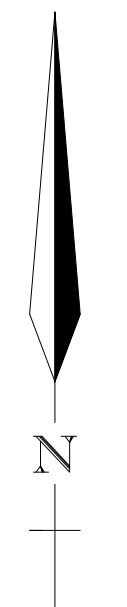
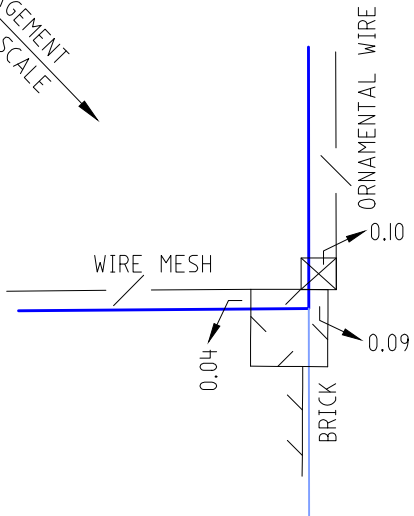
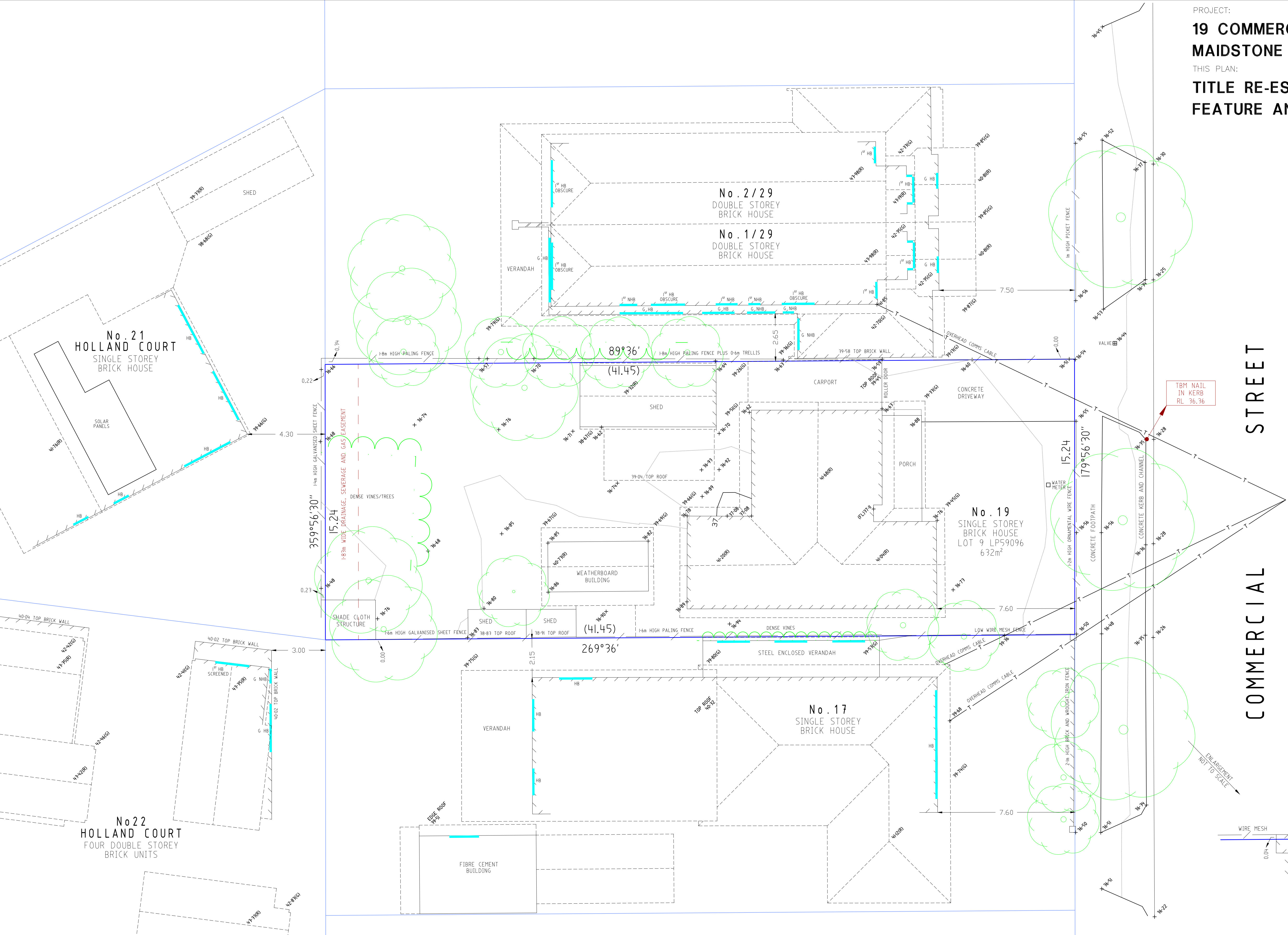


PROJECT:
**19 COMMERCIAL STREET
MAIDSTONE**
THIS PLAN:
**TITLE RE-ESTABLISHMENT
FEATURE AND LEVEL SURVEY**



DJF
LAND SURVEYING
0403 175 941
djflandsurveying@gmail.com

Version	01	(R) - RIDGE
Date Drawn	04-03-2025	(G) - GUTTER
Date of Survey	28-02-2025	(FL) - FLOOR LEVEL
Level Datum	AHD	- - - WINDOW
Grid Datum		- - - TITLE BOUNDARY
Contour Interval	0.2m	- - - ROOF STRUCTURE
Scale	1:100 (A1)	

PROPOSED DUAL OCCUPANCY
No. 19 COMMERCIAL STREET, MAIDSTONE,
FOR: VV CONSTRUCTIONS

1 OF 7	CLAUSE 55 WRITTEN STATEMENT CHECKLIST
2 OF 7	PROPOSED SITE & GROUND FLOOR PLANS
3 OF 7	PROPOSED FIRST FLOOR PLANS
4 OF 7	PROPOSED ELEVATIONS AND COLOUR & MATERIAL SCHEDULE
5 OF 7	STORMWATER ASSESSMENT AND ROOF PLAN
6 OF 7	GARDEN AND TREE CANOPY COVERAGE PLAN
7 OF 7	CROSS-VENTILATION AIR FLOW PLAN
P1 OF P1	3D PERSPECTIVES
S1 OF S4	STREETSCAPE ELEVATIONS & FENCE DETAILS
S2 OF S4	SHADOW DIAGRAMS (9:00am, 10:00am & 11:00am)
S3 OF S4	SHADOW DIAGRAMS (12:00pm, 1:00pm & 2:00pm)
S4 OF S4	SHADOW DIAGRAMS (3:00pm)
D1 OF D2	SITE ANALYSIS
D2 OF D2	DESIGN RESPONSE
L1 OF L2	LANDSCAPE PLAN
L2 OF L2	PLANTING SCHEDULE, NOTES & DETAILS



3D FACADE PERSPECTIVE

(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE



3D FACADE PERSPECTIVE

(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE

draftmode

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P - 9330 3434
E - enquiries@draftmode.com.au

CLAUSE 55 - WRITTEN STATEMENT CHECKLIST

NOT APPLICABLE

TOWNHOUSE AND LOW-RISE CODE - WRITTEN STATEMENT CHECKLIST			
STANDARD:	IS THE STANDARD FULLY MET?	DOES AN OBJECTOR HAVE A RIGHT OF APPEAL?	IF THE STANDARD IS NOT MET, PROVIDE A WRITTEN STATEMENT THAT INCLUDES AN EXPLANATION OF HOW THE DEVELOPMENT MEETS THE CORRESPONDING OBJECTIVE HAVING REGARD TO THE CORRESPONDING DECISION GUIDELINES
STANDARD B2-1: STREET SETBACK (CLAUSE 55.02-1)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B2-2: BUILDING HEIGHT (CLAUSE 55.02-2)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B2-3: SIDE & REAR SETBACKS (CLAUSE 55.02-3)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B2-4: WALL ON BOUNDARIES (CLAUSE 55.02-4)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B2-5: SITE COVERAGE (CLAUSE 55.02-5)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B2-6: ACCESS (CLAUSE 55.02-6)	☐ YES ☒ NO ☐ N/A	☒ YES, IF STANDARD IS NOT MET ☐ NO, IF STANDARD IS MET	WE ARE REQUIRED TO UTILISE THE PROPOSED 3.20m WIDE (MIN.) DRIVEWAYS TO FUNCTION AS A COMPLAINT STEP-FREE ACCESS PATH FOR EACH DWELLING. THIS REQUIREMENT COMES UNDER PART 3.4 OF THE VIC "UNABLE HOUSING DESIGNS" HANDBOOK AND TO COMPLY WITH THIS REQUIREMENT, WE ARE FORCED US TO EXCEED THE MAXIMUM 40% ACCESSWAY WIDTH AND ENCROACH THE EXISTING STREET TREES TP2 MORE THAN 10% (13.22% AS DETERMINED IN THE ARBORICULTURAL IMPACT ASSESSMENT).
STANDARD B2-7: TREE CANOPY (CLAUSE 55.02-7)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B2-8: FRONT FENCES (CLAUSE 55.02-8)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B3-1: DWELLING DIVERSITY (CLAUSE 55.03-1)	☐ YES ☐ NO ☒ N/A TO DUAL-OC.	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-2: PARKING LOCATION (CLAUSE 55.03-2)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-3: STREET INTEGRATION (CLAUSE 55.03-3)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-4: ENTRY (CLAUSE 55.03-4)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-5: PRIVATE OPEN SPACE (CLAUSE 55.03-5)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-6: SOLAR ACCESS (CLAUSE 55.03-6)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-7: FUNCTIONAL LAYOUT (CLAUSE 55.03-7)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-8: ROOM DEPTH (CLAUSE 55.03-8)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-9: DAYLIGHT TO NEW WINDOWS (CLAUSE 55.03-9)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-10: NATURAL VENTILATION (CLAUSE 55.03-10)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-11: STORAGE (CLAUSE 55.03-11)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B3-12: ACCESSABILITY FOR APARTMENTS (CLAUSE 55.03-12)	☐ YES ☐ NO ☒ N/A TO DUAL-OC.	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B4-1: DAYLIGHT TO EXISTING WINDOWS (CLAUSE 55.04-1)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B4-2: EXISTING NORTH-FACING WINDOWS (CLAUSE 55.04-2)	☐ YES ☐ NO ☒ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B4-3: OVERSHADOWING S.P.O.S (CLAUSE 55.04-3)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B4-4: OVERLOOKING (CLAUSE 55.04-4)	☒ YES ☐ NO ☐ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B4-5: INTERNAL VIEWS (CLAUSE 55.04-5)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B5-1: PERMEABILITY & STORMWATER MANAGEMENT (CLAUSE 55.05-1)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B5-2: OVERSHADOWING DOMESTIC SOLAR SYSTEMS (CLAUSE 55.05-2)	☐ YES ☐ NO ☒ N/A	☐ YES, IF STANDARD IS NOT MET ☒ NO, IF STANDARD IS MET	
STANDARD B5-3: ROOFTOP SOLAR ENG. GENERATION AREA (CLAUSE 55.05-3)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B5-4: SOLAR PROTECTION TO NEW NORTH WINDOWS (CLAUSE 55.05-4)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B5-5: WASTE AND RECYCLING (CLAUSE 55.05-5)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B5-6: NOISE IMPACT (CLAUSE 55.05-6)	☒ YES ☐ NO ☐ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	
STANDARD B5-7: ENERGY EFFICIENCY FOR APARTMENTS (CLAUSE 55.05-7)	☐ YES ☐ NO ☒ N/A	NO, IRRESPECTIVE OF WHETHER THE STANDARD IS MET OR NOT	

STANDARD B3-11: STORAGE		
STORAGE SIZE COMPLIANCE:		
DWELLING 1:		
ROOM NAME	STORAGE TYPE:	STORAGE VOLUME:
MASTER BEDROOM	WALK-IN ROBE	7.92 m3
MASTER ENSUITE	CABINETRY	0.65 m3
BED ROOM 02	BUILT-IN WARDROBE	4.80 m3
BED ROOM 03	BUILT-IN WARDROBE	2.93 m3
BED ROOM 04	BUILT-IN WARDROBE	3.12 m3
GUEST BED ROOM	WALK-IN WARDROBE	3.84 m3
GUEST ENSUITE	CABINETRY	0.65 m3
KITCHEN	CABINETRY	3.10 m3
PANTRY	CABINETRY	7.20 m3
LAUNDRY	CABINETRY	1.26 m3
GARAGE	EXTERNALLY ACCESSIBLE	9.63 m3
1ST FLOOR HALLWAY	LINEN CUPBOARD	1.68 m3
MINIMUM TOTAL STORAGE VOLUME REQUIRED:		18.00 m3
MINIMUM TOTAL STORAGE VOLUME PROVIDED:		46.78 m3 COMPLIES

