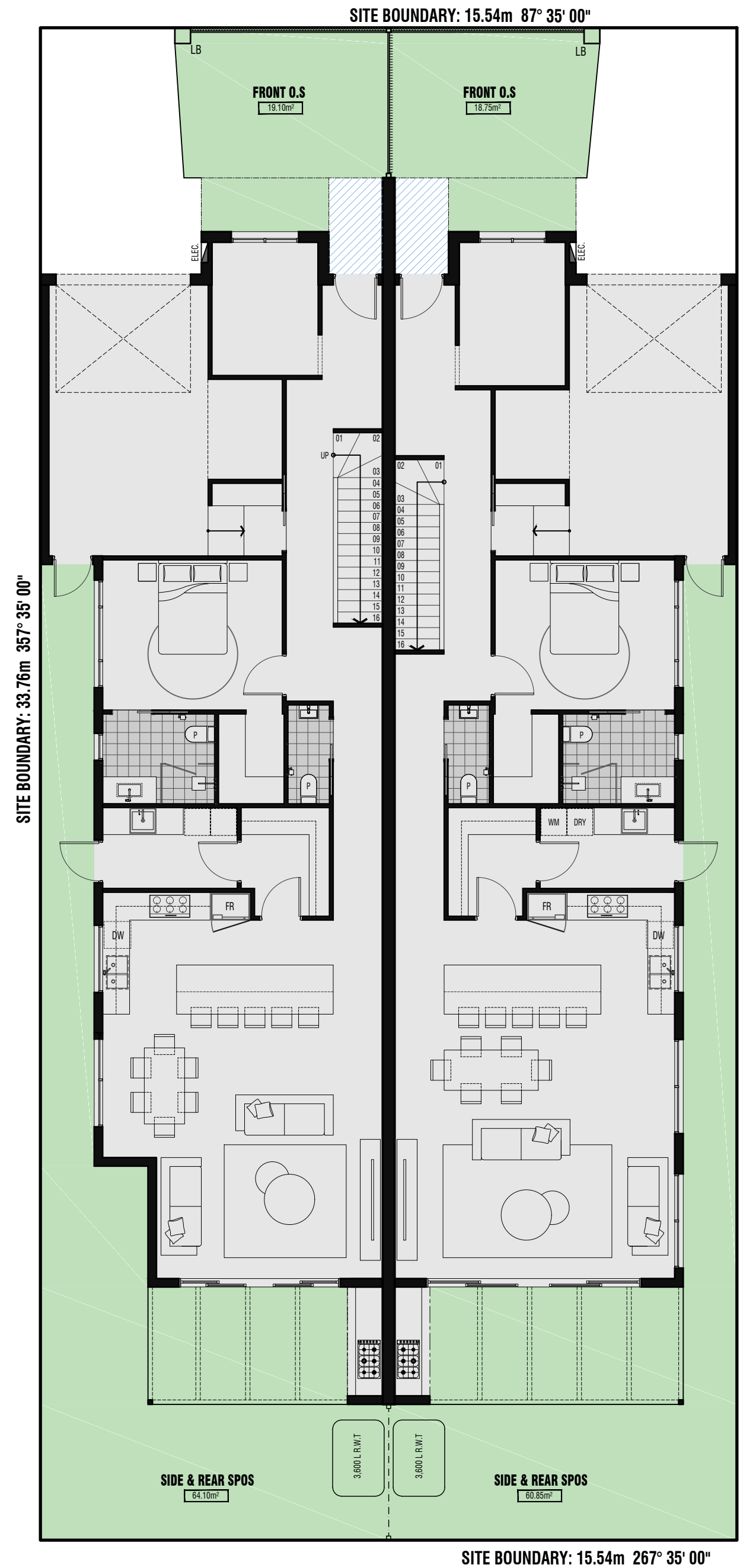
AT: 35 FISHER STREET,
MAIDSTONE

FOR: WV CONSTRUCTIONS

DRG NO: DOZ21-25	DATE: JAN 2026	DRAWN BY: D.AVRAMPOULLOS	CHECKED BY: D.GRIMA (DP-AD583)	SCALE: 1:100	SHEET NO: 5 OF 7
draftmode designs ply ltd					
A - 38 Thomas Street, Asport West - 3012 P - 8330 3434 E - enquiries@draftmode.com.au					

GARDEN AREA ASSESSMENT PLAN & SITE PERMEABILITY PLAN

SCALE 1:100



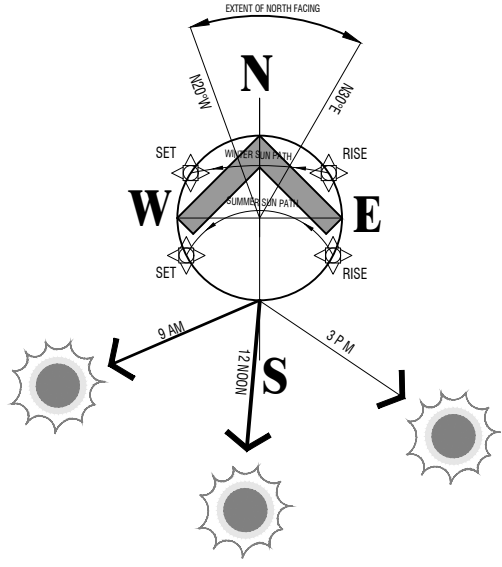
GARDEN AREA ASSESSMENT PLAN

SCALE 1:100



SITE PERMEABILITY PLAN

SCALE 1:100



NOTES:

GARDEN AREA LEGEND:

- GARDEN AREA (MINIMUM 1m WIDE)
- FIRST FLOOR, CANOPY & AWNING OVERHANG (NOT CALCULATED INTO GARDEN AREA)
- BUILDING AREA (NOT CALCULATED INTO GARDEN AREA)

GARDEN AREA:

SITE AREA: 524.00 msq.
MINIMUM REQUIRED GARDEN AREA FOR SITE (30%) = 157.20 msq.
TOTAL GARDEN AREA = 162.80 msq (31.06%) **COMPLIES**

PERMEABILITY PLAN LEGEND:

- PERVIOUS SURFACES (LAWN, SOIL, GARDEN BEDS, LANDSCAPING, ETC.)
- BUILDING AREA

PERMEABLE AREA:

SITE AREA: 524.00 msq.
MINIMUM PERMEABLE AREA REQUIRED FOR SITE = 105.00msq (20.00%)
TOTAL PERMEABLE AREA PROVIDED: 127.55 msq = 24.34% **COMPLIES**

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PROPOSED DUAL OCCUPANCY

AT: 35 FISHER STREET,
MAIDSTONE

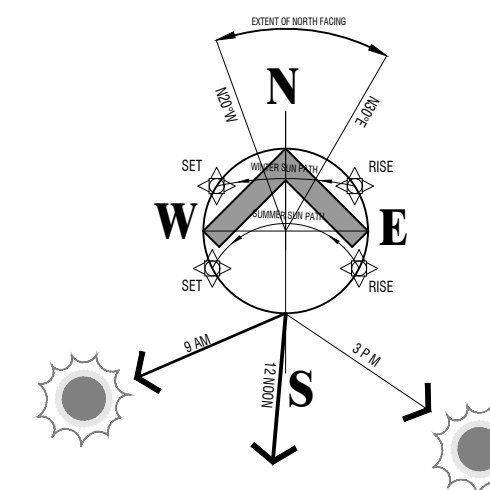
FOR: **VV CONSTRUCTIONS**

SPR: DO221-25 DATE: JAN 2026 DRAWN BY: D. GRIFFIN (DP-AD383) SCALE: 1:100 SHEET NO: 6

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P - 8330 3434
E - enquiries@draftmode.com.au

SCALE 1:100



← AIR PATH 0.00m W

DENOTES DIRECTION / PATH OF NATURAL AIR CROSS VENTILATION . BREEZE PATHS ARE TO BE BETWEEN 5.00m (MIN.) AND 18.00m (MAX.) LONG

ISS: NO:	DATE:	DRAWN BY:	CHECKED BY:	SCALE:	SHEET NO:
DC221-25	JAN 2026	D.AVRAMPPOULOS	D.GRIMA (DP-AD583)	1 : 100	7 OF 7
					
A - 28 Thomas Street, Airport West 3042 P - 3339 9434 E - enquiries@draftmode.com.au					designs ply ltd



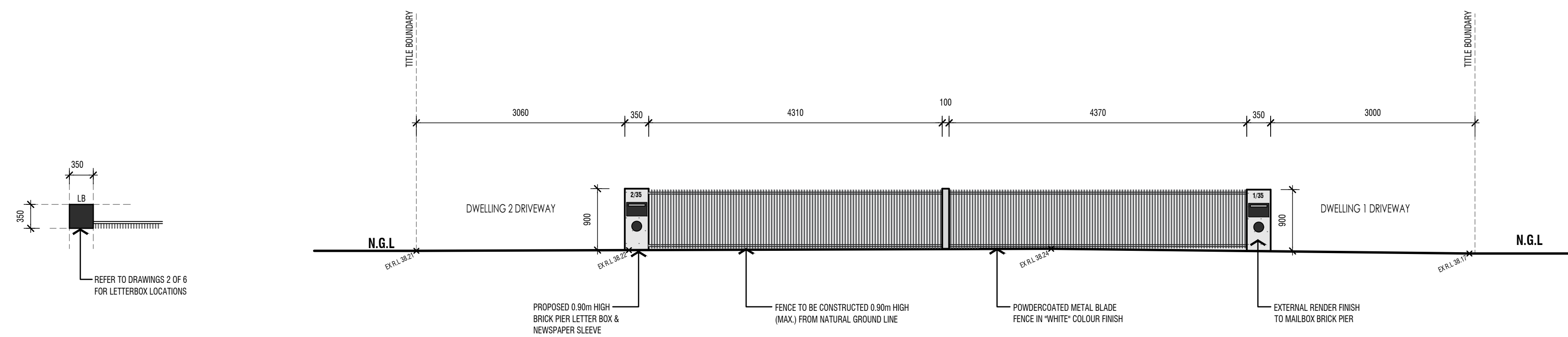
EXISTING STREETSCAPE OF FISHER STREET, MAIDSTONE

SCALE 1:100



PROPOSED STREETSCAPE OF FISHER STREET, MAIDSTONE

SCALE 1:100



PROPOSED FRONT FENCE ELEVATION

SCALE 1:50

REV A 26.05.2026
REV B 12.06.2026
REV C 24.06.2026

TOWN PLANNING SUBMISSION SET
REQUEST FOR FURTHER INFORMATION SET
SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY

**AT: 35 FISHER STREET,
MAIDSTONE**

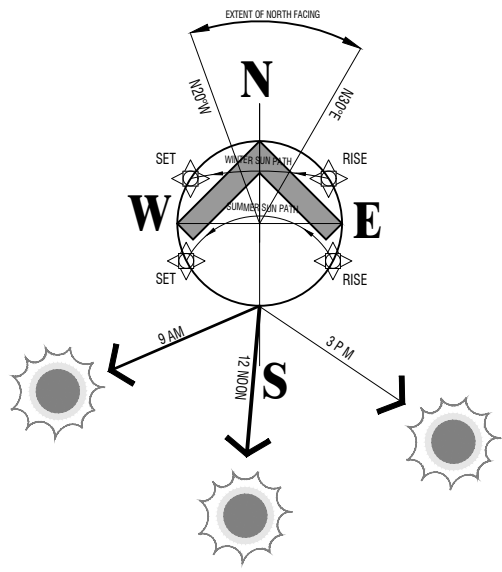
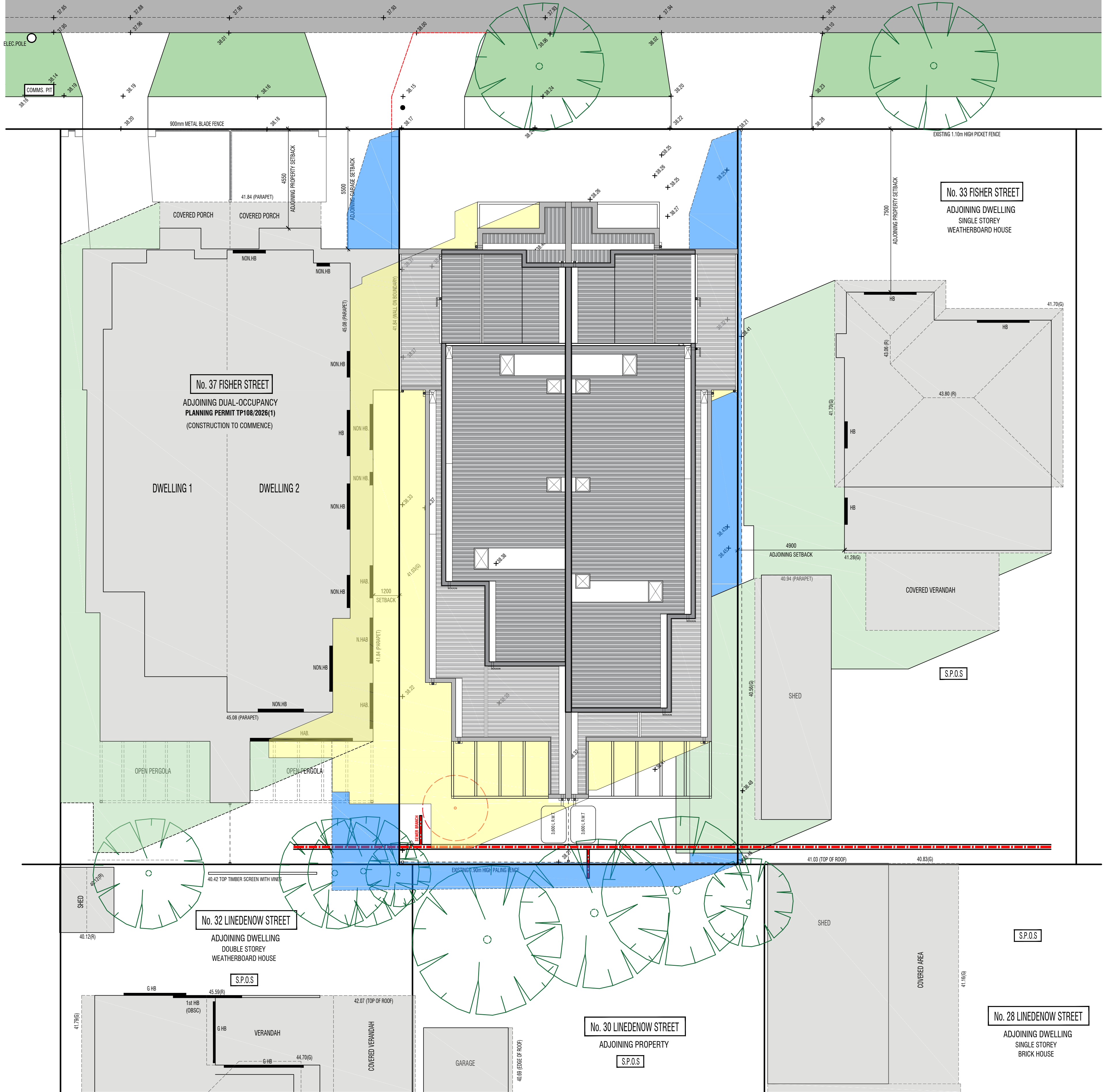
FOR: WV CONSTRUCTIONS

DOC. NO:	DATE:	DRAWN BY:	CHECKED BY:	SCALE:	SHEET NO.
DO221-25	JAN 2026	D.AVRAMPOPOULOS	D.CRIMA (DP-AD583)	1 : 100	S1
					OF S8
A - 28 Thomas Street, Airport West 3042 P - 0393 3434 E - enquiries@draftmode.com.au					designs pty ltd

SHADOW DIAGRAM ANALYSIS - 9:00 AM

SCALE 1:100

FISHER STREET



SHADOW DIAGRAM NOTES:

SHADOW DIAGRAM LEGEND:

- SHADOWS CAST FROM THE PROPOSED DWELLINGS ONTO SUBJECT & ADJOINING SITES
- SHADOWS CAST FROM EXISTING BOUNDARY FENCES ONTO SUBJECT AND ADJOINING SITES
- SHADOWS CAST FROM THE EXISTING ADJOINING DWELLINGS ONTO ADJOINING PROPERTIES SECLUDED PRIVATE OPEN SPACES

NOTE:
SHADOW DIAGRAMS SHOWN ON ARCHITECTURAL DOCUMENTATION ARE DISPLAYED ON THE 22ND OF SEPTEMBER - (SUMMER EQUINOX) DATUM

REV A 26.05.2026 TOWN PLANNING SUBMISSION SET
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PROPOSED DUAL OCCUPANCY
AT: 35 FISHER STREET,
MAIDSTONE
FOR: WV CONSTRUCTIONS

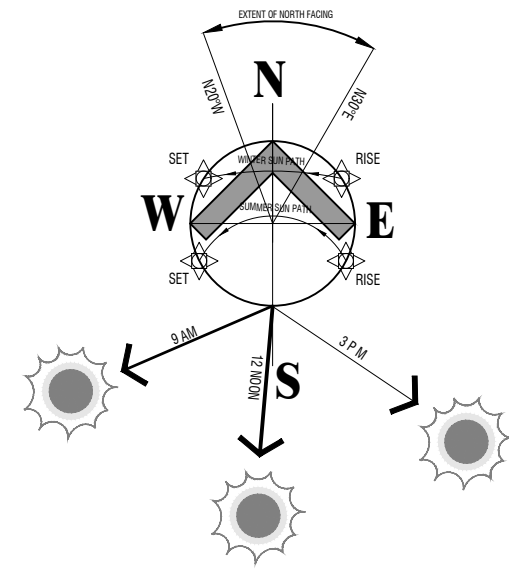
SPR NO: DO221-25 DATE: JAN 2026 DRAWN BY: D. GRAMA (DP-AD583) SCALE: 1:100 SHEET NO: S2

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P - 8330 3434
E - enquiries@draftmode.com.au
designs pty ltd

SHADOW DIAGRAM ANALYSIS - 10:00 AM

SCALE 1:100

FISHER STREET



SHADOW DIAGRAM NOTES:

SHADOW DIAGRAM LEGEND:

- SHADOWS CAST FROM THE PROPOSED DWELLINGS ONTO SUBJECT & ADJOINING SITES
- SHADOWS CAST FROM EXISTING BOUNDARY FENCES ONTO SUBJECT AND ADJOINING SITES
- SHADOWS CAST FROM THE EXISTING ADJOINING DWELLINGS ONTO ADJOINING PROPERTIES SECLUDED PRIVATE OPEN SPACES

NOTE:
SHADOW DIAGRAMS SHOWN ON ARCHITECTURAL DOCUMENTATION ARE DISPLAYED ON THE 22ND OF SEPTEMBER - (SUMMER EQUINOX) DATUM



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AT: 35 FISHER STREET,
MAIDSTONE
FOR: WV CONSTRUCTIONS

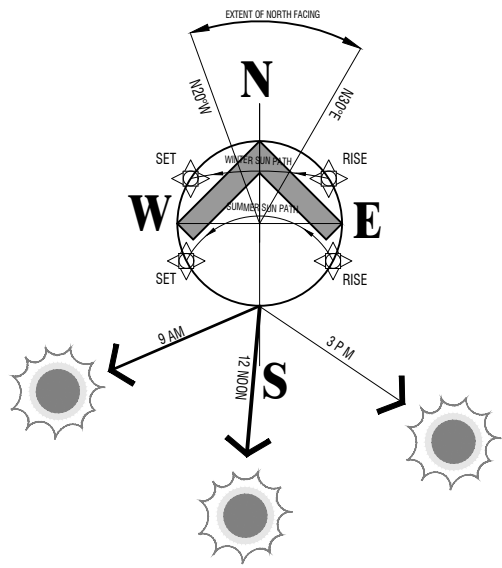
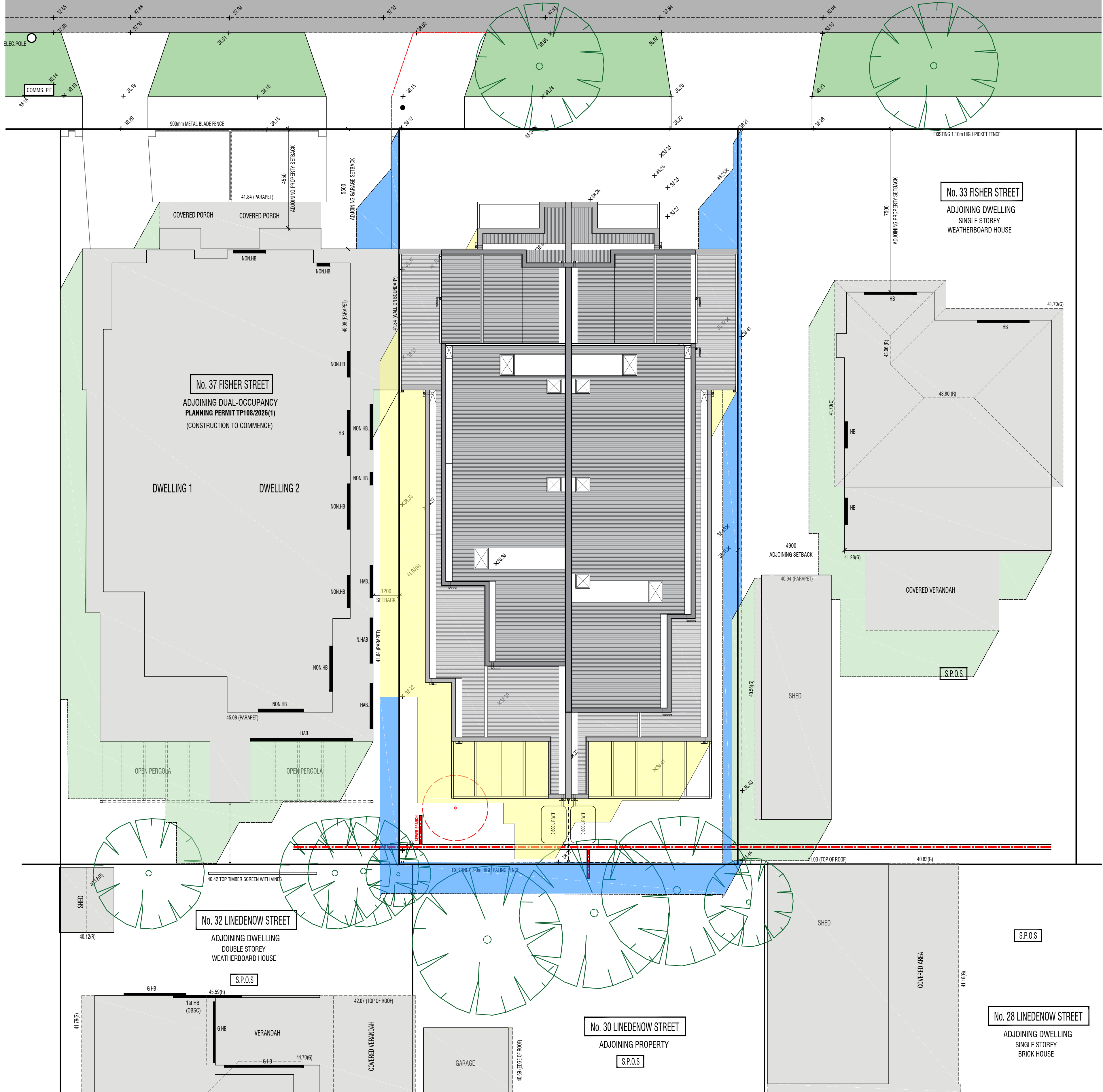
SPR NO: DOZ21-25 DATE: JAN 2026 DRAWN BY: D. GRAMA (DP-AD583) SCALE: 1:100 SHEET NO: S3

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E - enquiries@draftmode.com.au

SHADOW DIAGRAM ANALYSIS - 11:00 AM

SCALE 1:100

FISHER STREET



SHADOW DIAGRAM NOTES:

SHADOW DIAGRAM LEGEND:

- SHADOWS CAST FROM THE PROPOSED DWELLINGS ONTO SUBJECT & ADJOINING SITES
- SHADOWS CAST FROM EXISTING BOUNDARY FENCES ONTO SUBJECT AND ADJOINING SITES
- SHADOWS CAST FROM THE EXISTING ADJOINING DWELLINGS ONTO ADJOINING PROPERTIES SECLUDED PRIVATE OPEN SPACES