STANDARD B3-11: STORAGE		
STORAGE SIZE COMPLIANCE:		
DWELLING 2:		
ROOM NAME	STORAGE TYPE:	STORAGE VOLUME:
MASTER BEDROOM	WALK-IN ROBE	7.92 m3
MASTER ENSUITE	CABINETRY	0.65 m3
BED ROOM 02	BUILT-IN WARDROBE	4.80 m3
BED ROOM 03	BUILT-IN WARDROBE	2.93 m3
BED ROOM 04	BUILT-IN WARDROBE	3.12 m3
GUEST BED ROOM	WALK-IN WARDROBE	3.84 m3
GUEST ENSUITE	CABINETRY	0.65 m3
KITCHEN	CABINETRY	3.10 m3
PANTRY	CABINETRY	7.20 m3
LAUNDRY	CABINETRY	1.26 m3
GARAGE	EXTERNALLY ACCESSIBLE	9.63 m3
1ST FLOOR HALLWAY	LINEN CUPBOARD	1.68 m3
MINIMUM TOTAL STORAGE VOLUME REQUIRED:		18.00 m3
MINIMUM TOTAL STORAGE VOLUME PROVIDED:		46.78 m3 COMPLIES

STANDARD B3-7: FUNCTIONAL LAYOUT			
ROOM SIZE COMPLIANCE:			
DWELLING 1:			
ROOM TYPE:	DIMENSION:	MINIMUM REQUIRED SIZE:	COMPLIES:
MAIN / MASTER BED ROOM (BED ROOM 1)	3.91 m W x 3.45m D	3.00 m W x 3.40m D	YES
BED ROOM 02	3.20 m W x 4.20m D	3.00 m W x 3.00m D	YES
BED ROOM 03	3.71 m W x 3.60m D	3.00 m W x 3.00m D	YES
BED ROOM 04	3.92 m W x 4.05m D	3.00 m W x 3.00m D	YES
GUEST BED ROOM	3.40 m W x 3.76m D	3.00 m W x 3.00m D	YES
LIVING / FAMILY AREA	5.20 m W x 6.00m D	3.6 m W (MINIMUM 12.00m2)	YES
RETREAT	4.41 m W x 4.20m D	3.6 m W (MINIMUM 12.00m2)	YES
DWELLING 2:			
ROOM TYPE:	DIMENSION:	MINIMUM REQUIRED SIZE:	COMPLIES:
MAIN / MASTER BED ROOM (BED ROOM 1)	4.10 m W x 3.44m D	3.00 m W x 3.40m D	YES
BED ROOM 02	3.20 m W x 4.20m D	3.00 m W x 3.00m D	YES
BED ROOM 03	3.71 m W x 3.60m D	3.00 m W x 3.00m D	YES
BED ROOM 04	3.92 m W x 4.05m D	3.00 m W x 3.00m D	YES
GUEST BED ROOM	3.40 m W x 3.76m D	3.00 m W x 3.00m D	YES
LIVING / FAMILY AREA	5.20 m W x 6.00m D	3.6 m W (MINIMUM 12.00m2)	YES
RETREAT	4.41 m W x 4.20m D	3.6 m W (MINIMUM 12.00m2)	YES
NOTE: ALL ROOM SIZES ARE EXCLUSIVE OF ANY DEDICATED STORAGE SPACES SUCH AS WARDROBES, CABINETRY, LINEN ETC.....			

SUBJECT SITE

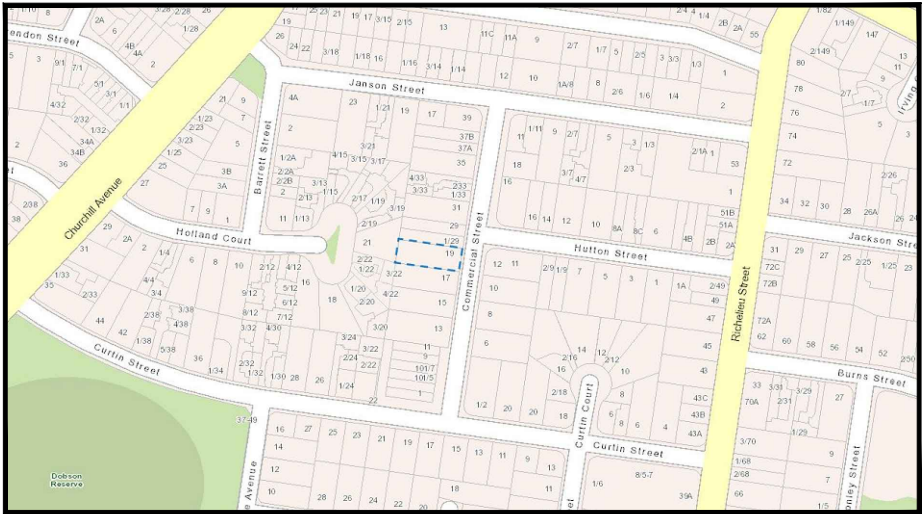
OVERVIEW

THE SUBJECT SITE IS LOCATED AT 00 19 COMMERCIAL STREET, MAIDSTONE 3012 AND IS LOCATED WITHIN AN ESTABLISHED RESIDENTIAL SETTING UNDER MARIIBYRNONG CITY COUNCIL. IN MELBOURNE'S INNER WESTERN SUBURBS. THE SITE IS LOCATED WITHIN A GENERAL RESIDENTIAL ZONE.

THE PROPOSAL IS FOR TWO (2) DOUBLE STOREY DWELLINGS ON THE PROPERTY AND WILL DEMONSTRATE SUFFICIENT MERIT FOR PLANNING APPROVAL FROM MARIIBYRNONG CITY COUNCIL.

IN ITS CURRENT STATE, THE SUBJECT SITE IS CURRENTLY OCCUPIED AND HAS A SINGLE-STOREY BRICK VENEER HOUSE WITH A GARAGE AND MULTIPLE OUTBUILDINGS & SHEDS TO THE REAR OF THE PROPERTY .

SITE SIZE & ORIENTATION



THE SUBJECT SITE IS 631.00 msqg WITH AN OVERALL LENGTH OF 41.45m. AND OVERALL WIDTH OF 15.24m. THE SITE IS ORIENTATED EAST (FRONT TO COMMERCIAL STREET) TO WEST (REAR)

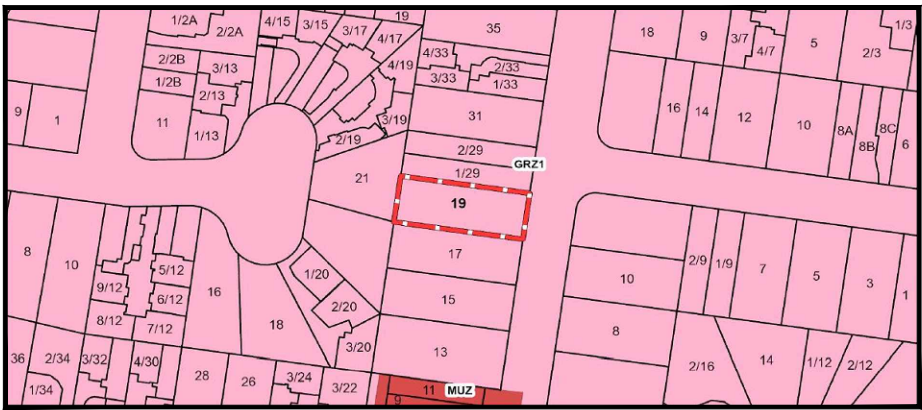
CERTIFICATE OF TITLE

THE SUBJECT SITE IS FORMALLY KNOWN AS LOT 9 ON LP59096 AND GENERALLY KNOWN AS: 19 COMMERCIAL STREET, MAIDSTONE - 3012

THERE IS A NO COVENANT ON TITLE. THE PROPOSAL DOES NOT BREACH IN ANY WAY, AN ENCUMBRANCE ON TITLE SUCH AS A RESTRICTIVE COVENANT, SECTION 173 AGREEMENT OR OTHER OBLIGATION SUCH AS AN EASEMENT OR BUILDING ENVELOPE.

ZONES & OVERLAYS

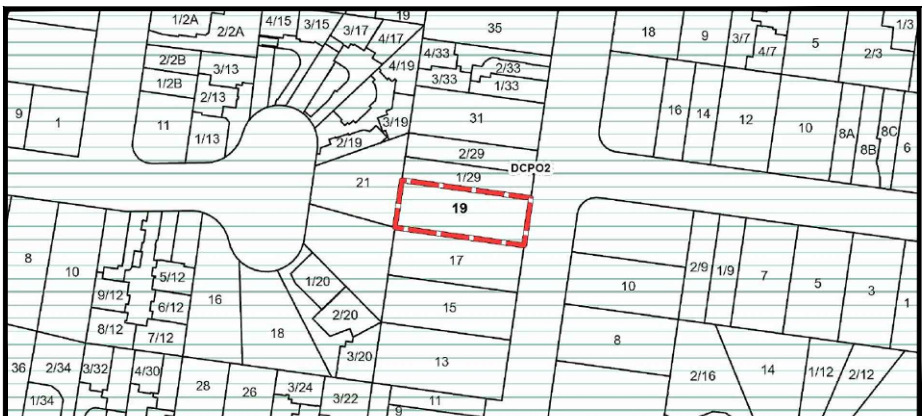
- GENERAL RESIDENTIAL ZONE (GR2)
- GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GR21)



DESCRIPTION	STANDARD	REQUIREMENT	DESIGN RESPONSE
MINIMUM STREET SETBACK	B2-1	NONE SPECIFIED	REFER TO RESCODE ASSESSEMENT
SITE COVERAGE	B2-5	NONE SPECIFIED	REFER TO RESCODE ASSESSEMENT
PRIVATE OPEN SPACE	B3-5	NONE SPECIFIED	REFER TO RESCODE ASSESSEMENT
FRONT FENCE HEIGHT	B2-8	NONE SPECIFIED	REFER TO RESCODE ASSESSEMENT

DCPO OVERLAY

- DEVELOPMENT CONTRIBUTION PLAN OVERLAY (DCPO)
- DEVELOPMENT CONTRIBUTION PLAN OVERLAY - SCHEDULE 2 (DCPO2)



NOTE: THIS OVERLAY IS ASSOCIATED WITH COSTS NEEDED TO SUPPORT AND DEVELOP COUNCIL & PUBLIC INFRASTRUCTURE & HAS NO BEARING IN THIS PLANNING APPLICATION.

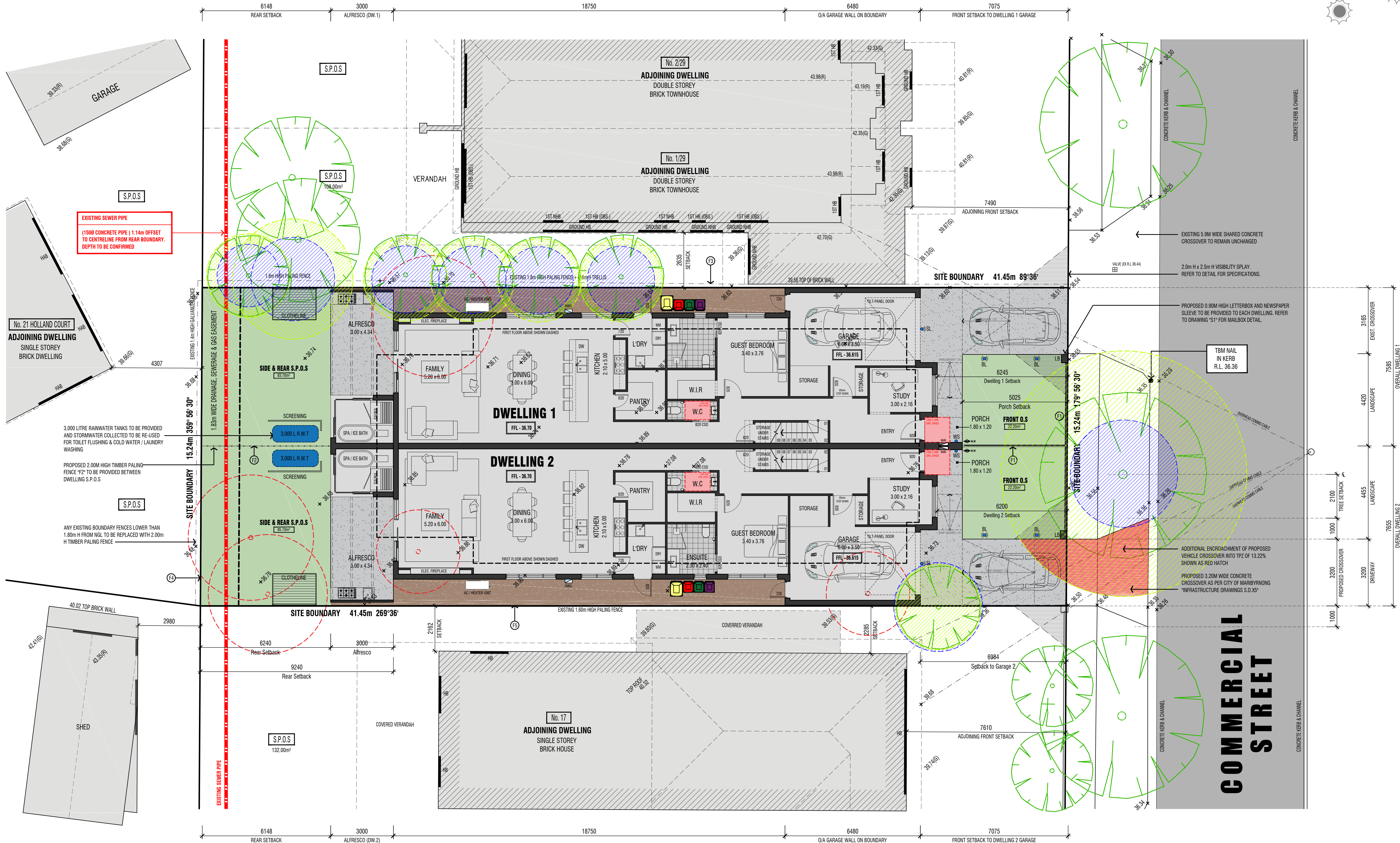
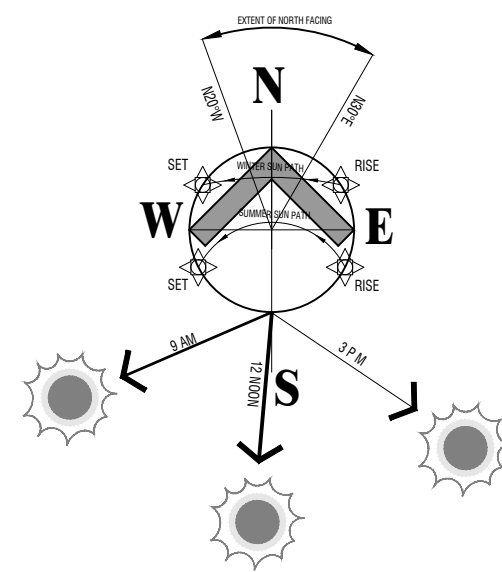
REV A 13.05.2025 TOWN PLANNING SUBMISSION SET
REV B 03.09.2025 UPDATED TO REQUEST FOR FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY
AT: 19 COMMERCIAL STREET
MAIDSTONE
for: VV CONSTRUCTIONS

DPE NO:	DATE:	DRAWN BY:	DRAWN BY:	SCALE:	SHEET NO:
DO217-25	MAY - 2025	D. GRAMA	D. GRAMA	N/A	1
draftmode					OF 7
A - 58 Thomas Street, Airport West 3012 P - 0330 3434 E - enquiries@draftmode.com.au					designs ply ltd

PROPOSED SITE AND GROUND FLOOR PLAN

SCALE 1:100



FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1

GROUND FLOOR: 149.10 msq. / 00.00 SQ's
FIRST FLOOR: 138.10 msq. / 00.00 SQ's
GARAGE: 29.30 msq.
PORCH: 2.40 msq.
ALFRESCO: 15.10 msq.

TOTAL: 334.00 msq. / 35.95 SQ's

FRONT YARD O.S.: 22.20 msq.
SIDE & REAR S.P.O.S.: 83.70 msq.

DWELLING 2

GROUND FLOOR: 146.70 msq. / 15.79 SQ's
FIRST FLOOR: 136.80 msq. / 14.94 SQ's
GARAGE: 24.70 msq.
PORCH: 2.40 msq.
ALFRESCO: 15.10 msq.

TOTAL: 327.70 msq. / 35.27 SQ's

FRONT YARD O.S.: 22.20 msq.
SIDE & REAR S.P.O.S.: 85.40 msq.

SITE AREA: 631.00 msq.

% LAND COVERAGE WITH O/H: 362.00 msq. = 57.40 %
(MAXIMUM SITE COVERAGE IN GSE1 ZONE) = 85.00%
% PERMEABLE SURFACES: 187.00msq. = 29.60 %
% IMPERMEABLE SURFACES: 82.00 msq = 13.00%

GARDEN AREA

SITE AREA: 631.00 msq.
MINIMUM REQUIRED GARDEN AREA FOR SITE (30%) = 189.30 msq.
TOTAL GARDEN AREA = 213.50 msq / (33.83%)

DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 177.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND COLD WATER LAUNDRY TAP / WASHING MACHINE

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 177.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND COLD WATER LAUNDRY TAP / WASHING MACHINE

LANDSCAPE NOTE:

LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

FENCE NOTE:

- (F1) PROPOSED 0.90m HIGH POWDERCOATED METAL BLADE FENCE
- (F2) PROPOSED 2.00m HIGH TIMBER PALING FENCE
- (F3) EXISTING 1.80m H TIMBER PALING FENCE WITH TRAILICE
- (F4) EXISTING 1.40m H GALVANIZED FENCE (TO BE REPLACED WITH F2 2.00m H TIMBER PALING FENCE)
- (F5) EXISTING 1.80m H TIMBER PALING FENCE (TO BE REPLACED WITH F2 2.00m H TIMBER PALING FENCE)

IMPORTANT BOUNDARY FENCE NOTE:

ANY HEIGHT AND/OR MATERIAL CHANGES TO BOUNDARY FENCING IS A CIVIL MATTER BETWEEN ADJOINING PROPERTIES AND TO REMAIN COMPLIANT WITH THE REQUIREMENTS OF STANDARD B4-4 OF CLAUSE 55.04-4 (OVERLOOKING OF THE 'TOWNHOUSE & LOW-RISE CODE GUIDELINES

VISIBILITY SPLAY NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)

ACCESSWAYS MUST HAVE A CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE, TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD.

THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

ARBORICULTURE NOTE:

ALL ARCHITECTURAL / TOWN PLANNING DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY 'MOLLOY ARBORICULTURAL PTY LTD)

IMPORTANT NOTE:

ANY NEW DWELLING PROPOSED MUST NOT BE CONNECTED TO A RETICULATED GAS SERVICE (WITHIN THE MEANING OF CLAUSE 53.03 OF THE RELEVANT PLANNING SCHEME). THE PROPOSED DEVELOPMENT IS TO REMAIN GAS-FREE.

ALL LEVELS ARE SURVEYED TO AUSTRALIAN HEIGHT DATUM (A.H.D.) BY A LICENSED SURVEYOR.

GRADIENT NOTES

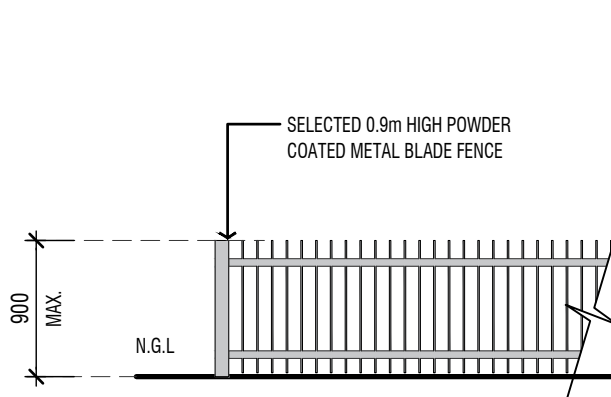
- THE GRADES ALONG THE ACCESS RAMP TO BE PROVIDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS
- THE GRADE CHANGES AT THE PROPERTY BOUNDARY TO BE CONFIRMED AND ENSURE THE TRANSITION DOES NOT EXCEED A MIN. 1:5
- A MINIMUM GRADE OF 1:200 FOR INDOOR, AND 1:100 FOR OUTDOOR PARKING AREAS, GRADED TOWARDS A DISCHARGE POINT FOR DRAINAGE
- THE CAR SPACES TO ACHIEVE A 1:20 MAXIMUM GRADE

SERVICES & LIGHTING LEGEND:

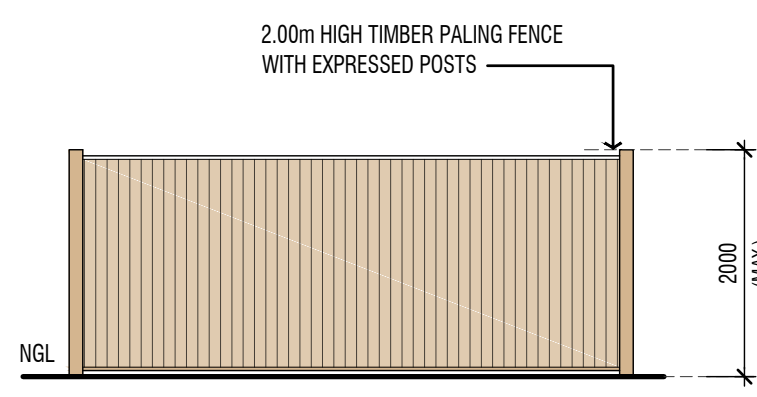
- SENSORED LED LIGHT
- BAFFLED LED LIGHT
- MOTION SENSORED WALL SCONCE
- WATER METER
- HEATING / COOLING UNIT
- HOT WATER UNIT
- ELECTRICAL METER BOX

TREE MANAGEMENT LEGEND:

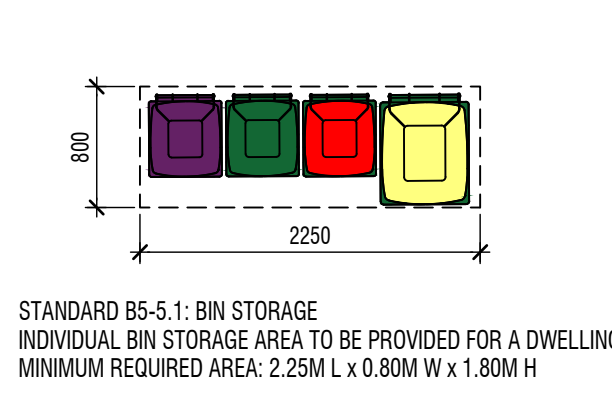
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STRUCTURAL ROOT ZONE (SRZ)
- TREE PROTECTION ZONE (TPZ)



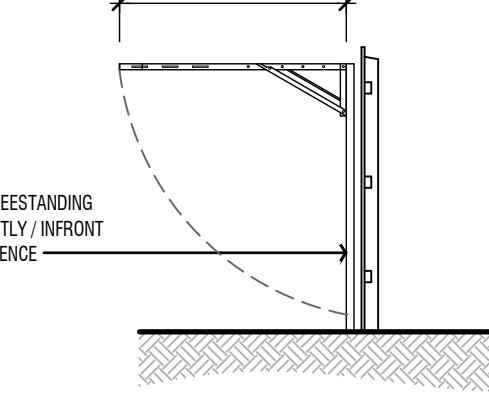
(F1) TYPICAL FRONT FENCE DETAIL
NOT TO SCALE



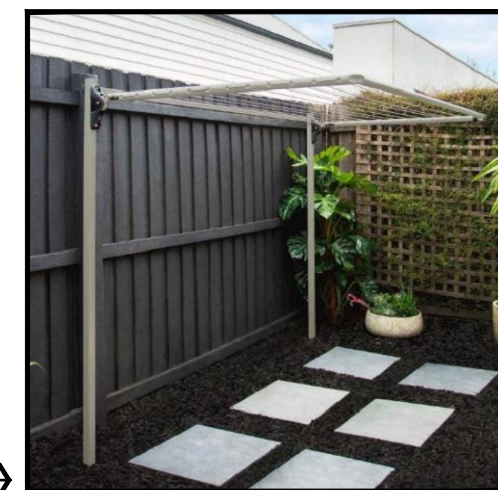
(F2) TYPICAL REAR FENCE DETAIL
NOT TO SCALE



WASTE STORAGE DETAIL
SCALE 1:50



RETRACTABLE CLOTHES LINE DETAIL
REFER TO EXAMPLE IMAGE
SCALE 1:50



REV A 13.05.2025 TOWN PLANNING SUBMISSION SET
REV B 03.09.2025 UPDATED TO REQUEST FOR FURTHER INFORMATION SET

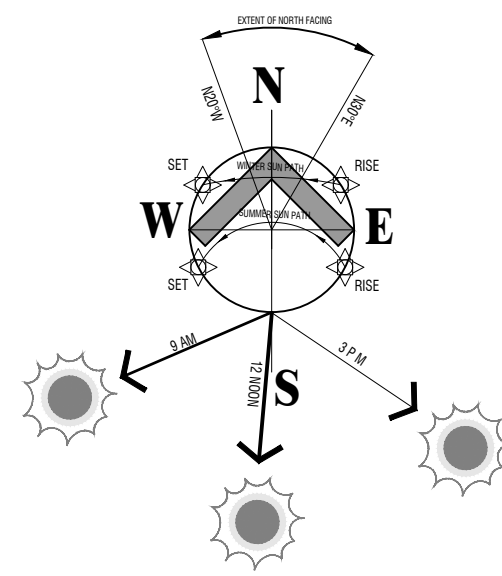
PROPOSED DUAL OCCUPANCY AT: 19 COMMERCIAL STREET MAIDSTONE for: VV CONSTRUCTIONS

DATE: 02/17/25 DATE: MAY - 2025 DRAWN BY: D. GRAMA CHECKED BY: D. GRAMA (DP-AD583) SCALE: 1:100 SHEET NO: 2 OF 7

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FIRST FLOOR PLAN

SCALE 1:100



FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1

GROUND FLOOR: 149.10 msq. / 00.00 SQ's
FIRST FLOOR: 138.10 msq. / 00.00 SQ's
GARAGE: 29.30 msq.
PORCH: 2.40 msq.
ALFRESCO: 15.10 msq.