NOTE:
SHADOW DIAGRAMS SHOWN ON ARCHITECTURAL DOCUMENTATION ARE DISPLAYED ON THE 22ND OF SEPTEMBER - (SUMMER EQUINOX) DATUM

REV A 26.05.2026 TOWN PLANNING SUBMISSION SET
REV B 12.06.2026 REQUEST FOR FURTHER INFORMATION SET
REV C 24.06.2026 SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY
AT: 35 FISHER STREET,
MAIDSTONE
FOR: WV CONSTRUCTIONS

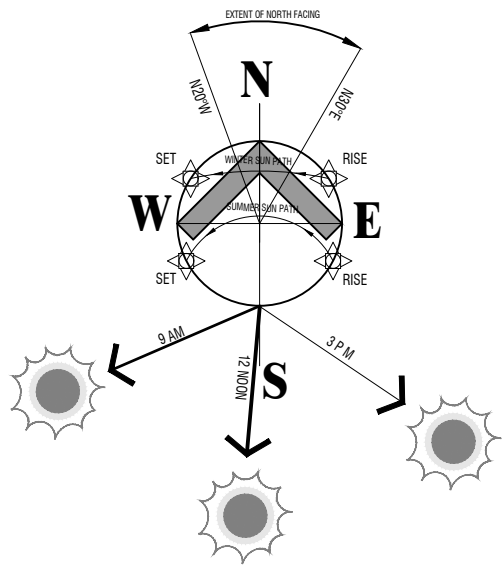
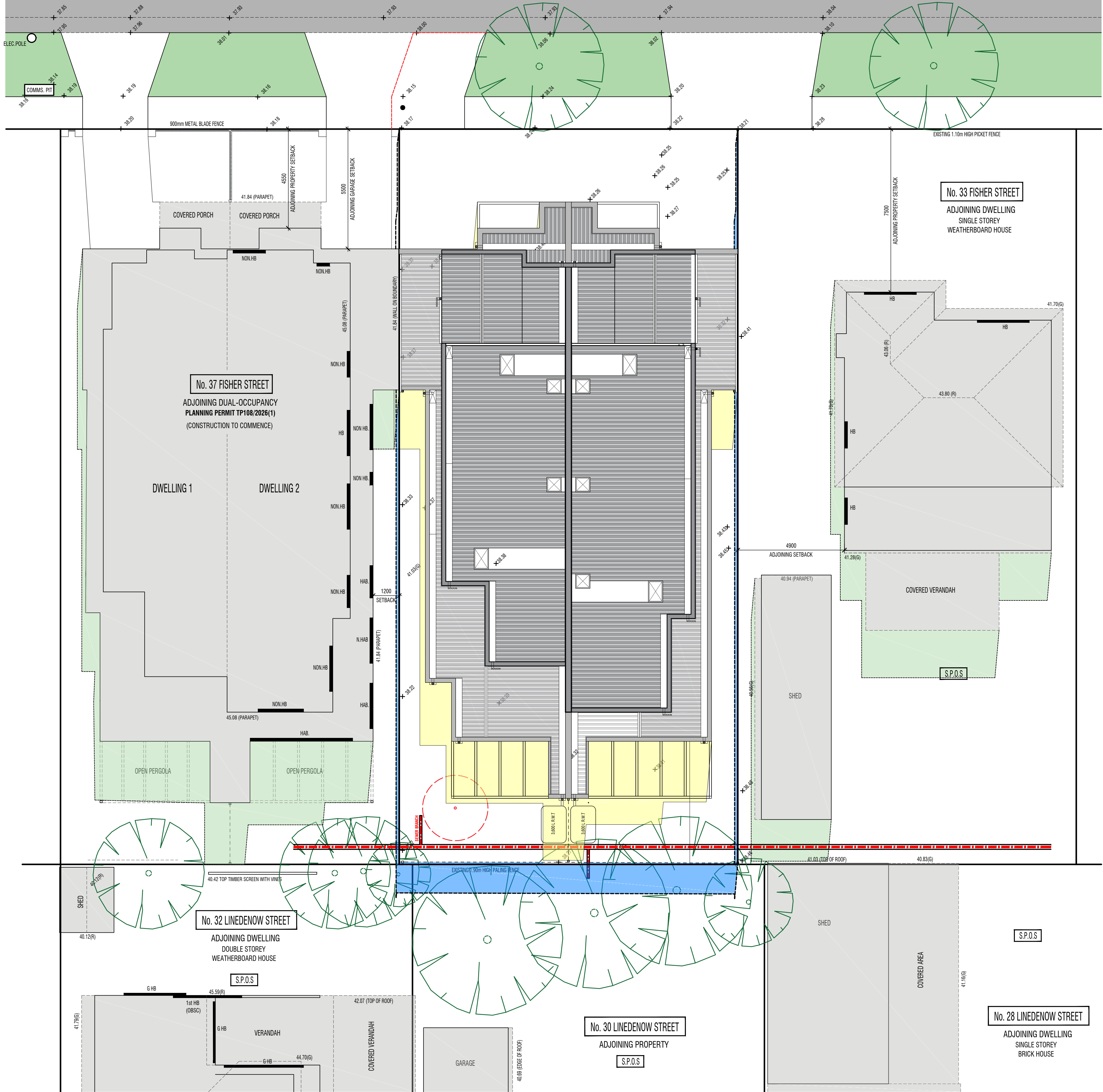
SPR NO: DO221-25 DATE: JAN 2026 DRAWN BY: D. GRAMA (DP-AD583) SCALE: 1:100 SHEET NO: S4

draftmode designs pty ltd
A - 38 Thomas Street, Airport West - 3042
P - 8330 3434
E - enquiries@draftmode.com.au

SHADOW DIAGRAM ANALYSIS - 12:00 PM

SCALE 1:100

FISHER STREET



SHADOW DIAGRAM NOTES:

SHADOW DIAGRAM LEGEND:

- SHADOWS CAST FROM THE PROPOSED DWELLINGS ONTO SUBJECT & ADJOINING SITES
- SHADOWS CAST FROM EXISTING BOUNDARY FENCES ONTO SUBJECT AND ADJOINING SITES
- SHADOWS CAST FROM THE EXISTING ADJOINING DWELLINGS ONTO ADJOINING PROPERTIES SECLUDED PRIVATE OPEN SPACES

NOTE:
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PROPOSED DUAL OCCUPANCY
AT: 35 FISHER STREET,
MAIDSTONE
FOR: WV CONSTRUCTIONS

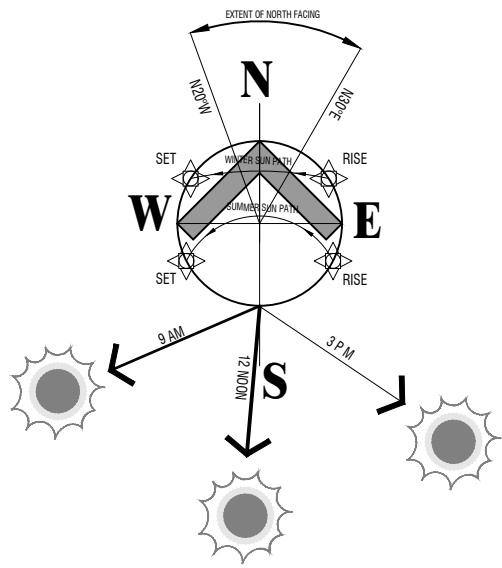
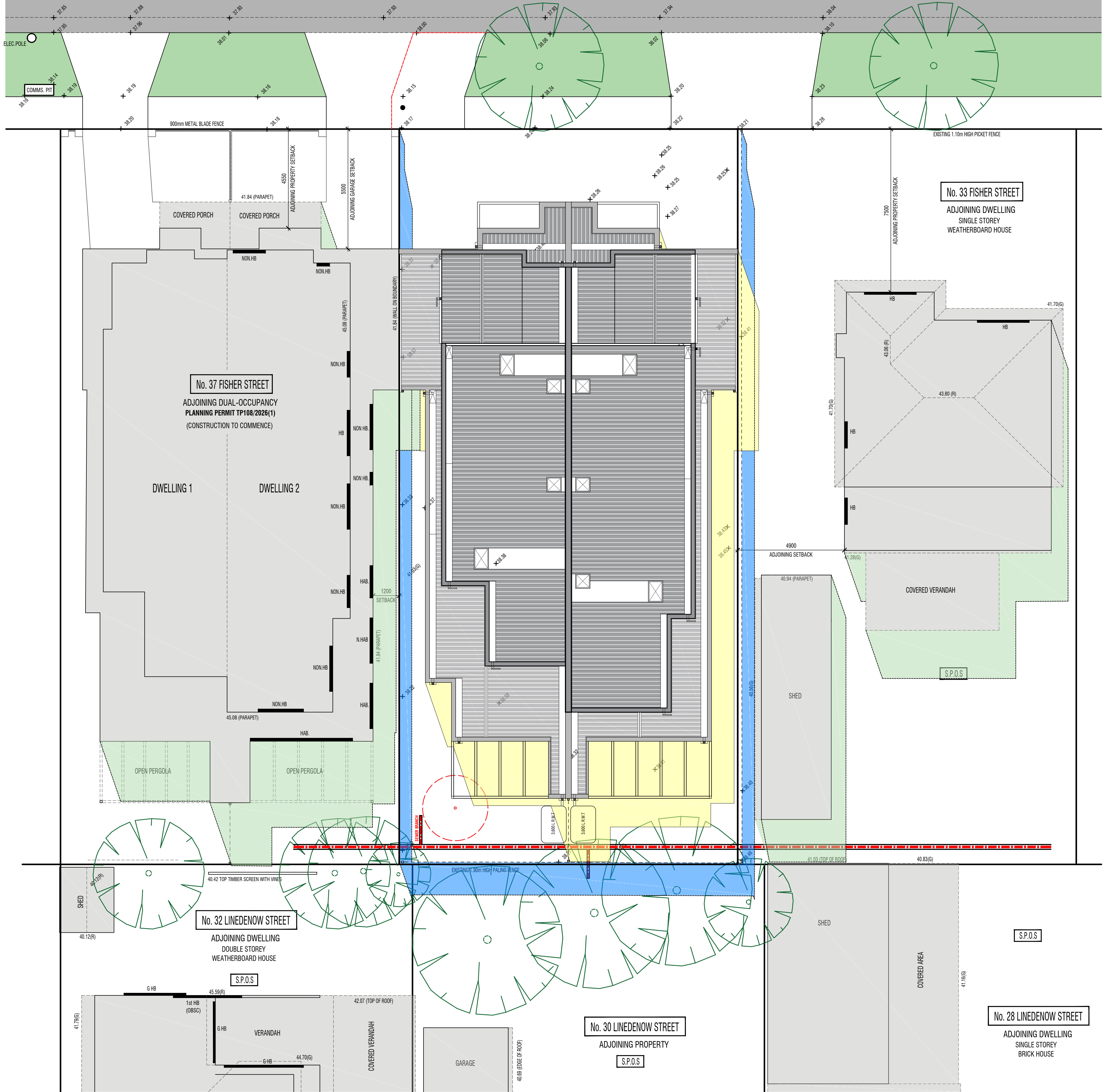
SPR NO: DOZ21-25 DATE: JAN 2026 DRAWN BY: D. GRAMA (DP-AD583) SCALE: 1:100 SHEET NO: S5

draftmode designs pty ltd
A - 38 Thomas Street, Airport West - 3042
P - 8330 3434
E - enquiries@draftmode.com.au

SHADOW DIAGRAM ANALYSIS - 1:00 PM

SCALE 1:100

FISHER STREET



SHADOW DIAGRAM NOTES:

SHADOW DIAGRAM LEGEND:

- SHADOWS CAST FROM THE PROPOSED DWELLINGS ONTO SUBJECT & ADJOINING SITES
- SHADOWS CAST FROM EXISTING BOUNDARY FENCES ONTO SUBJECT AND ADJOINING SITES
- SHADOWS CAST FROM THE EXISTING ADJOINING DWELLINGS ONTO ADJOINING PROPERTIES SECLUDED PRIVATE OPEN SPACES