TOTAL: 334.00 msq. / 35.95 SQ's

FRONT YARD O.S.: 22.20 msq.
SIDE & REAR S.P.O.S.: 83.70 msq.

DWELLING 2

GROUND FLOOR: 146.70 msq. / 15.79 SQ's
FIRST FLOOR: 135.80 msq. / 14.94 SQ's
GARAGE: 24.70 msq.
PORCH: 2.40 msq.
ALFRESCO: 15.10 msq.

TOTAL: 327.70 msq. / 35.27 SQ's

FRONT YARD O.S.: 22.20 msq.
SIDE & REAR S.P.O.S.: 85.40 msq.

SITE AREA: 631.00 msq.

% LAND COVERAGE WITH O/H: 362.00 msq. = 57.40 %
(MAXIMUM SITE COVERAGE IN GRS1 ZONE) = 85.00%
% PERMEABLE SURFACES: 187.00msq. = 29.60 %
% IMPERMEABLE SURFACES: 82.00 msq = 13.00%

GARDEN AREA

SITE AREA: 631.00 msq.
MINIMUM REQUIRED GARDEN AREA FOR SITE (30%) = 189.30 msq.
TOTAL GARDEN AREA = 213.50 msq / (33.83%)

DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 177.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND COLD WATER LAUNDRY TAP / WASHING MACHINE

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 177.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING AND COLD WATER LAUNDRY TAP / WASHING MACHINE

LANDSCAPE NOTE:

LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

FENCE NOTE:

- (F1) PROPOSED 0.90m HIGH POWDERCOATED METAL BLADE FENCE
- (F2) PROPOSED 2.00m HIGH TIMBER PALING FENCE
- (F3) EXISTING 1.80m H TIMBER PALING FENCE WITH TRAILICE
- (F4) EXISTING 1.40m H GALVANIZED FENCE
(TO BE REPLACED WITH F2 2.00m H TIMBER PALING FENCE)
- (F5) EXISTING 1.60m H TIMBER PALING FENCE
(TO BE REPLACED WITH F2 2.00m H TIMBER PALING FENCE)

IMPORTANT BOUNDARY FENCE NOTE:

ANY HEIGHT AND/OR MATERIAL CHANGES TO BOUNDARY FENCING IS A CIVIL MATTER BETWEEN ADJOINING PROPERTIES AND TO REMAIN COMPLIANT WITH THE REQUIREMENTS OF STANDARD B4-4 OF CLAUSE 55.04-4 (OVERLOOKING) OF THE 'TOWNHOUSE & LOW-RISE CODE GUIDELINES

VISIBILITY SPLAY NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)

ACCESSWAYS MUST HAVE A CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LAND AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE, TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD.

THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

ARBORICULTURE NOTE:

ALL ARCHITECTURAL / TOWN PLANNING DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY 'MOLLOY ARBORICULTURAL PTY LTD)

REV A 13.05.2025 TOWN PLANNING SUBMISSION SET
REV B 03.09.2025 UPDATED TO REQUEST FOR FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY

AT: 19 COMMERCIAL STREET
MAIDSTONE

for: **VV CONSTRUCTIONS**

DRAWN BY: D. GRAMA (DP-AD583) SCALE: 1:100 SHEET NO: 3 OF 7

draftmode designs pty ltd

A - 38 Thomas Street, Asper West 3012
P - 0830 3434
E - enquiries@draftmode.com.au

IMPORTANT NOTE:
ANY NEW DWELLING PROPOSED MUST NOT BE CONNECTED TO A RETICULATED GAS SERVICE (WITHIN THE MEANING OF CLAUSE 53.03 OF THE RELEVANT PLANNING SCHEME). THE PROPOSED DEVELOPMENT IS TO REMAIN GAS-FREE.

ALL LEVELS ARE SURVEYED TO AUSTRALIAN HEIGHT DATUM (A.H.D.) BY A LICENSED SURVEYOR.

GRADIENT NOTES

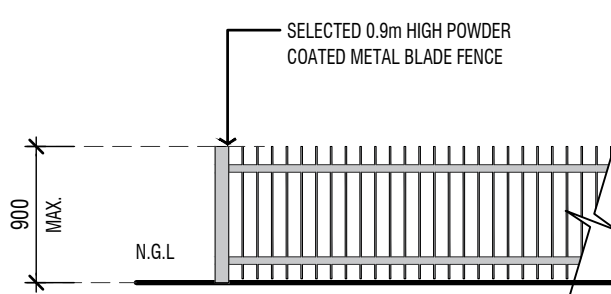
- THE GRADES ALONG THE ACCESS RAMP TO BE PROVIDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS
- THE GRADE CHANGES AT THE PROPERTY BOUNDARY TO BE CONFIRMED AND ENSURE THE TRANSITION DOES NOT EXCEED A MIN. 1:5
- A MINIMUM GRADE OF 1:200 FOR INDOOR, AND 1:100 FOR OUTDOOR PARKING AREAS, GRADED TOWARDS A DISCHARGE POINT FOR DRAINAGE
- THE CAR SPACES TO ACHIEVE A 1:20 MAXIMUM GRADE

SERVICES & LIGHTING LEGEND:

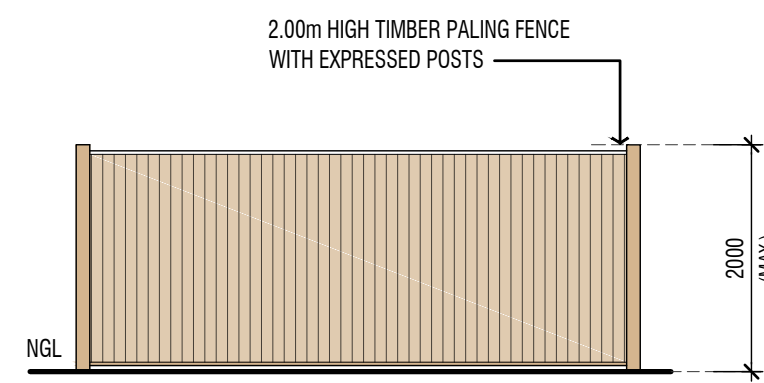
- SENSORED LED LIGHT
- BAFFLED LED LIGHT
- MOTION SENSORED WALL SCONCE
- WATER METER
- HEATING / COOLING UNIT
- HOT WATER UNIT
- ELECTRICAL METER BOX

TREE MANAGEMENT LEGEND:

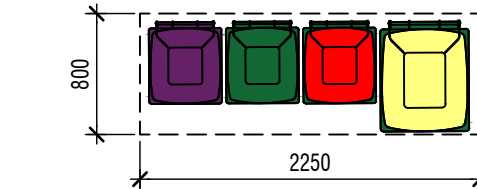
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STRUCTURAL ROOT ZONE (SRZ)
- TREE PROTECTION ZONE (TPZ)



(F1) TYPICAL FRONT FENCE DETAIL
NOT TO SCALE



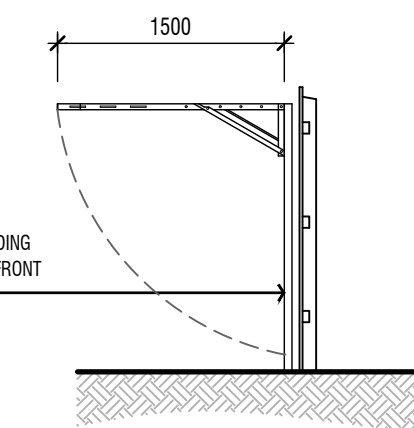
(F2) TYPICAL REAR FENCE DETAIL
NOT TO SCALE



STANDARD B5-5.1: BIN STORAGE
INDIVIDUAL BIN STORAGE AREA TO BE PROVIDED FOR A DWELLING:
MINIMUM REQUIRED AREA: 2.25m L x 0.80m W x 1.80m H