NOTE:
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REV C 24.06.2026 SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY
AT: 35 FISHER STREET,
MAIDSTONE
FOR: WV CONSTRUCTIONS

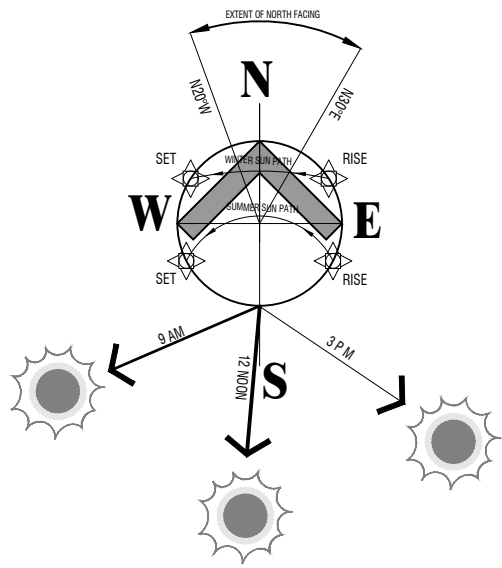
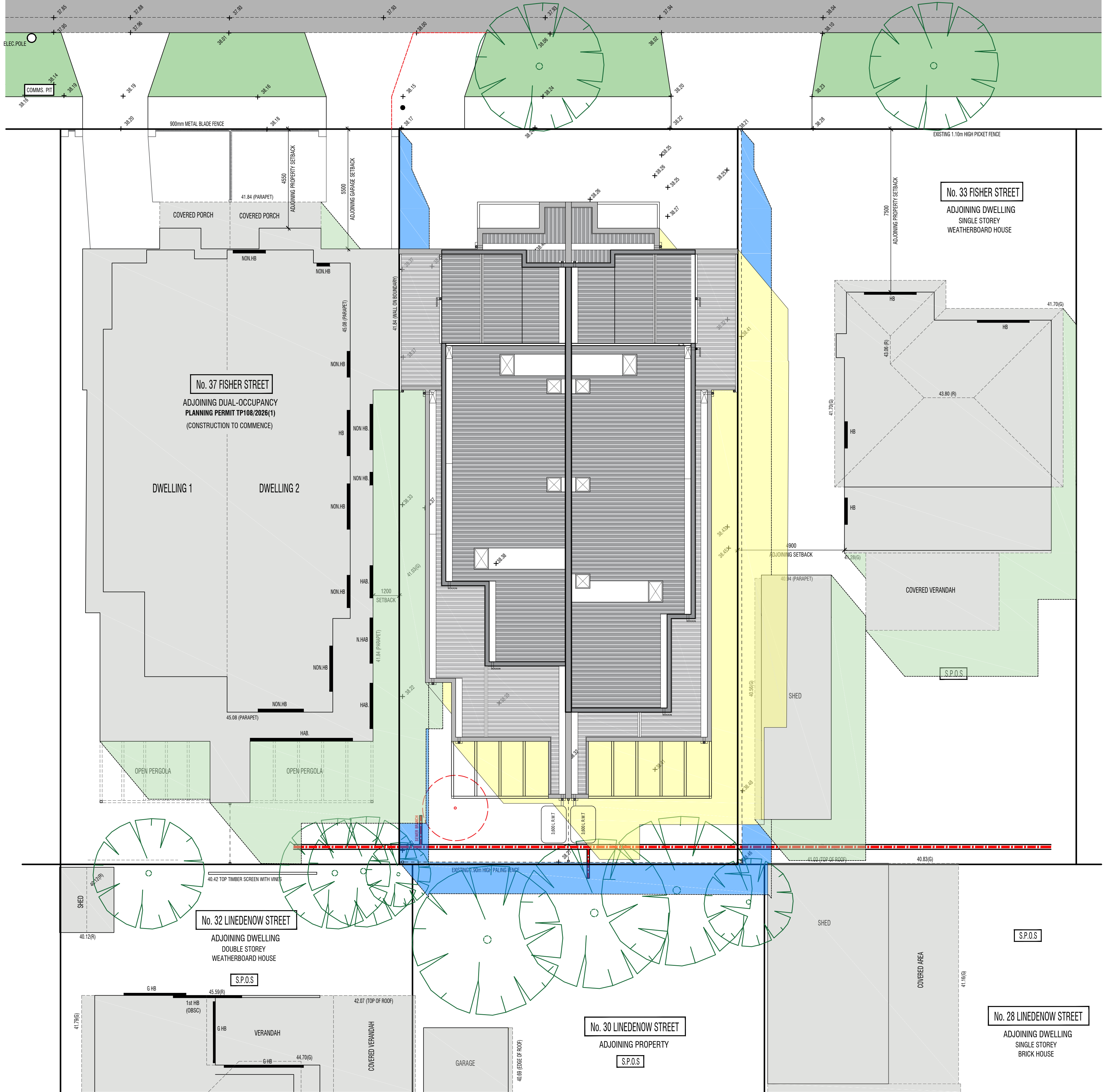
SPRNG NO: DO221-25 DATE: JAN 2026 DRAWN BY: D. GRAMA (DP-AD583) CHECKED BY: D. GRAMA (DP-AD583) SCALE: 1:100 SHEET NO: S6

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A - 38 Thomas Street, Airport West - 3042
P - 8330 3434
E - enquiries@draftmode.com.au

SHADOW DIAGRAM ANALYSIS - 2:00 PM

SCALE 1:100

FISHER STREET



SHADOW DIAGRAM NOTES:

SHADOW DIAGRAM LEGEND:

- SHADOWS CAST FROM THE PROPOSED DWELLINGS ONTO SUBJECT & ADJOINING SITES
- SHADOWS CAST FROM EXISTING BOUNDARY FENCES ONTO SUBJECT AND ADJOINING SITES
- SHADOWS CAST FROM THE EXISTING ADJOINING DWELLINGS ONTO ADJOINING PROPERTIES SECLUDED PRIVATE OPEN SPACES

NOTE:
SHADOW DIAGRAMS SHOWN ON ARCHITECTURAL DOCUMENTATION ARE DISPLAYED ON THE 22ND OF SEPTEMBER - (SUMMER EQUINOX) DATUM

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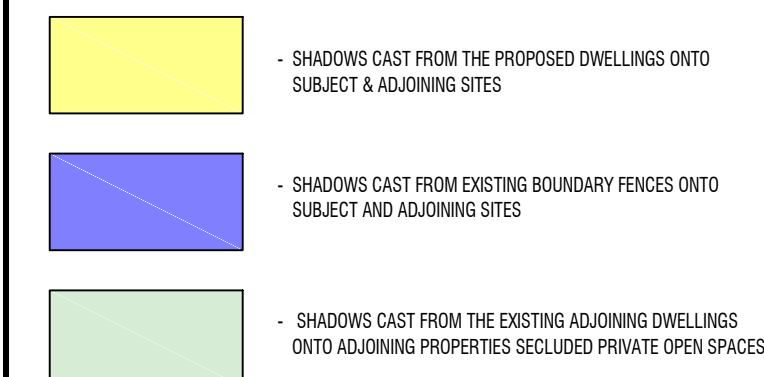
PROPOSED DUAL OCCUPANCY
AT: 35 FISHER STREET,
MAIDSTONE
FOR: WV CONSTRUCTIONS

SPR NO: DO221-25 DATE: JAN 2026 DRAWN BY: D. GRAMA (DP-AD583) SCALE: 1:100 SHEET NO: S7

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SCALE 1:100

SHADOW DIAGRAM LEGEND:



NOTE:
SHADOW DIAGRAMS SHOWN ON ARCHITECTURAL DOCUMENTATION ARE DISPLAYED ON THE
22ND OF SEPTEMBER - (SUMMER EQUINOX) DATUM



PROPOSED DUAL OCCUPANCY

**AT: 35 FISHER STREET,
MAIDSTONE**

FOR: VV CONSTRUCTIONS

DRG. NO: DO221-25	DATE: JAN 2026	DRAWN BY: D.AVRAMOPOULOS	CHECKED BY: D.GRIMA (DP-AD583)	SCALE: 1 : 100	SHEET NO.
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draftmode

S8

SITE ANALYSIS & NEIGHBOURHOOD DESCRIPTION

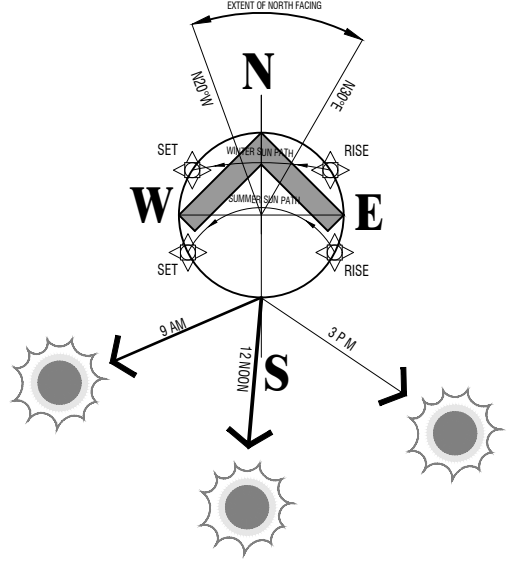
SCALE 1:500



No.35 FISHER STREET - STREETSCAPE



No.36 FISHER STREET- (OPPOSITE SIDE) STREETSCAPE



SITE ANALYSIS LEGEND:

- ORIENTATION**
A SITE HAS A NORTH TO SOUTH FACING ORIENTATION
TOPOGRAPHY
B LAND HAS A DECLINE OF 0.86m FROM NORTH TO SOUTH (REFER TO LEVELS ON PLAN PROVIDED)
VEGETATION
C1 EXISTING SITE TREES & SHRUBS TO BE REMOVED
C2 EXISTING STREET TREES & LANDSCAPE
ACCESS POINTS
D1 EXISTING PEDESTRIAN AND VEHICLE ACCESS FROM PAPER ROAD AND PAPER ROAD TO SUBJECT SITE
D2 EXISTING STREET CROSSINGS
DRAINAGE
E DRAINAGE POINT - NO UNMANAGABLE DRAINAGE CONSTRAINTS
POINT OF DISCHARGE AS PER COUNCIL REQUIREMENTS
SERVICE
F1 SITE HAS ACCESS TO INFRASTRUCTURE (SEWER, WATER SUPPLY, GAS & TELEPHONE)
FENCES & BOUNDARIES
G1 850m HIGH BRICK FENCE
G2 1.6m HIGH TIMBER PALING FENCE
G3 1.2m HIGH PICKET FENCE
G4 750m HIGH BRICK FENCE
G5 1m HIGH METAL FENCE
G6 NO FENCE
G7 700m HIGH BRICK FENCE
G8 750m HIGH VEGETATION FENCE
G9 1.0m HIGH METAL SHEET FENCE
G10 1.4m HIGH METAL FENCE
G11 1.6m HIGH RENDERED WITH METAL INSERT FENCE
G12 1.4m HIGH HORIZONTAL TIMBER FENCE
G13 300m HIGH TIMBER FENCE
G14 1.2m HIGH BRICK WITH TIMBER INSERT FENCE
LOCATION/USE OF SURROUNDING BUILDINGS
H1 SINGLE STOREY WEATHERBOARD DWELLING WITH TILED PITCH ROOF TO BE DEMOLISHED
H2 SINGLE STOREY WEATHERBOARD DWELLING WITH TILED PITCH ROOF
H3 SINGLE STOREY BRICK DWELLING WITH TILED PITCH ROOF
H4 DOUBLE STOREY RENDERED UNITS WITH CORRUGATED FLAT ROOF
H5 SINGLE STOREY RENDERED DWELLING WITH TILED PITCH ROOF
H6 DOUBLE STOREY RENDERED DWELLING WITH TILED PITCH ROOF
H7 DOUBLE STOREY WEATHERBOARD UPPER & BRICK UNITS WITH TILED PITCH ROOF
H8 NO BUILDING
H9 DOUBLE STOREY BRICK VENEER WITH LIGHTWEIGHT UPPER WITH CORRUGATED PITCH ROOF
SECLUDED OPEN SPACE
S.P.O.S. SECLUDED PRIVATE OPEN SPACES OF SURROUNDING DWELLINGS
HABITABLE ROOM WINDOWS/DOORS
HAB. HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)
N/H WIN. NON-HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)
SOLAR ACCESS
K POTENTIAL DAYLIGHT ALONG NORTH SIDE OF SITE
WALLS ON BOUNDARY
L1 2.9m HIGH WALL ON BOUNDARY
L2 2.3m HIGH WALL ON BOUNDARY



No. 35 FISHER STREET
SUBJECT SITE



No. 33 FISHER STREET
ADJOINING NEIGHBOUR (TO THE LEFT)

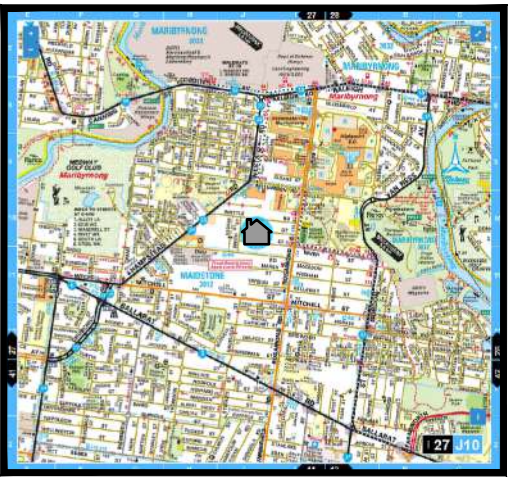


No.37 FISHER STREET
ADJOINING NEIGHBOUR (TO THE RIGHT)

LOCALITY GUIDE

M1	THOMPSONS RESERVE	1.0km	O1	RIVER STREET / ROSAMOND ROAD #52	280m
M2	SCOVELL RESERVE	1.0km	O2	MARBYRON COLLEGE / RIVER STREET (R)	650m
M3	CITY VIEW RESERVE	2.2km	O3	HIGHPOINT SHOPPING CENTRE / AQUATIC CENTRE	1.7km
M4	GRANES FLAT	2.0km	O4	WAVELOOK STREET / MITCHELL STREET	1.3km
N1	HIGHPOINT SHOPPING CENTRE	1.0km	P1	FOOTSCRAY NORTH PRIMARY SCHOOL	1.1km
N2	BRAYBROOK SHOPPING CENTRE	2.0km	P2	ST MARGARETS PRIMARY SCHOOL	1.5km
N3	CENTRAL WEST SHOPPING CENTRE	2.0km	P3	MARBYRON COLLEGE	500m
N4	FOOTSCRAY PLAY	4.3km	P4	FOOTSCRAY CITY COLLEGE	1.7km

NOTE: ALL DIRECTIONAL ARROWS & DISTANCES TAKEN FROM SUBJECT SITE INDICATED BY HOUSE ON MAP BELOW



SYMBOLS

SS	EXISTING STREET CROSSING	HD	HOUSE DRAIN
EP	STREET SIGN	TP	TELSTRA PIT
E	ELECTRICAL POLE	F.H.	FIRE HYDRANT
LP	ELECTRICAL POLE WITH LIGHT POLE	PIT	PIT
		SW	STORMWATER

REV A 26.05.2026 TOWN PLANNING SUBMISSION SET
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REV C 24.06.2026 SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY

AT: 35 FISHER STREET,
MAIDSTONE

FOR: VV CONSTRUCTIONS

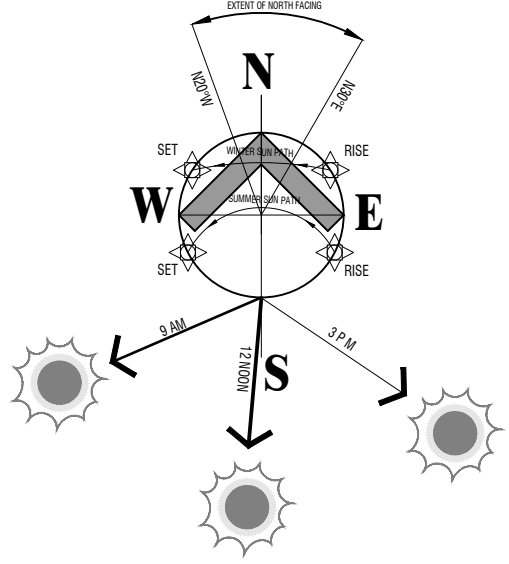
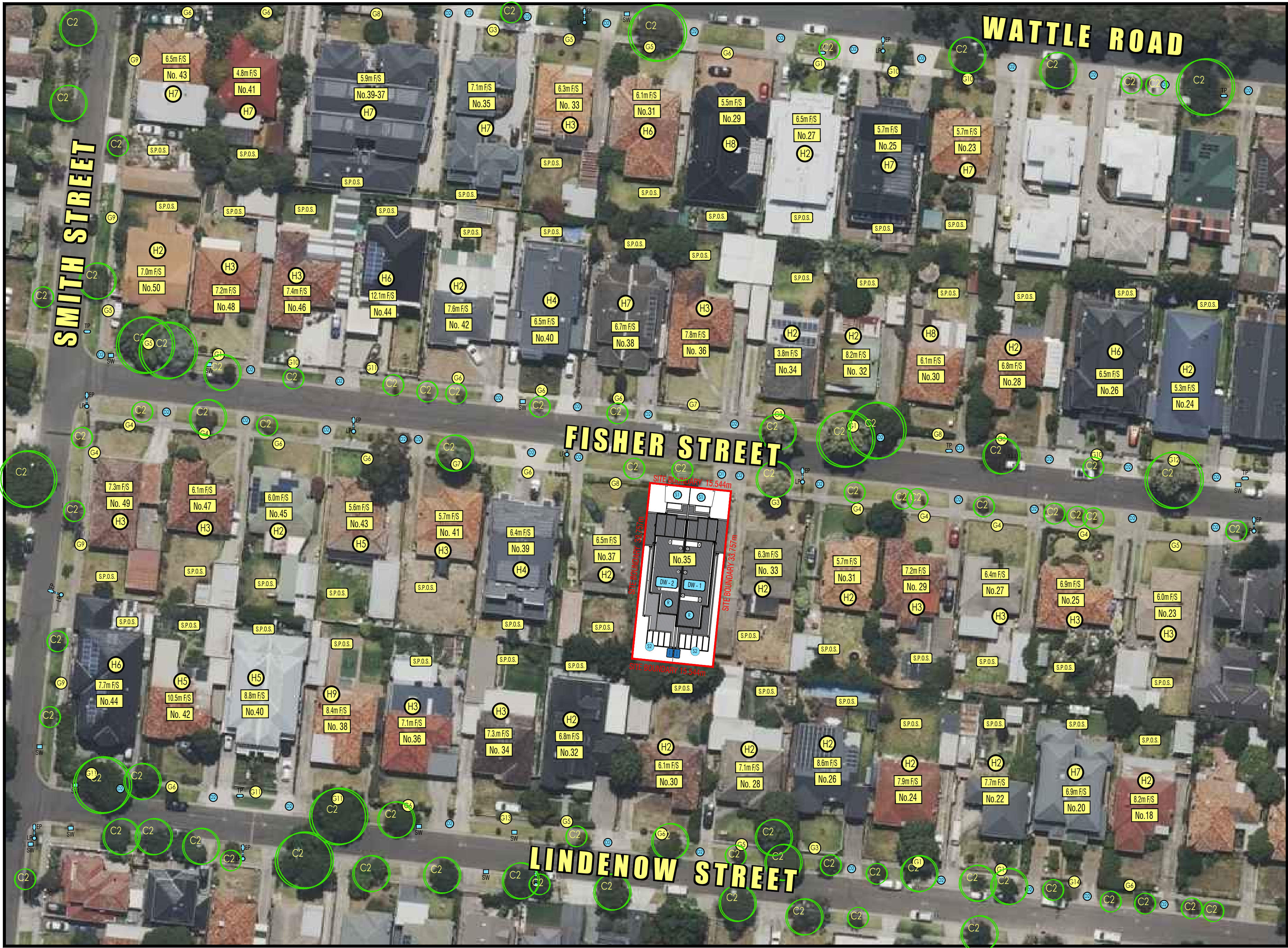
DPD NO.	DATE	DRAWN BY	CHECKED BY	SCALE	SHEET NO.
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DO221-25	JAN 2026	D. GRAMA	D. GRAMA	1 : 500	D1
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A - 28 Thomas Street, Airport West - 3042	P - 0330 3434	E - enquiries@draftmode.com.au	draftmode	designs ply ltd	OF D2
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DESIGN RESPONSE

SCALE 1:500



DESIGN RESPONSE LEGEND:

- ORIENTATION**
A SITE HAS A NORTH TO SOUTH FACING ORIENTATION
TOPOGRAPHY
B LAND HAS A DECLINE OF 0.36m FROM NORTH TO SOUTH (REFER TO LEVELS ON PLAN PROVIDED)
VEGETATION
C1 EXISTING SITE TREES & SHRUBS TO BE REMOVED
C2 EXISTING STREET TREES & LANDSCAPE
ACCESS POINTS
D1 EXISTING PEDESTRIAN AND VEHICLE ACCESS FROM PAPER ROAD AND PAPER ROAD TO SUBJECT SITE
D2 EXISTING STREET CROSSINGS
D3 PROPOSED STREET CROSSINGS
DRAINAGE
E DRAINAGE POINT - NO UNMANAGABLE DRAINAGE CONSTRAINTS
POINT OF DISCHARGE AS PER COUNCIL REQUIREMENTS
SERVICE
F1 SITE HAS ACCESS TO INFRASTRUCTURE (SEWER, WATER SUPPLY, GAS & TELEPHONE)
FENCES & BOUNDARIES
G1 NO FENCE
G2 1.65m HIGH TIMBER PAILING FENCE
G3 1.85m HIGH TIMBER PAILING FENCE
G4 1.95m HIGH TIMBER PAILING FENCE
G5 0.90m HIGH PICKET FENCE
G6 1.80m HIGH STEEL FENCE
G7 0.70m HIGH BRICK FENCE
G8 0.90m HIGH STEEL FENCE
G9 2.00m HIGH BRICK & STEEL FENCE
G10 1.50m HIGH BRICK & TIMBER FENCE
LOCATION/USE OF SURROUNDING BUILDINGS
H1 SINGLE STOREY WEATHERBOARD DWELLING TO BE DEMOLISHED
H2 SINGLE STOREY BRICK VENEER UNIT
H3 SINGLE STOREY WEATHERBOARD UNIT
H4 SINGLE STOREY WEATHERBOARD DWELLING
H5 SINGLE STOREY BRICK VENEER DWELLING
H6 DOUBLE STOREY BRICK VENEER & LIGHTWEIGHT UPPER UNITS
H7 TILT PANEL FACTORIES
H8 SINGLE STOREY CHILD CARE
H9 DOUBLE STOREY BRICK VENEER
H10 SINGLE STOREY MILK BAR
H11 SINGLE STOREY RENDERED BRICK VENEER DWELLING

- SECLUDED OPEN SPACE**
S.P.O.S. SECLUDED PRIVATE OPEN SPACES OF SURROUNDING DWELLINGS
HABITABLE ROOM WINDOWS/DOORS
HAB. HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)
N/H WIN. NON-HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)
SOLAR ACCESS
K POTENTIAL DAYLIGHT ALONG NORTH SIDE OF SITE
WALLS ON BOUNDARY
L1 2.9m HIGH WALL ON BOUNDARY
L2 2.3m HIGH WALL ON BOUNDARY
LAND USE AND DENSITY RESPONDS TO:
Q * LOCATION WITHIN ESTABLISHED RESIDENTIAL AREA
* LACK OF MANAGEABLE INFRASTRUCTURE CONSTRAINTS
* ACCESSIBILITY TO PUBLIC TRANSPORT, LOCAL SHOPS, RESERVES & SCHOOLS
* SITE DIMENSION & AREA
R MATERIALS, COLOURS & TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS & REFLECT THE BUILDINGS ADJACENT
LANDSCAPING
S1 LANDSCAPING PROVIDED TO REINFORCE THE PRESENTATION OF EACH RESIDENCE TO THE STREET
S2 LANDSCAPING PROVIDED TO MAINTAIN PRIVACY BOTH WITHIN & BEYOND THE DEVELOPMENT
T CREATE PRIVATE NORTH-FACING COURTYARDS, MAINTAIN SUFFICIENT DIMENSIONS TO ENABLE PLANTING OF LARGER SHADE TREES