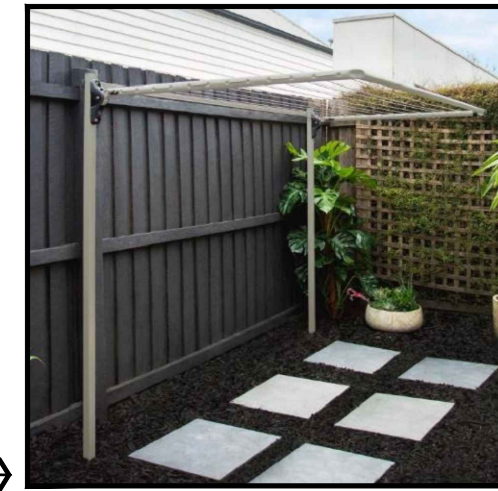
WASTE STORAGE DETAIL

SCALE 1:50



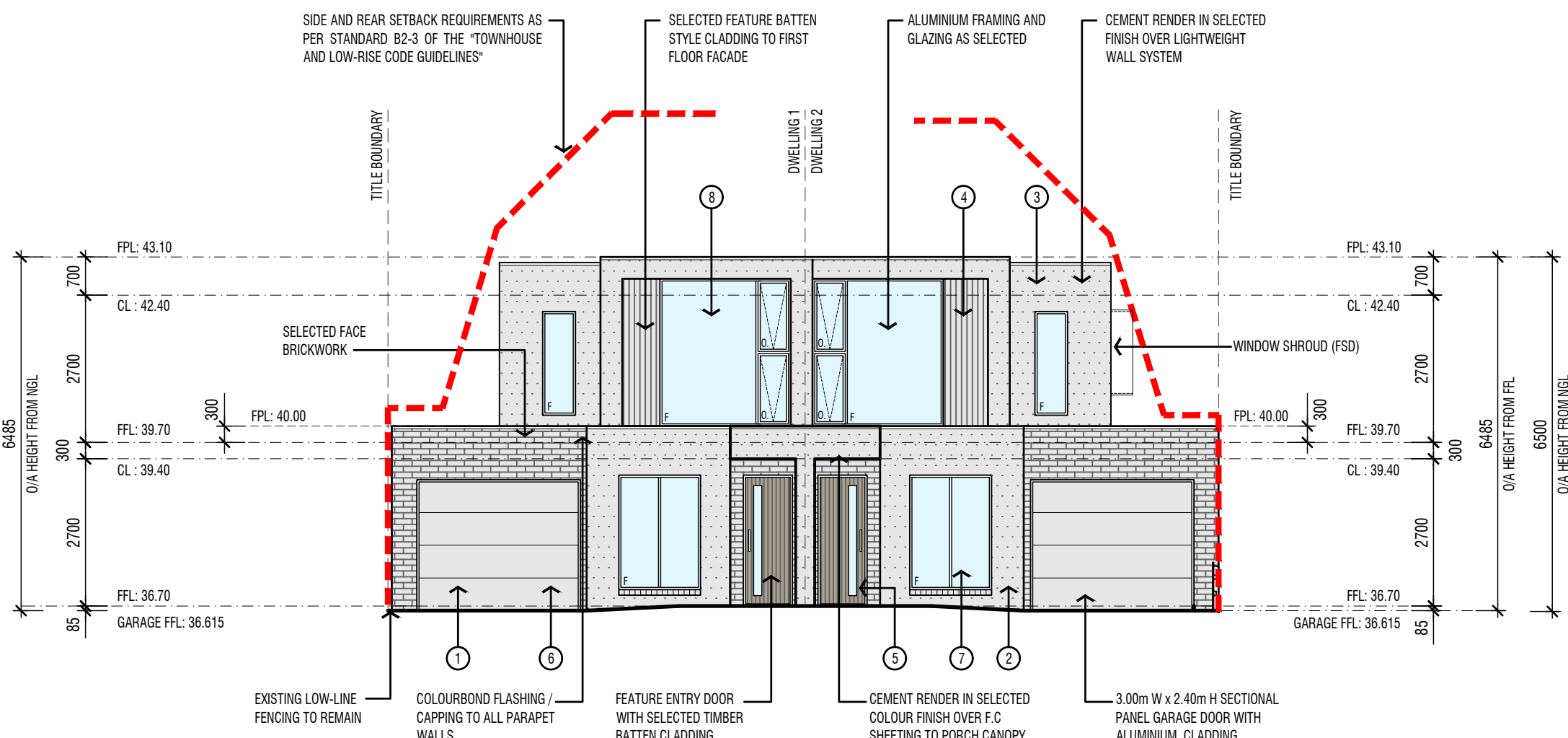
RETRACTABLE CLOTHES LINE DETAIL

REFER TO EXAMPLE IMAGE
SCALE 1:50



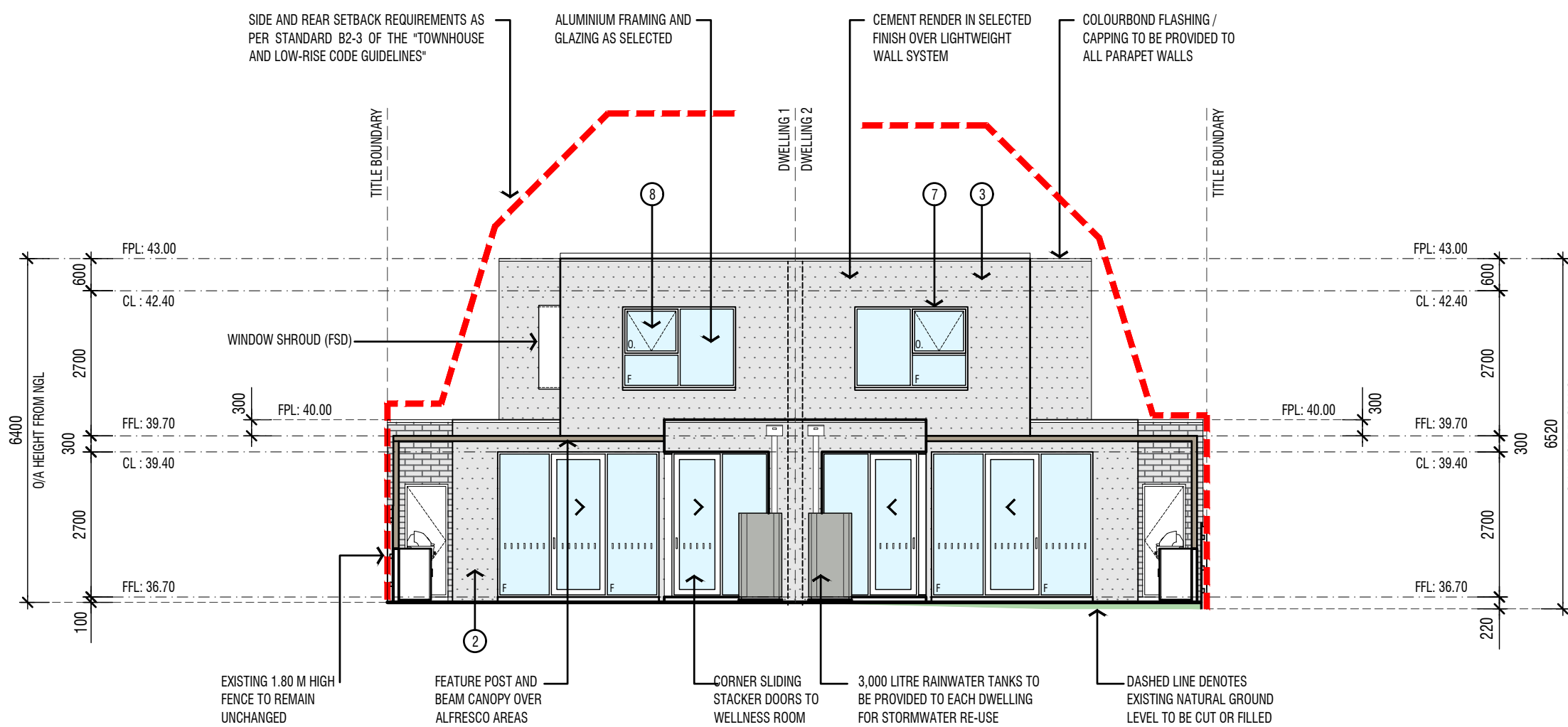
PROPOSED ELEVATIONS, MATERIAL & FINISHES SCHEDULE

SCALE 1:100



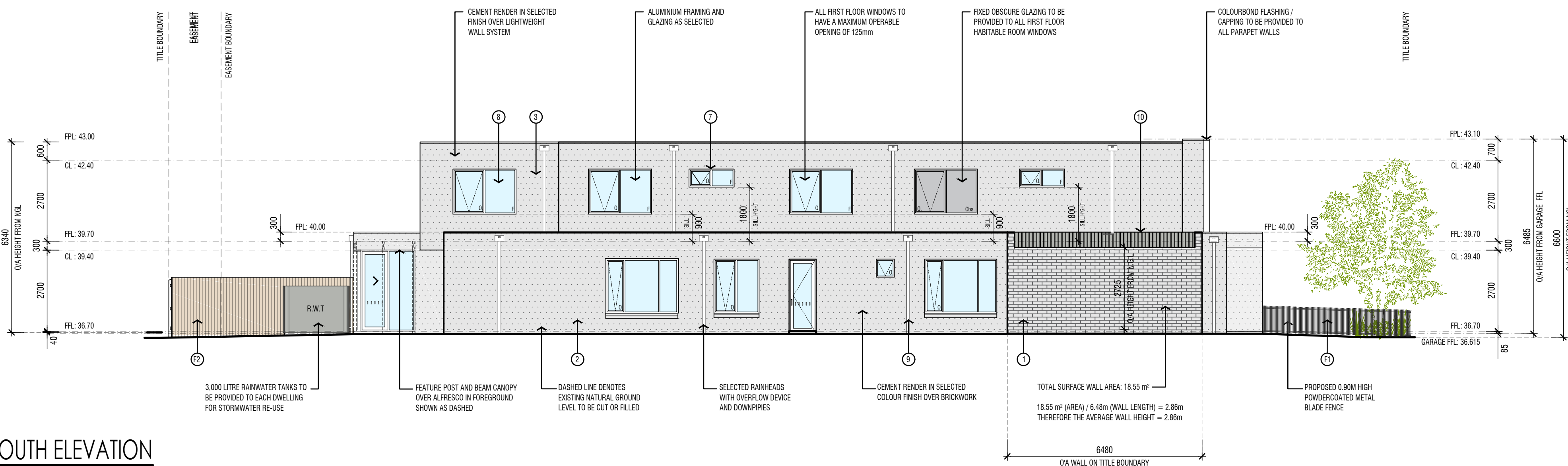
EAST ELEVATION

SCALE 1:100



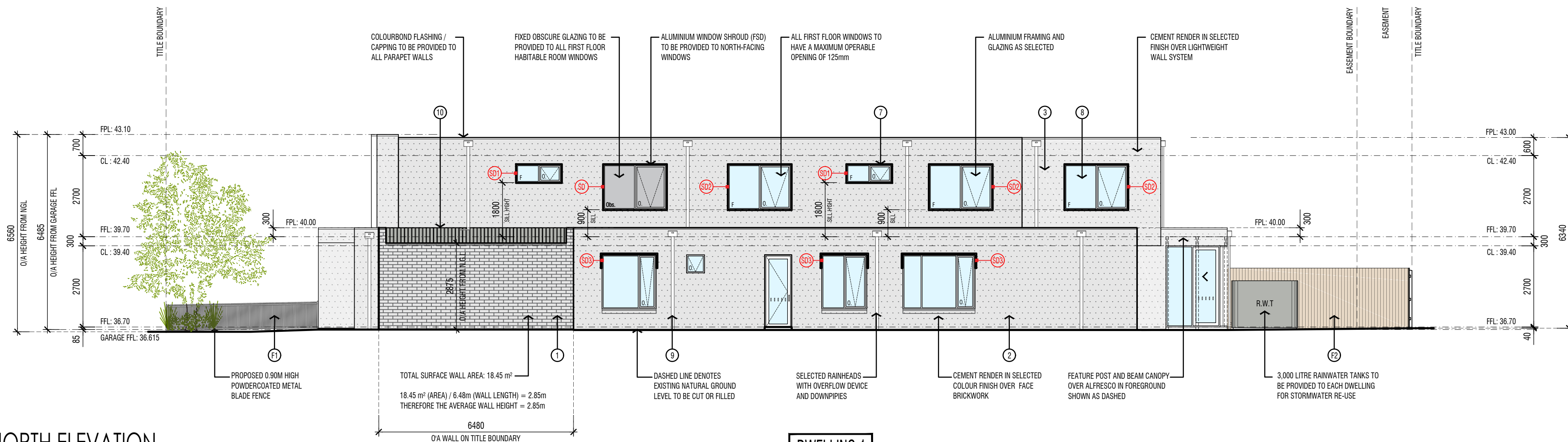
WEST ELEVATION

SCALE 1:100



SOUTH ELEVATION

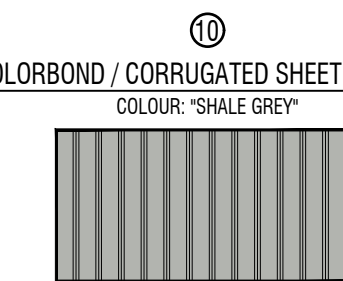
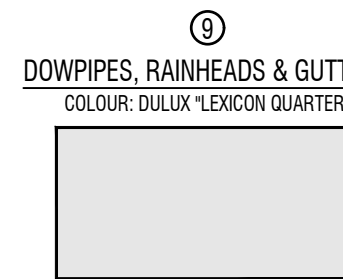
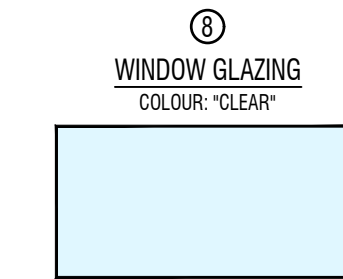
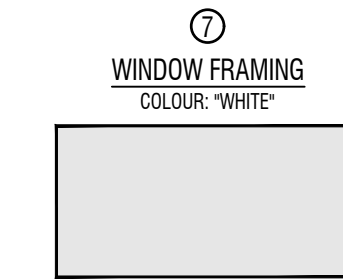
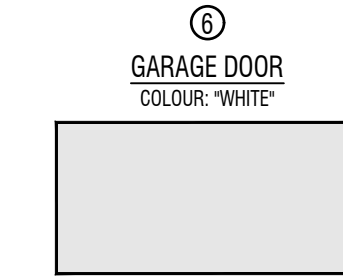
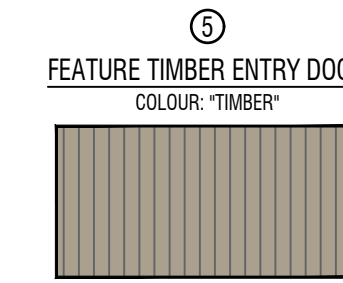
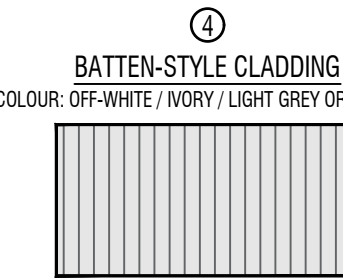
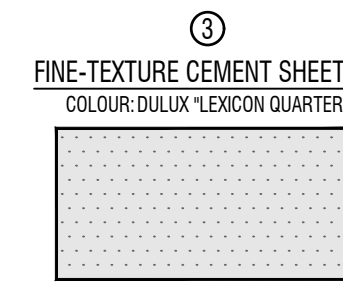
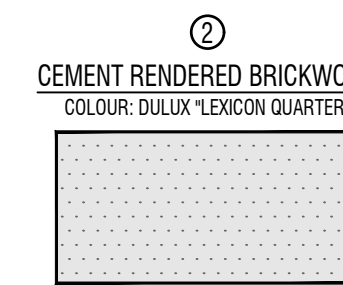
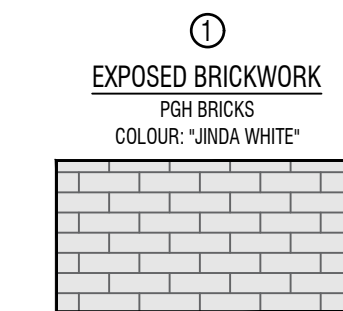
SCALE 1:100



NORTH ELEVATION

SCALE 1:100

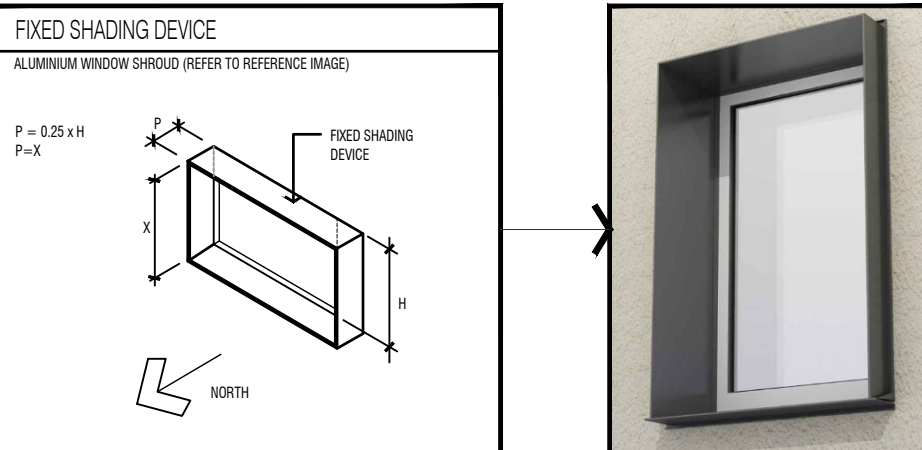
MATERIALS & FINISHES SCHEDULE



LEGEND:

N.G.L.	DENOTES NATURAL GROUND LINE
O.	DENOTES OPENABLE WINDOW
F.	DENOTES FIXED WINDOW
Obs.	DENOTES WINDOW WITH OBSCURE / SAFETY GLAZING
F.S.D.	DENOTES FIXED SHADING DEVICE
F.F.L.	DENOTES FINISHED FLOOR LEVEL
F.C.L.	DENOTES FINISHED CEILING LEVEL
F.P.L.	DENOTES FINISHED PARAPET LEVEL

IMPORTANT BOUNDARY FENCE NOTE:
ANY HEIGHT AND/OR MATERIAL CHANGES TO BOUNDARY FENCING IS A CIVIL MATTER BETWEEN ADJOINING PROPERTIES AND TO REMAIN COMPLAINT WITH THE REQUIREMENTS OF STANDARD B4-4 OF CLAUSE 55.04-4 (OVERLOOKING) OF THE "TOWNHOUSE & LOW-RISE CODE GUIDELINES"



SOLAR PROTECTION TO NORTH-FACING WINDOWS DETAIL
NOT TO SCALE

SHADING DEVICE SCHEDULE:

SHADING DEVICE No.	WINDOW HEIGHT (H):	SHADING DEVICE DEPTH (P = 0.25 x H)
SD1	600mm H	150mm
SD2	1500mm H	375mm
SD3	1800mm H	450mm

FIXED SHADING DEVICE LEGEND:
SD FIXED CANTILEVERED SHADING DEVICE TO BE PROVIDED TO ALL NORTH-FACING WINDOWS WHERE SHOWN ON PLANS AND ELEVATIONS.

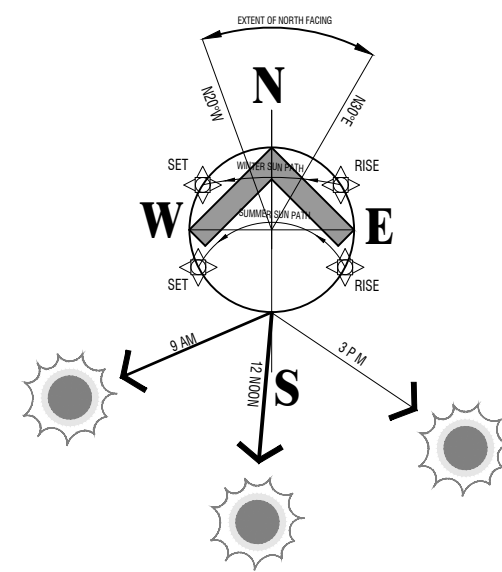
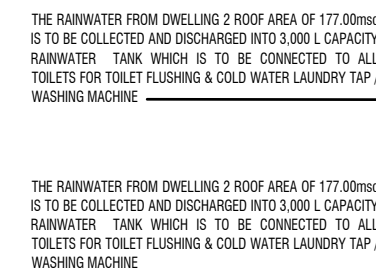
REV A 13.05.2025 TOWN PLANNING SUBMISSION SET
REV B 03.09.2025 UPDATED TO REQUEST FOR FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY
AT: 19 COMMERCIAL STREET
MAIDSTONE
for: VV CONSTRUCTIONS

DATE: MAY - 2025 DRAWN BY: D. GEMMA (DP-AD383) SCALE: 1:100 SHEET NO: 4 OF 7

draftmode designs pty ltd

SCALE 1:100



	- DWELLING 1 TREATED ROOF AREA DIVERTED TO 3,000 LITRE RAINWATER TANK
	- DWELLING 2 TREATED ROOF AREA DIVERTED TO 3,000 LITRE RAINWATER TANK
	- UNTREATED ROOF AREAS
	- IMPERMEABLE SURFACES (DRIVEWAYS, WALKWAYS, ALFREDDO...)
	- PERMEABLE AREAS (LANDSCAPING, GRASS, GARDEN BEDS ETC.)
	- 3,000 LITRE RAINWATER TANKS SIZE: 800mm W x 2,200mm L x 1,860mm H

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 177.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING AND COLD WATER LAUNDRY TAP / WASHING MACHINE

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 177.00msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING AND COLD WATER LAUNDRY TAP / WASHING MACHINE

NOTE:
RAINWATER TANKS ARE TO BE USED ONLY FOR RE-USE WITHIN THE DEVELOPMENT - THEY ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)

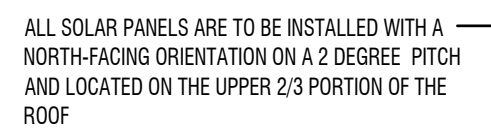
STORM Rating Report

TransactionID:	0
Municipality:	MARIBYRNONG
Rainfall Station:	MARIBYRNONG
Address:	19 Commercial Street

	Maidstone
	VIC 3012
Assessor:	DRAFTMODE DESIGNS PTY LTD
Development Type:	Residential - Multiunit
Allotment Site (m2):	631.00
STORM Rating %:	104

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
D1 - Treated Roof Area to RWT	177.00	Rainwater Tank	3,000.00	6	130.60	81.00
D2 - Untreated Roof	4.00	None	0.00	0	0.00	0.00
D1 - Treated Roof Area to RWT	177.00	Rainwater Tank	3,000.00	6	130.60	81.00
D2 - Untreated Roof	4.00	None	0.00	0	0.00	0.00
Impervious Surface (Total)	82.00	None	0.00	0	0.00	0.00

SCALE 1:100



— YELLOW HATCHED AREA DENOTES 37.80M² OF ROOF SPACE SET ASIDE FOR SOLAR ENERGY GENERATION SYSTEM AS PER STANDARD B5-3 (CLAUSE 55.05-33)

— "VELUX" FIXED SKYLIGHTS TO BE
INSTALLED WHERE SHOWN ON
PLANS.

SCALE 1:100

**AT: 19 COMMERCIAL STREET
MAIDSTONE**

for: VV CONSTRUCTIONS

DRG. NO:	DATE:	DRAWN BY:	CHECKED BY:	SCALE:	SHEET NO.
DO217-25	MAY - 2025	D.AVRAMOPOULOS	D.GRIMA (DP-AD583)	1 : 100	

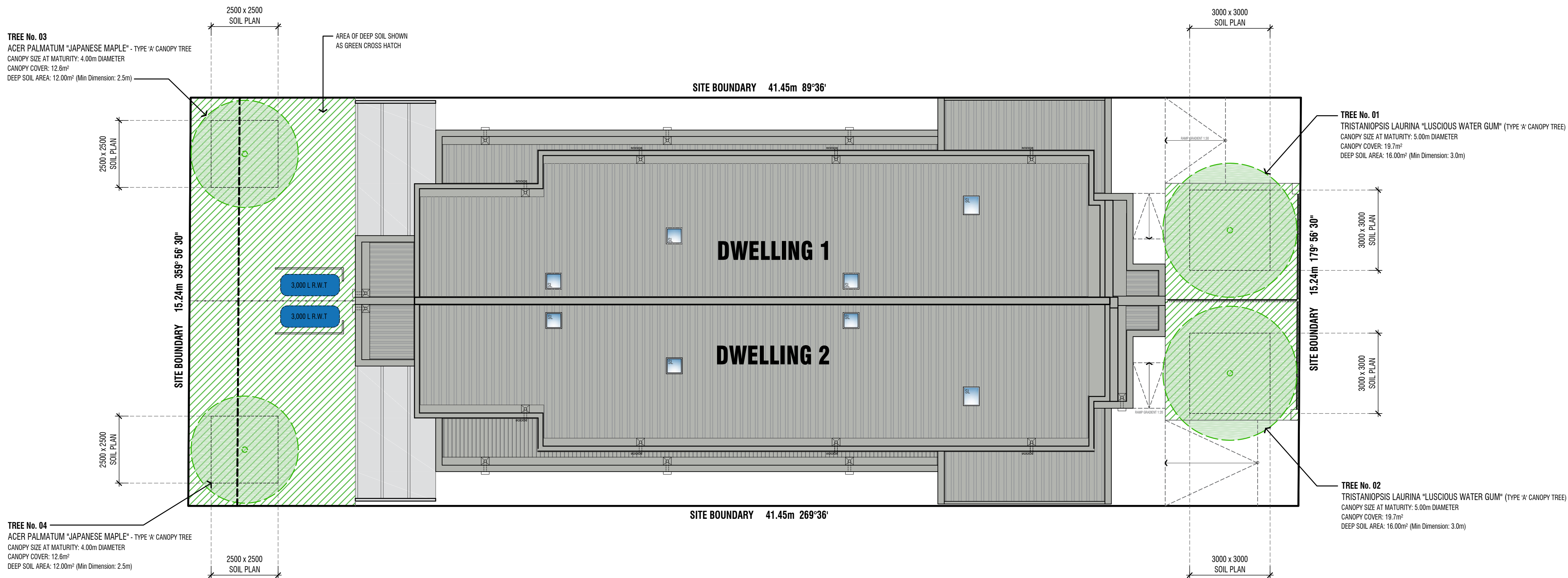
GARDENA AREA & TREE CANOPY COVERAGE PLAN

SCALE 1:100



GARDEN AREA PLAN

SCALE 1:100



TREE CANOPY COVERAGE PLAN

SCALE 1:100

ASSESSMENT PLAN LEGEND:

GARDEN AREA LEGEND:

- GARDEN AREA (MINIMUM 1m WIDE)
- PROPOSED FLOOR PLANS (NOT CALCULATED INTO GARDEN AREA)
- PROPOSED UPPER FLOOR OVERHANG (NOT CALCULATED INTO GARDEN AREA)
- DRIVEWAY (NOT CALCULATED INTO GARDEN AREA)

GARDEN AREA

SITE AREA: 631.00 msq.
MINIMUM REQUIRED OPEN SPACE FOR SITE (30%) = 189.30 msq.
TOTAL GARDEN AREA PROVIDED = 213.50 msq / (33.63%)

TREE CANOPY LEGEND:

- TREE CANOPY COVERAGE
- AREA OF DEEP SOIL AVAILABLE

SITE AREA: 631.00 sqm

REQUIRED CANOPY COVERAGE: 10% OF SITE AREA
10% OF 631.00 sqm: 63.10 sqm OF TREE CANOPY COVERAGE REQUIRED
2 x 4.0m DIAMETER AND 2 x 5.0m DIAMETER TREES TO BE PROVIDED TO SITE

5.0m DIAMETER TREE CANOPY COVERAGE: 19.7msq
2.0m DIAMETER TREE CANOPY COVERAGE: 12.6msq
(2 x 19.70msq) + (2 x 12.60msq) = 64.60msq

REQUIRED TREE CANOPY COVERAGE: ACHIEVED

NOTES:

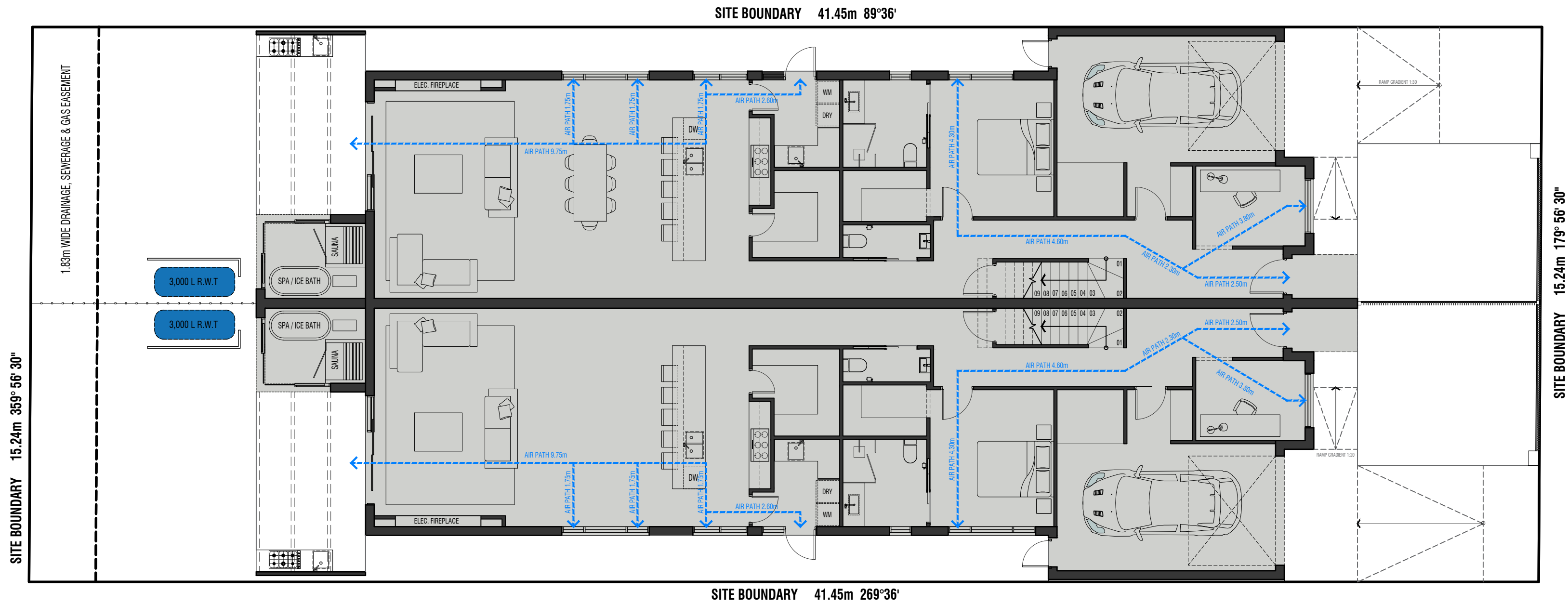
- THE TREE CANOPY COVERAGE PLAN IS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE PLAN PREPARED BY "DRAFTMODE DESIGNS". REFER TO DRAWING L1 & L2 FOR ALL PROPOSED CANOPY TREE SIZES, PLANTING DETAILS AND VEGETATION SPECIES.
- ANY PROPOSED TREES PLANTED NEAR EASEMENTS MUST BE OF A SPECIES WITH A NON - INVASIVE ROOT SYSTEM.