REV A 26.05.2026 TOWN PLANNING SUBMISSION SET
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REV C 24.06.2026 SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY

AT: 35 FISHER STREET,
MAIDSTONE

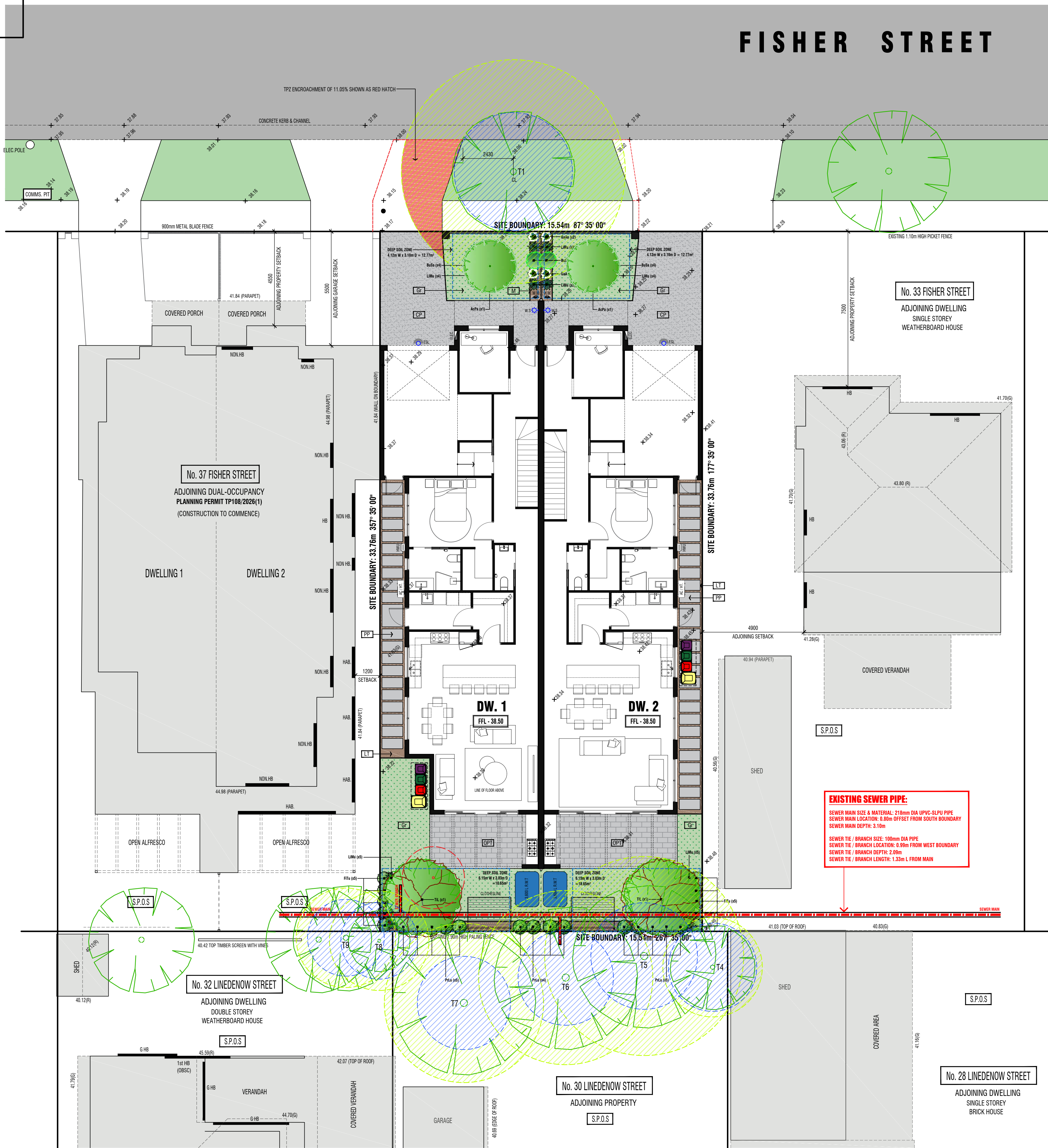
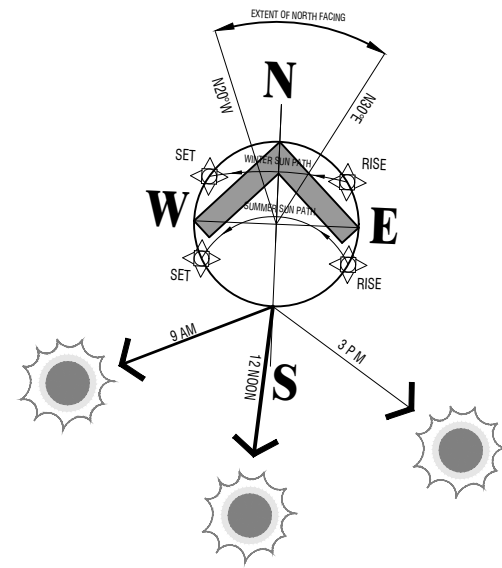
FOR: VV CONSTRUCTIONS

DPD NO.	DATE	DRAWN BY	CHECKED BY	SCALE	SHEET NO.
DOZ21-25	JAN 2026	D. GRAMA	D. GRAMA (DP-AD583)	1 : 500	D2

LANDSCAPE PLAN

SCALE 1:100

FISHER STREET



LANDSCAPE PLAN LEGEND:

- LAWN
- COLOURED PAVING TO DRIVEWAY & WALKWAY AREAS
- OUTDOOR PAVER TILES (TO CLIENT SELECTION)
- LILYDALE TOPPING
- MULCH / BARK MIXTURE
- LA - KIKUYU LAWN / GRASS
- LT - LILYDALE TOPPING
- CP - COLOURED PAVING
- NS - NATURE STRIP
- M - MULCH / BARK
- OPV - OUTDOOR PAVER TILES
- PP - PERMEABLE PAVER TILES
- SL - SENSORED LED LIGHT
- BL - BAFFLED LED LIGHT
- WS - MOTION SENSORED WALL SCONCE
- W.M - WATER METER
- H.C - HEATING / COOLING UNIT
- HWU - HOT WATER UNIT
- ELEC - ELECTRICAL METER BOX
- RB - RUBBISH BIN STORAGE AREA
- 3,600 LITRE RWT - 3,600 LITRE RAINWATER TANK
- FOLDABLE CLOTHESLINE
- DEEP SOIL ZONE

SITE AREA: 524.00 sqm

REQUIRED CANOPY COVERAGE: 10% OF SITE AREA
10% OF 524.00 sqm: 52.40 sqm OF TREE CANOPY COVERAGE REQUIRED

2 x 4.0m DIAMETER AND 2 x 5.0m DIAMETER TREES TO BE PROVIDED TO SITE

5.0m DIAMETER TREE CANOPY COVERAGE: 19.7msq

2.0m DIAMETER TREE CANOPY COVERAGE: 12.6msq

(2 x 19.70msq) + (2 x 12.60msq) - 7.24msq (TREE OVERHANG) = 57.36msq

REQUIRED TREE CANOPY COVERAGE: ACHIEVED

- THE TREE CANOPY COVERAGE PLAN IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE PLAN PREPARED BY "DRAFTMODE DESIGNS". REFER TO DRAWING L1 & L2 FOR ALL PROPOSED CANOPY TREE SIZES, PLANTING DETAILS AND VEGETATION SPECIES.

- ANY PROPOSED TREES PLANTED NEAR EASEMENTS MUST BE OF A SPECIES WITH A NON - INVASIVE ROOT SYSTEM.

EASEMENT PLANTING NOTE:

ALL LANDSCAPE / PLANTING IN CLOSE PROXIMITY TO EASEMENTS ARE TO HAVE NON-INVASIVE ROOT SYSTEMS.

ROOT BARRIER NOTE:

ROOT BARRIERS TO BE INSTALLED TO ALL CANOPY TREES IF IT IS TO CAUSE ANY DETRIMENT TO STRUCTURAL INTEGRITY OF PROPOSED AND EXISTING SURROUNDING STRUCTURES

REV A 26.05.2026

REV B 12.06.2026

REV C 24.06.2026

TOWN PLANNING SUBMISSION SET

REQUEST FOR FURTHER INFORMATION SET

SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY

AT: 35 FISHER STREET,
MAIDSTONE

FOR: WV CONSTRUCTIONS

DATE: 24.06.2026

SCALE: 1:100

SHEET NO: L1

OF L2

draftmode designs

ply ltd

ARBORICULTURAL REPORT NOTES:

ALL TOWN PLANNING / ARCHITECTURAL DOCUMENTATION IS TO BE READ IN CONJUNCTION WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY "MOLLOY ARBORICULTURE PTY LTD", VERSION 1, DATED 26 / 05 / 2026

TREE MANAGEMENT LEGEND:

- EXISTING TREE(S) TO BE RETAINED AND PROTECTED
- EXISTING TREE TO BE REMOVED TO THE SATISFACTION OF THE RELEVANT AUTHORITY
- (NRZ / TPZ) NOMINAL ROOT ZONE / TREE PROTECTION ZONE (AS DETERMINED IN THE TREE PROTECTION SPECIFICATION REPORT)
- (SRZ) STRUCTURAL ROOT ZONE (AS DETERMINED IN THE ARBORICULTURAL IMPACT ASSESSMENT REPORT)

PLANT SCHEDULE, NOTES AND DETAILS

N/A

LANDSCAPE NOTES

- THIS PLAN IS BASED ON THE TOWN PLANNING DRAWINGS D0221-25 BY DRAFTMODE DESIGNS PTY LTD
- Contractor shall note that the required location & dimensions of works may not exactly correspond with existing conditions.
- Contractor shall use figured dimensions in preference to scale & shall verify all dimensions on site before commencement of works.
- Contractor shall verify the location of all services, gas, electrical, water, sewage & telephone before commencement of works.
- The landscape area is to be cleared of all waste. Gypsum is to be spread over the area at the rate of 1.5kg/sqM & then the area is to be rotary hoed.
- All plants are to be healthy, disease-free specimens. Osmocote or similar slow-release fertiliser to be applied to all plants. Thoroughly water in all plants. Stake and tie all canopy trees.
- Provide timber plinth edge or similar between lawn, garden areas and gravel paths. All plant/garden beds are to be mulched with 100mm minimum depth of wood chip mulch.
- Plants are to be deep watered once per week until established. Mulch is to be renewed twelve months after planting. In the event of plant dying it is to be replaced.
- An in - ground irrigation system to be provided throughout landscaped areas, to be determined on site

THIS PLAN IS FOR PLANNING PURPOSES ONLY AND NOT FOR CONSTRUCTION

Refer to Architects plans for existing structures and services to be retained, if any.

TREE PLANTING NOTES

Dig a shallow, broad planting hole that is up to 3 times the width of the root ball but only as deep as the root ball.

The soil under the root ball must not be excavated if it has been dug or disturbed, then compact it (with your feet) so that it can support the root ball.

Identify the trunk flare - the point where the roots and trunk meet should be visible at the surface, if it is buried by potting mix or site soil or mulch then remove any such material.

Carefully remove the container and examine the roots, if there are circling roots then prune or remove them.

Place the tree at the proper height, do not plant too deeply. It is better to plant a tree a little higher rather than deeper than the natural ground level.

If there is a slope then it should be no deeper than the lower slope. Lift the tree by the root ball not by the trunk.

Straighten the tree in the hole before backfilling with the excavated site soil, view the tree from several directions to check it is straight.

Fill the hole gently but firmly with site soil - fill the hole about one third full, then water and gently but firmly pack the soil around the base of the root ball. Then fill hole. Fertiliser use is not recommended.

Stake if necessary - if the tree is properly grown in the nursery and properly planted it will not need staking for support but it can assist with mower damage or very windy conditions.

Ties should be loose to allow movement to stimulate the growth of supporting roots. Stakes should be removed after one year.

Mulch the base of the tree-organic mulch such as pine bark can help to retain moisture and suppress weed growth.

Do not cover the root ball or trunk with mulch.

Provide follow up care-water once a week if there is no rain and more frequently if temperature exceeds 30c.

The first few weeks and the first Spring-Summer-Autumn are vital.

SPECIFICATION NOTES:

SITE PREPARATION

Remove any on - site building material, rubbish and weeds from planting areas that will be restrictive to plant growth. Stump ground all trees marked as 'to be removed.' Imported topsoil to be a medium texture sandy loam.

GARDEN BEDS

Existing sub-grade to be dug to a depth of no less than 500mm below finished grade in garden beds to allow for 400mm medium-loam soil and 75mm mulch. Original sub-base to be cultivated where possible. Gypsum to be spread if there is a clay sub surface. Use organic mulch on all garden bed areas.

A standard 'garden mix' from an approved supplier containing topsoil and compost shall be incorporated to garden beds shall match paving finished levels.

TREES

Use three 50 x 50 x 2400 HW stakes per tree. Fasten trees to stakes with 50mm fabric tie in figure 8 loop. Existing street trees to be suitably protected. Maintain existing ground levels at the interface between the ground and the tree trunk. Area beneath the canopy should be fenced prior to the commencement of the construction activities.

No excavation, filling, machinery or storage of materials shall occur within the fenced off area. Roots requiring severance beyond the tree canopy shall be clean cut with hand saw and kept moist. All roots over 40mm diameter Any roots within the fenced area should not be cut without the approval from an experienced arborist.

PLANTING

All plants used throughout the development are to be supplied by a nursery which specialises in native and exotic plants. Plants being relocated to be trimmed prior to lifting and located in a protected position during the works. Ensure an adequate root system is retained and any damaged roots to be pruned cleanly. Season to be used on a fortnightly basis to assist in transplant shock and keep the plants healthy during the works and for 3 months after final planting.

MULCH

Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded pine bark or similar with 85% of particles in the size range 10 to 25mm in plan and 5mm in thickness.

No particles are to exceed 30mm in plan. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. All mulch is to be sloped towards plant stems but shall be kept back 100mm from the stems of all plants to prevent collar rot.

FERTILIZER

Use 6 - 9 month osmocote suitable for Australian plants and applied at following rates:

- Advanced trees: 200g per tree.
- 200 diameter pots: 20g per pot.
- 150 diameter pots: 15g per pot.

LILYDALE TOPPING

Lilydale Toppings shall be laid according to manufacture's instructions and in locations shown on the drawings. Refer TO Detail. Refer Architects Plans for indication of levels. Confirm levels prior of construction.

GRASS / LAWN

Seed on 50mm topsoil (NOTE: during water restriction periods, lawn substitute materials such as pebbles or mulch should be considered for small areas)

Any areas specified as "Lawn" or "Grass" are to be of a draught tolerant species (eg. Eureka Kikuyu Lawn) and must not be artificial or synthetic turf.

PAVING

Paving units shall be 800mm x 400mm concrete units (to be specified) laid over a base of 100mm compacted crushed rock and 50mm washed river sand. Allow 5 mm joints between paving units and brush-fill with jointlock jointing compound or similar approved.

All paving shall be to a grade of approximately 1% to aid surface drainage towards garden beds and away from house.

IRRIGATION

A slow-drip irrigation system with programmable timers connected to the rainwater tanks and water mains as a back-up / alternative water supply. Irrigation must be used in compliance with any and all water restrictions in effect.

MAINTENANCE SCHEDULE

To follow for a two year period after final completion. Work to be carried out by the owner or body corporate. Plants to be regularly checked for pests and diseases and appropriate treatments applied.

When necessary:

- Prune every 3 months to ensure good shape and remove dead limbs
- Additional applications of osmocote as per manufacturer's recommendations
- Regular watering during summer months and dry periods
- Replace dead plants with equally sized plants within maintenance period
- Control weeds throughout maintenance via hand and chemical means
- Replenish mulch
- Remove tree stakes after establishment to ensure successful ongoing health & shape of trees

LANDSCAPING PALLET



Tristaniopsis Laurina "Luscious Water Gum"



Acer Palmatum "Japanese Maple"



"Prunus Lusitanica - Portuguese Laurel" EXAMPLE



"Ficus Tuffi - Tuff Fig" EXAMPLE



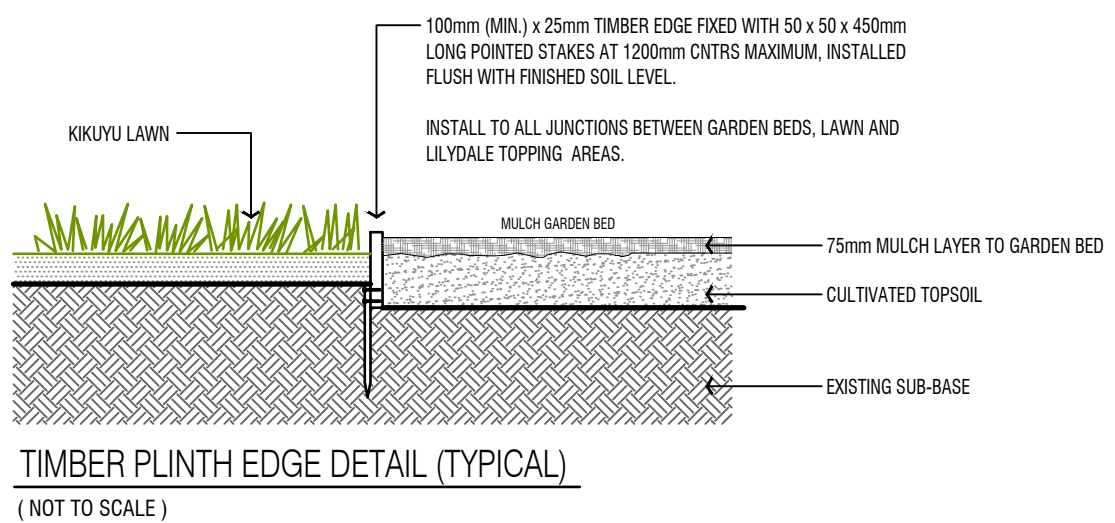
"Buxus Sempervirens (SPHERE)" EXAMPLE



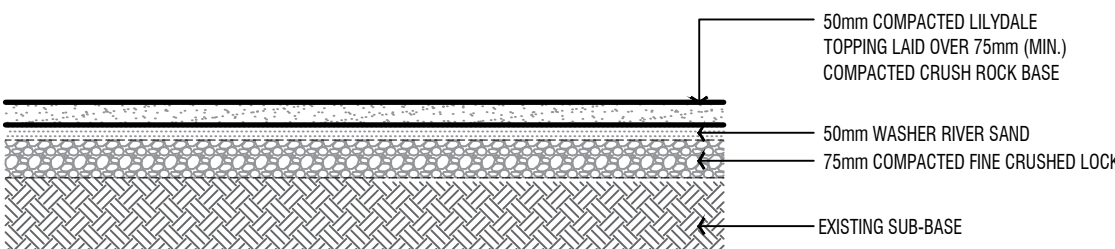
"Liriope Muscari - Lily Turf" EXAMPLE



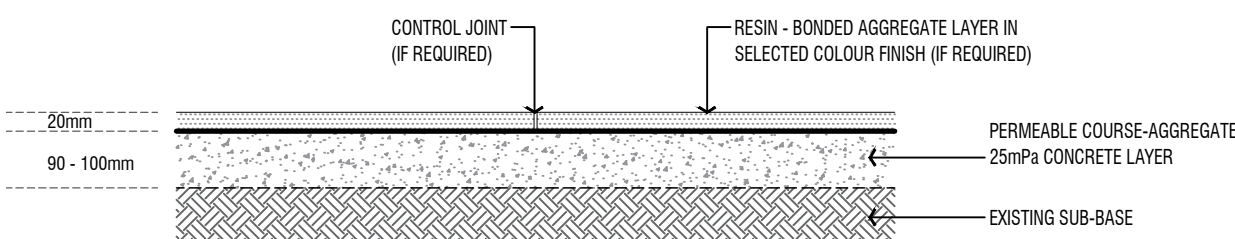
"Gardenia Augusta Florida" EXAMPLE



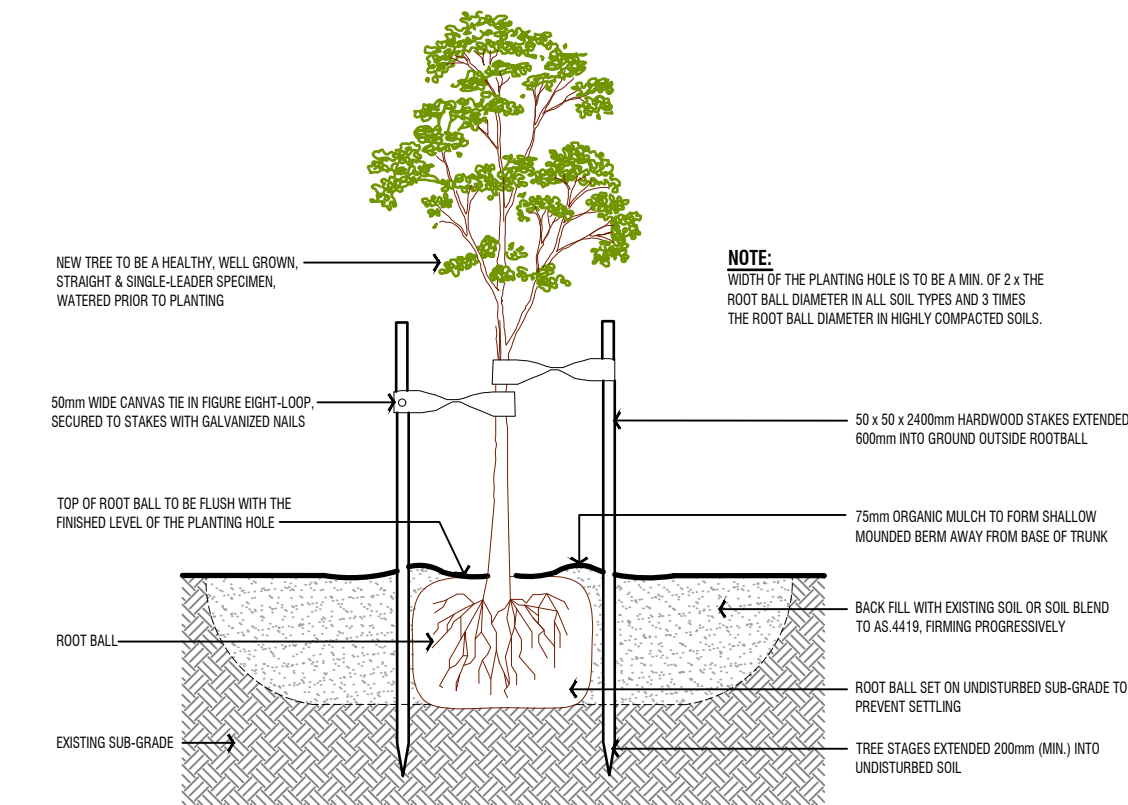
TIMBER PLINTH EDGE DETAIL (TYPICAL)
(NOT TO SCALE)



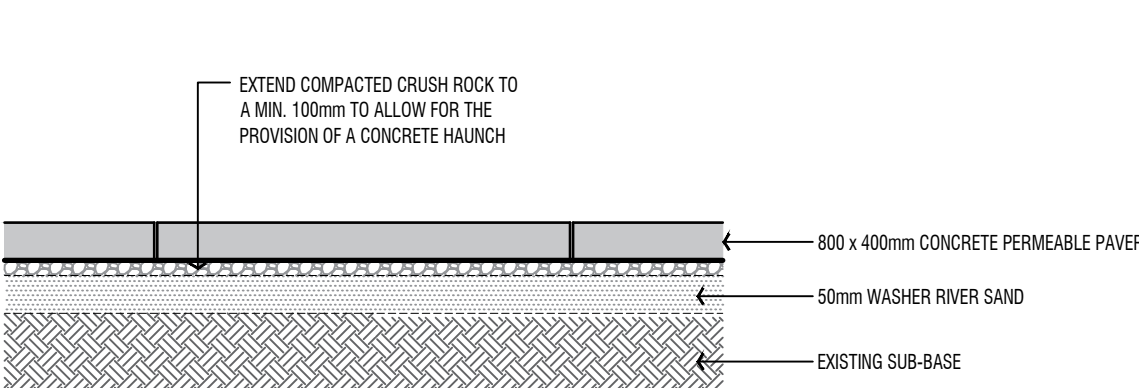
LILYDALE TOPPING DETAIL (TYPICAL)
(NOT TO SCALE)