REV A 13.05.2025 TOWN PLANNING SUBMISSION SET
REV B 03.09.2025 UPDATED TO REQUEST FOR FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY
AT: 19 COMMERCIAL STREET
MAIDSTONE
for: VV CONSTRUCTIONS

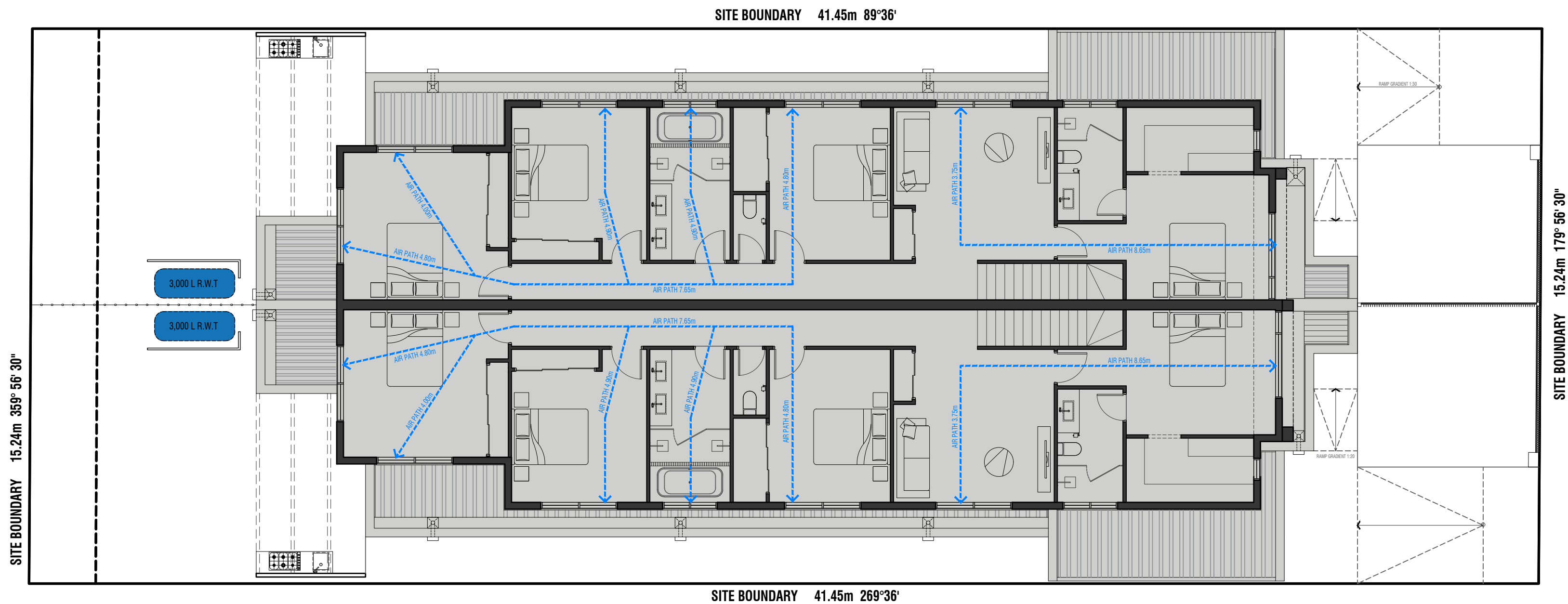
VENTILATION CROSS-FLOW DIAGRAM PLAN

SCALE 1:100



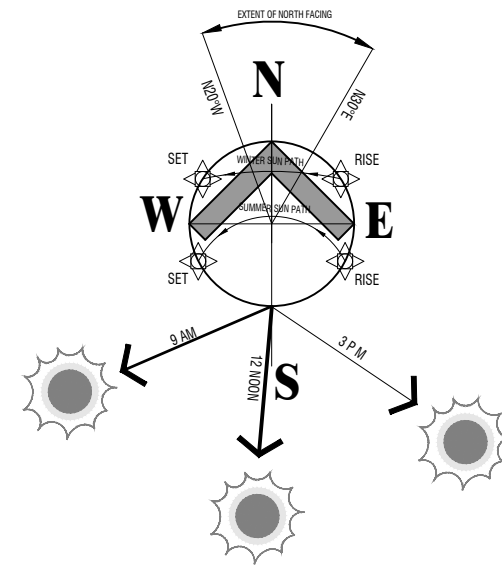
AIR-FLOW CROSS VENTILATION PLAN - GROUND FLOOR

SCALE 1:100



AIR FLOW CROSS VENTILATION PLAN - FIRST FLOOR

SCALE 1:100



VENTILATION PLAN LEGEND:

← AIR PATH 0.00m W
DENOTES DIRECTION / PATH OF NATURAL AIR CROSS VENTILATION. BREEZE PATHS ARE TO BE BETWEEN 5.00m (MIN.) AND 18.00m (MAX.) LONG

REV A 13.05.2025 TOWN PLANNING SUBMISSION SET
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PROPOSED DUAL OCCUPANCY
AT: 19 COMMERCIAL STREET
MAIDSTONE
for: VV CONSTRUCTIONS

SPR NO: DOZ17-25	DATE: MAY - 2025	DRAWN BY: D. AVRAMPOULOS	CHECKED BY: D. GRIKMA (DP-AD583)	SCALE: 1 : 100	SHEET NO: 7 OF 7
draftmode A - 58 Thomas Street, Airport West - 3042 P - 0300 3434 E - enquiries@draftmode.com.au					designs ply ltd



3D FACADE PERSPECTIVE

[3D PERSPECTIVE IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY]
NOT TO SCALE



3D FACADE PERSPECTIVE

[3D PERSPECTIVE IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY]
NOT TO SCALE



3D FACADE PERSPECTIVE

[3D PERSPECTIVE IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY]
NOT TO SCALE



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NOT TO SCALE



3D FACADE PERSPECTIVE

[3D PERSPECTIVE IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY]
NOT TO SCALE

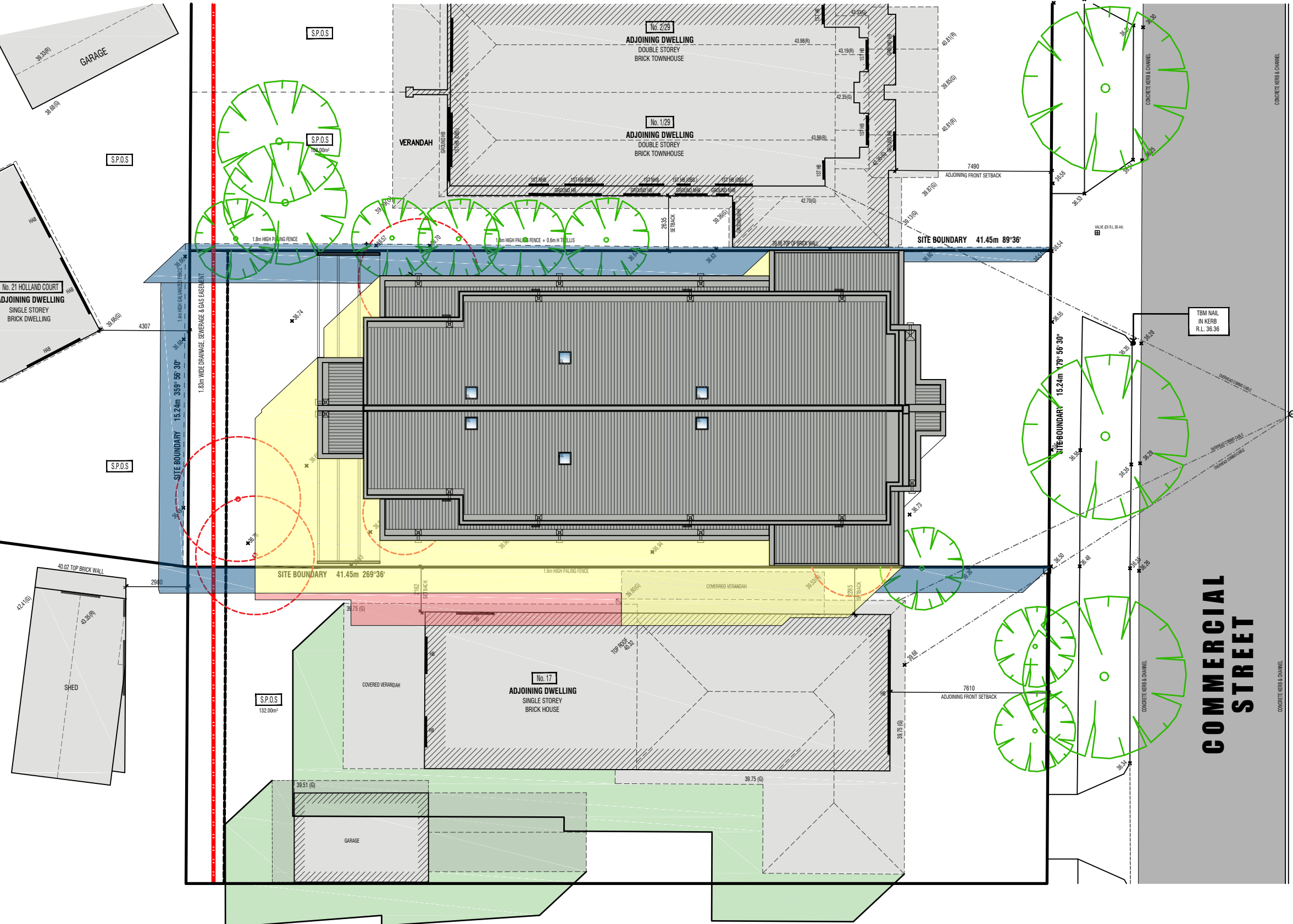
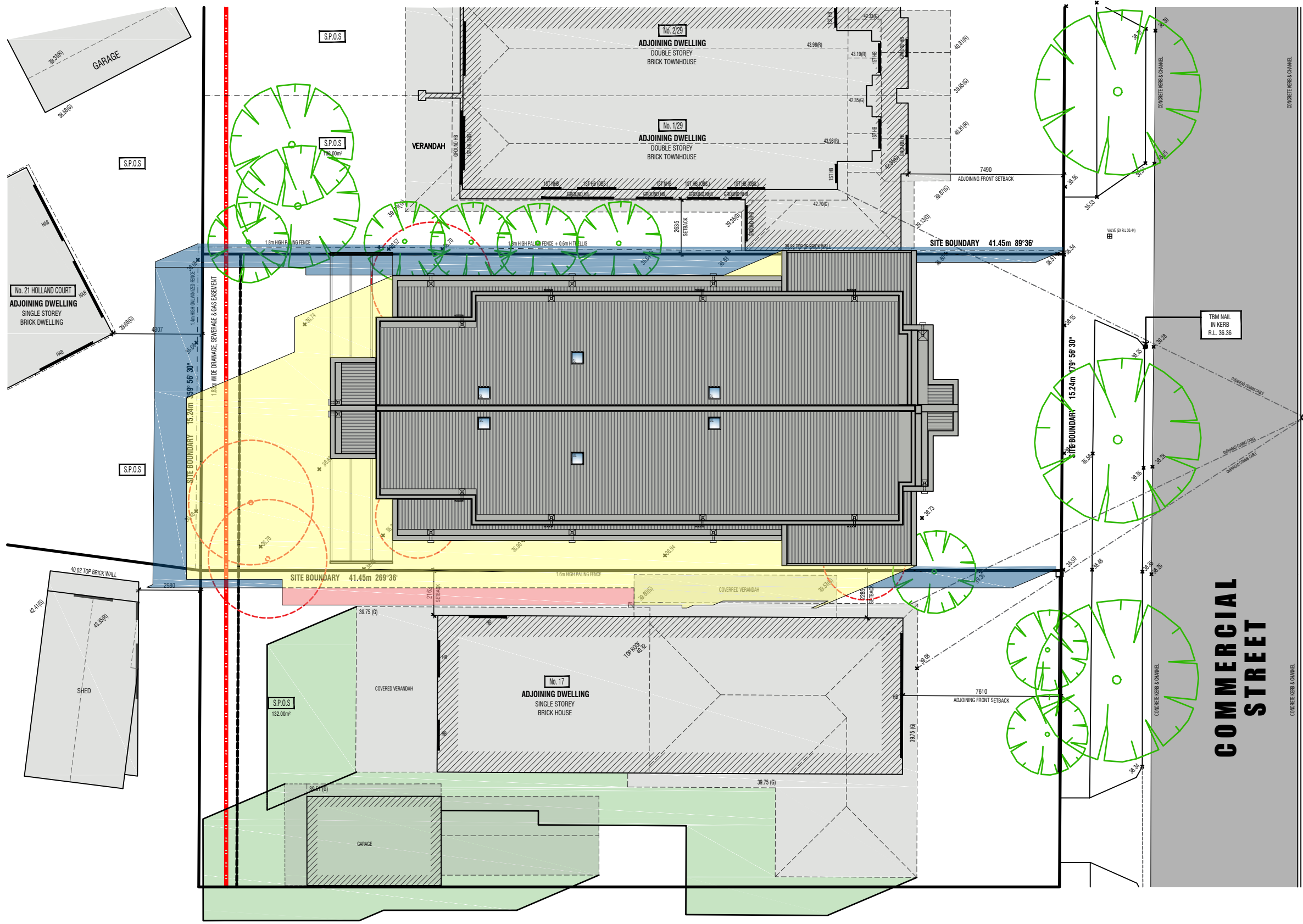