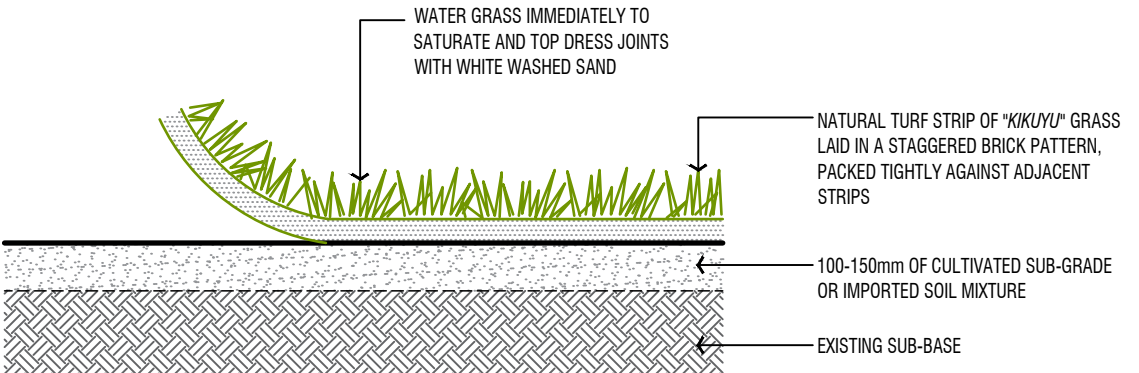
COLOURED PAVING DETAIL (TYPICAL)
(NOT TO SCALE)



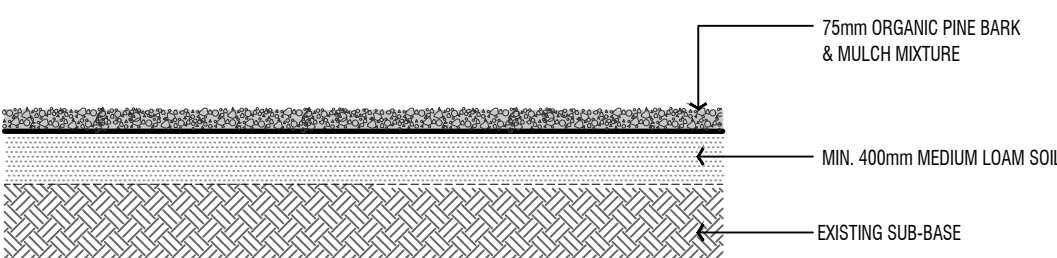
ADVANCED TREE PLANTING DETAIL
(NOT TO SCALE)



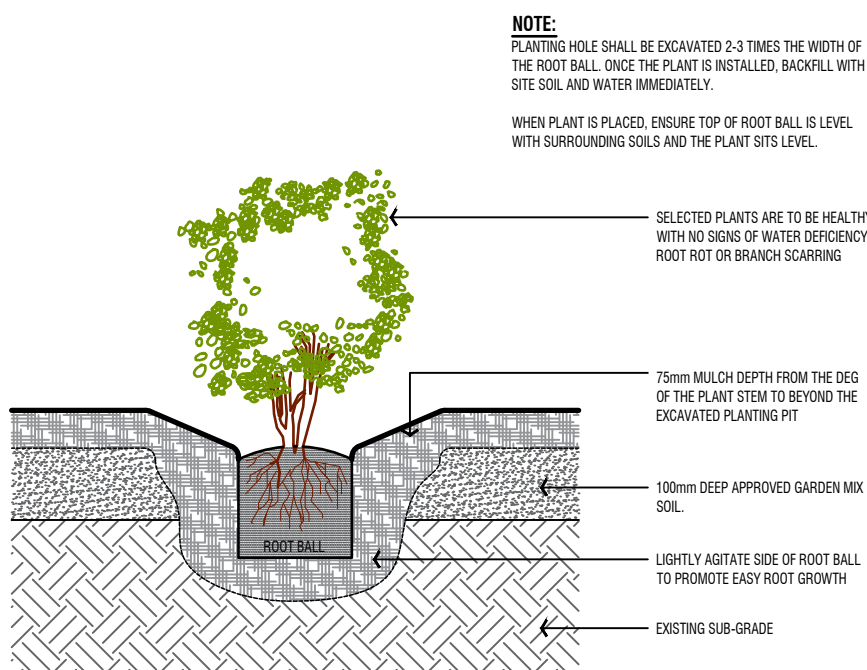
CONCRETE PAVER DETAIL (TYPICAL)
(NOT TO SCALE)



INSTANT LAWN / GRASS DETAIL (TYPICAL)
(NOT TO SCALE)



MULCH / BARK GARDEN BED (TYPICAL)
(NOT TO SCALE)



ADVANCED SHRUB PLANTING DETAIL
(NOT TO SCALE)

PROPOSED PLANTING SCHEDULE							
ICON	ID	Deciduous (D) Evergreen (E)	Qty / Planting Density	COMMON NAME	BOTANICAL NAME	MATURED HEIGHT X WIDTH (M)	POT SIZE (At Time of Planting)
LARGE CANOPY TREES (TYPE A: 4.00m MIN. DIAMETER CANOPY)							
	AcPa	E	2	Japanese Maple	Acer Palmatum	8.00m H x 6.00m W	200 Litre
	TIL	E	2	Luscious Water Gum	Tristanopsis Laurina	8.00m H x 5.00m W	200 Litre
MEDIUM - LARGE SHRUBS							
	FiTu	E	10	Tuffy Fig	Ficus Tuffi (PLEACHED)	4.00m H x 2.50m W	25 Litre
	PhLu	E	14	Portuguese Laurel	Prunus Lusitanica	8.00m H x 3.00m W	40cm
SMALL SHRUBS & GROUNDCOVERS							
	BuSe	E	10	English Box	Buxus Sempervirens (SPHERE)	1.00m H x 1.00m W	25cm
	LiMu	E	22	Lily Turf	Liriope Muscari	0.50m H x 0.50m W	140mm
	GaAu	E	4	Gardenia	Gardenia Augusta Florida	0.50m H x 0.80m W	40cm
GRASS / LAWN							
	Gr		N/A	Kikuyu Grass	Eureka Kikuyu	N/A	N/A

EXISTING TREE DATA

Tree #	Botanical Name	Common Name	Tree Type	Height (m)	Width (m)	DBH (cm)	DAB (cm)	Health	Structure	Age Class	Ash Rating	T.E.E.	N.B.Z. (m)	S.R.Z. (m)
1	Laguncularia patersoniae	Swedish Island Elbowtree	Aus. native	10	9	45	70	Fair	Fair	Mature	Moderate	60+	5.4	2.85
2	Cotoneaster salicifolia	Cotoneaster	Exotic evergreen	4.8	8	10/15/ 10/10/ (10)	30	Fair	Fair	Mature	NONE	35-60	2.28	2
3	Eucalyptus viminalis	European gumble	Exotic evergreen	5.6	8	15	18	Fair	Fair	Mature	Low	35-60	2	1.61
4	Styphionium angustifolium	Lilly Pilly	Aus. native	7	6	10/15/ 8 (26)	35	Fair	Fair-Poor	Mature	Moderate	35-60	2.4	2.13
5	Neopentocyparis macrocarpa	Monterey Cypress	Exotic conifer	10.8	11	40	55	Fair	Fair	Mature	Moderate	60+	4.8	2.97
6	Neopentocyparis macrocarpa	Monterey Cypress	Exotic conifer	10	6	35	42	Fair	Fair	Mature	Moderate	60+	4.2	2.9
7	Lophocarpus confertus	Bushy Box	Aus. native	9.4	7	32	40	Fair	Fair	Mature	Moderate	60+	3.84	2.25
8	Pyrus calleryana	Capital Pear	Exotic Deciduous	8.4	8	20	25	Fair	Fair-Poor	Mature	Moderate	25-30	2.4	1.85

Tree #	Botanical Name	Common Name	Tree Type	Height (m)	Width (m)	DBH (cm)	DAB (cm)	Health	Structure	Age Class	Ash Rating	T.E.E.	N.B.Z. (m)	S.R.Z. (m)
9	Pyrus calleryana	Capital Pear	Exotic Deciduous	8.4	8	20	25	Fair	Fair-Poor	Mature	Moderate	25-30	2.4	1.85

DBH - "DIAMETER AT STANDARD" HEIGHT MEASURED AT 1.40m H (NOMINAL) FROM NATURAL GROUND LEVEL

NBZ - "NOMINAL ROOT ZONE" MEASURED IN METERS IN A RADIUS FROM THE CENTRE OF THE TREE TRUNK

SRZ - "STRUCTURAL ROOT ZONE" MEASURED IN METERS IN A RADIUS FROM THE CENTRE OF THE TREE TRUNK

ARBORICULTURAL REPORT NOTES:

ALL TOWN PLANNING / ARCHITECTURAL DOCUMENTATION IS TO BE READ IN CONJUNCTION WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED "MOLLOY ARBORICULTURE PTY LTD", VERSION 1, DATED 26 / 05 / 2026

LANDSCAPE PLAN LEGEND:

- LAWN
- COLOURED PAVING TO DRIVEWAY & WALKWAY AREAS
- OUTDOOR PAVER TILES (TO CLIENT SELECTION)
- LILYDALE TOPPING
- MULCH / BARK MIXTURE

LA - KIKUYU LAWN / GRASS

LT - LILYDALE TOPPING

CP - COLOURED PAVING

NS - NATURE STRIP

M - MULCH / BARK

OPV - OUTDOOR PAVER TILES

PP - PERMEABLE PAVER TILES

SL - SENSORED LED LIGHT

BL - BAFFLED LED LIGHT

WS - MOTION SENSORED WALL SCONCE

W.M - WATER METER

HEATING / COOLING UNIT

HOT WATER UNIT

ELECTRICAL METER BOX

RUBBISH BIN STORAGE AREA

- 3.600 LITRE RAINWATER TANK

FOLDABLE CLOTHESLINE

DEEP SOIL ZONE

SITE AREA: 524.00 sqm

REQUIRED CANOPY COVERAGE: 10% OF SITE AREA

10% OF 524.00 sqm: 52.40 sqm OF TREE CANOPY COVERAGE REQUIRED

2 x 4.0m DIAMETER AND 2 x 5.0m DIAMETER TREES TO BE PROVIDED TO SITE

5.0m DIAMETER TREE CANOPY COVERAGE: 19.7msq

2.0m DIAMETER TREE CANOPY COVERAGE: 12.6msq

(2 x 19.70msq) + (2 x 12.60msq) - 7.24msq (TREE OVERHANG) = 57.36msq

REQUIRED TREE CANOPY COVERAGE: ACHIEVED

- THE TREE CANOPY COVERAGE PLAN IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE PLAN PREPARED BY "DRAFTMODE DESIGNS". REFER TO DRAWING L1 & L2 FOR ALL PROPOSED CANOPY TREE SIZES, PLANTING DETAILS AND VEGETATION SPECIES.

- ANY PROPOSED TREES PLANTED NEAR EASEMENTS MUST BE OF A SPECIES WITH A NON - INVASIVE ROOT SYSTEM.

EASEMENT PLANTING NOTE:

ALL LANDSCAPE / PLANTING IN CLOSE PROXIMITY TO EASEMENTS ARE TO HAVE NON-INVASIVE ROOT SYSTEMS.

ROOT BARRIER NOTE:

ROOT BARRIERS TO BE INSTALLED TO ALL CANOPY TREES IF IT IS TO CAUSE ANY DETRIMENT TO STRUCTURAL INTEGRITY OF PROPOSED AND EXISTING SURROUNDING STRUCTURES

REV A

26.05.2026

TOWN PLANNING SUBMISSION SET

REV B

12.06.2026

REQUEST FOR FURTHER INFORMATION SET

REV C

24.06.2026

SECONDARY FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY

AT: 35 FISHER STREET,
MAIDSTONE

FOR: WV CONSTRUCTIONS

DWG NO:	DATE	DRAWN BY:	CHECKED BY:	SCALE	SHEET NO:
D0221-25	JAN.2026	D. GRAMA	D. GRAMA	N/A	L2

draftmode designs pty ltd

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