3D FACADE PERSPECTIVE

[3D PERSPECTIVE IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY]
NOT TO SCALE

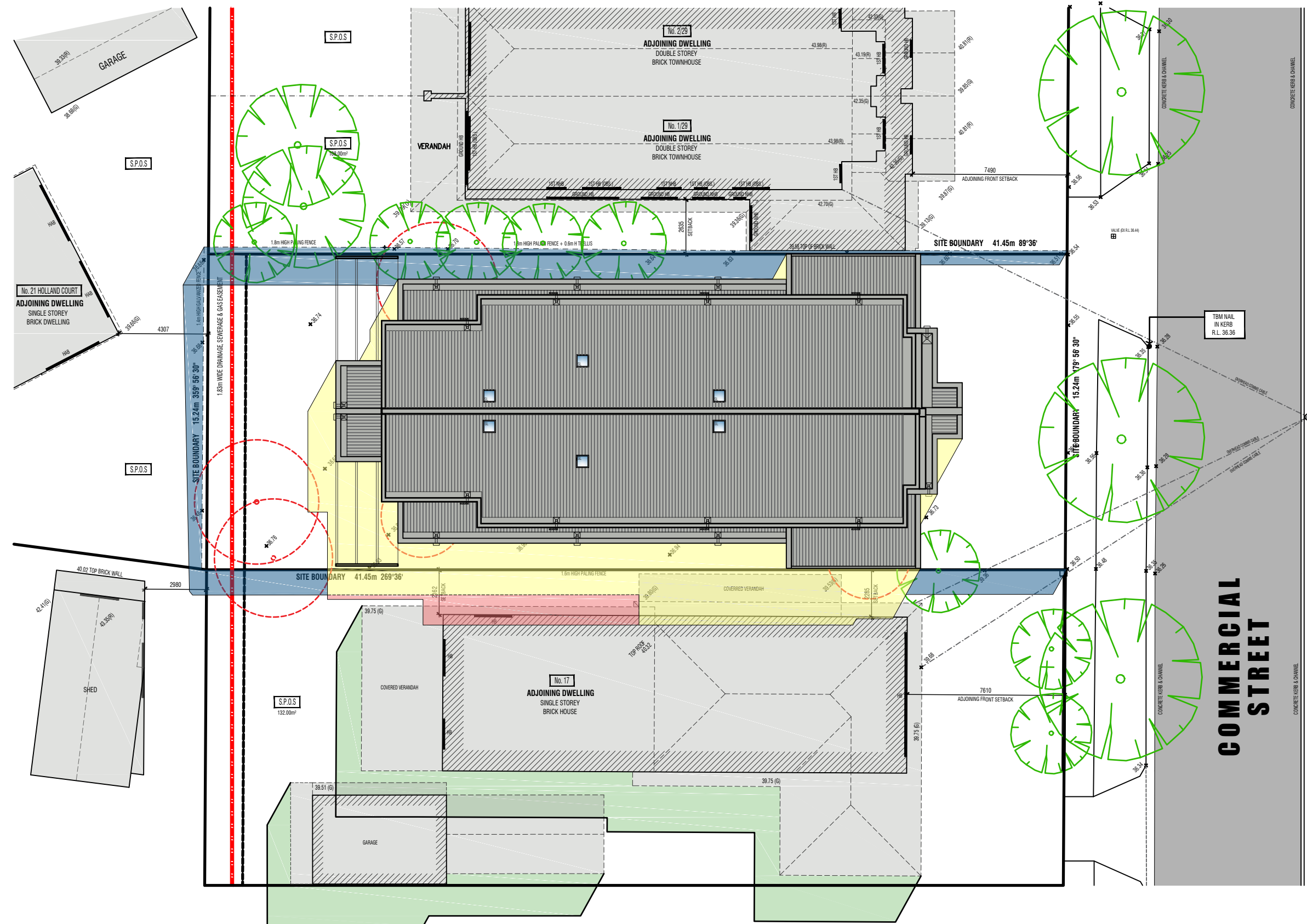
SHADOW DIAGRAM ANALYSIS

SCALE 1:200



SHADOW DIAGRAM ANALYSIS - 10:00 AM

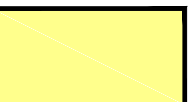
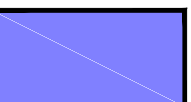
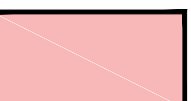
SCALE 1:200



SHADOW DIAGRAM ANALYSIS - 11:00 AM

SCALE 1:200

SHADOW DIAGRAM LEGEND:

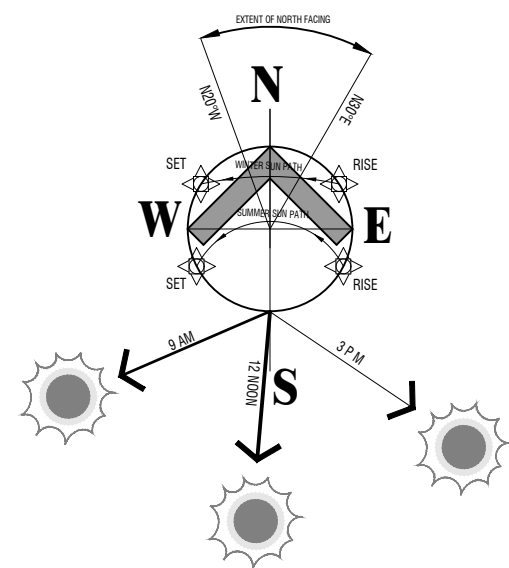
-  - SHADOWS CAST FROM PROPOSED DWELLINGS ONTO ADJOINING PROPERTIES & SUBJECT SITE
-  - SHADOWS CAST FROM EXISTING BOUNDARY FENCES
-  - ADDITIONAL SHADOWS CAST FROM PROPOSED DWELLINGS ONTO ADJOINING PROPERTIES SECLUDED PRIVATE OPEN SPACE
-  - EXISTING SHADOWS CAST BY ADJOINING NEIGHBOURS DWELLINGS, OUTBUILDINGS, ETC. (5 & 9 EDEN STREET)

NOTE:
SHADOW DIAGRAMS SHOWN ON ARCHITECTURAL DOCUMENTATION ARE DISPLAYED ON THE 22ND OF SEPTEMBER - (SUMMER EQUINOX) DATUM

SHADOWS TO ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE (9:00 AM)	
EXISTING ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE	132.00m ²
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER EXISTING CONDITIONS)	55.00m ² / 41.64 %
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER PROPOSED CONDITIONS)	41.00m ² / 31.06 %

SHADOWS TO ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE (10:00 AM)	
EXISTING ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE	132.00m ²
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER EXISTING CONDITIONS)	68.00m ² / 51.51 %
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER PROPOSED CONDITIONS)	60.00m ² / 45.45 %

SHADOWS TO ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE (11:00 AM)	
EXISTING ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE	132.00m ²
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER EXISTING CONDITIONS)	83.00m ² / 62.88 %
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER PROPOSED CONDITIONS)	75.00m ² / 56.81 %



REV A 13.05.2025 TOWN PLANNING SUBMISSION SET
REV B 03.09.2025 UPDATED TO REQUEST FOR FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY
AT: 19 COMMERCIAL STREET
MAIDSTONE
for: VV CONSTRUCTIONS

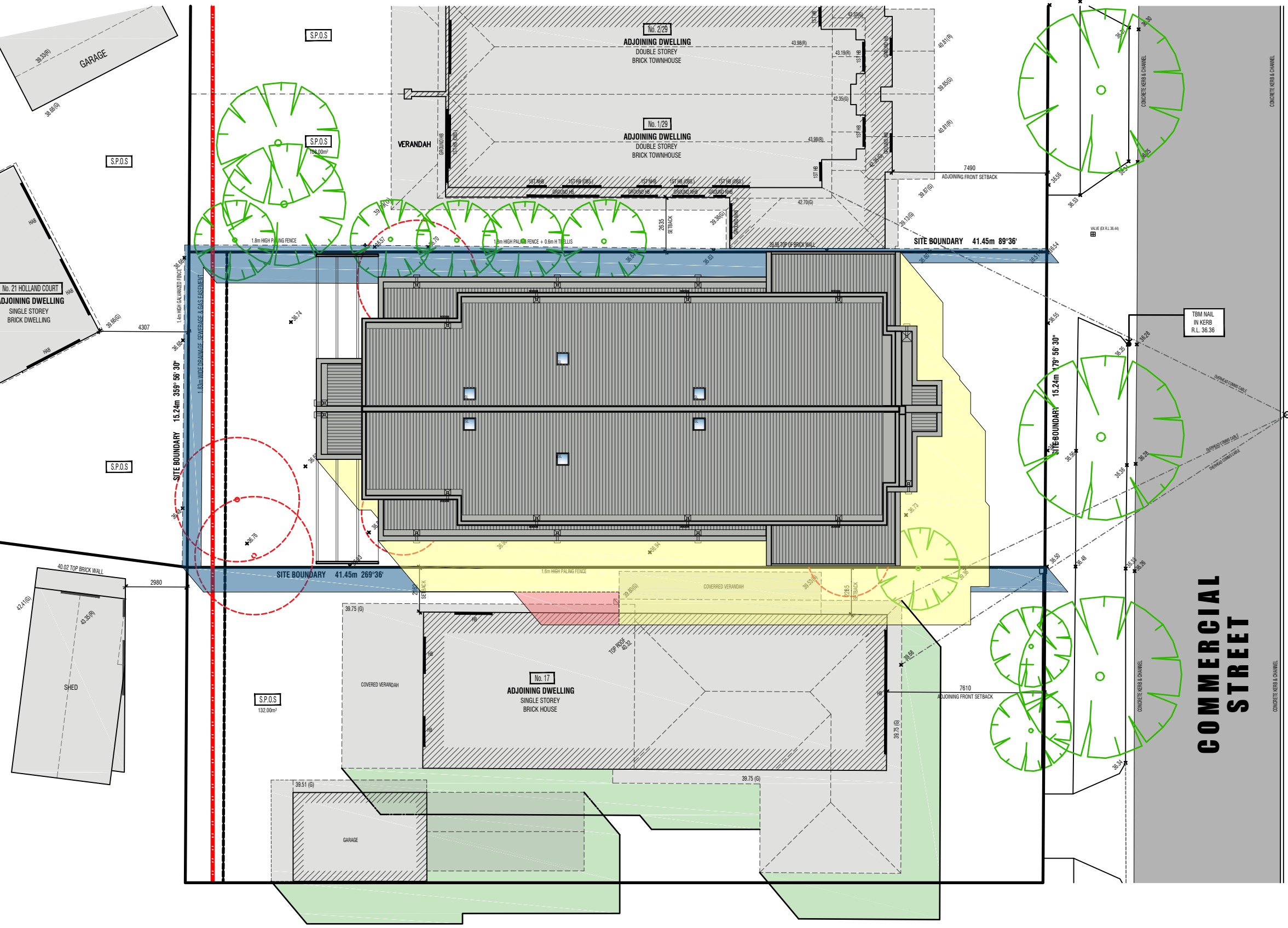
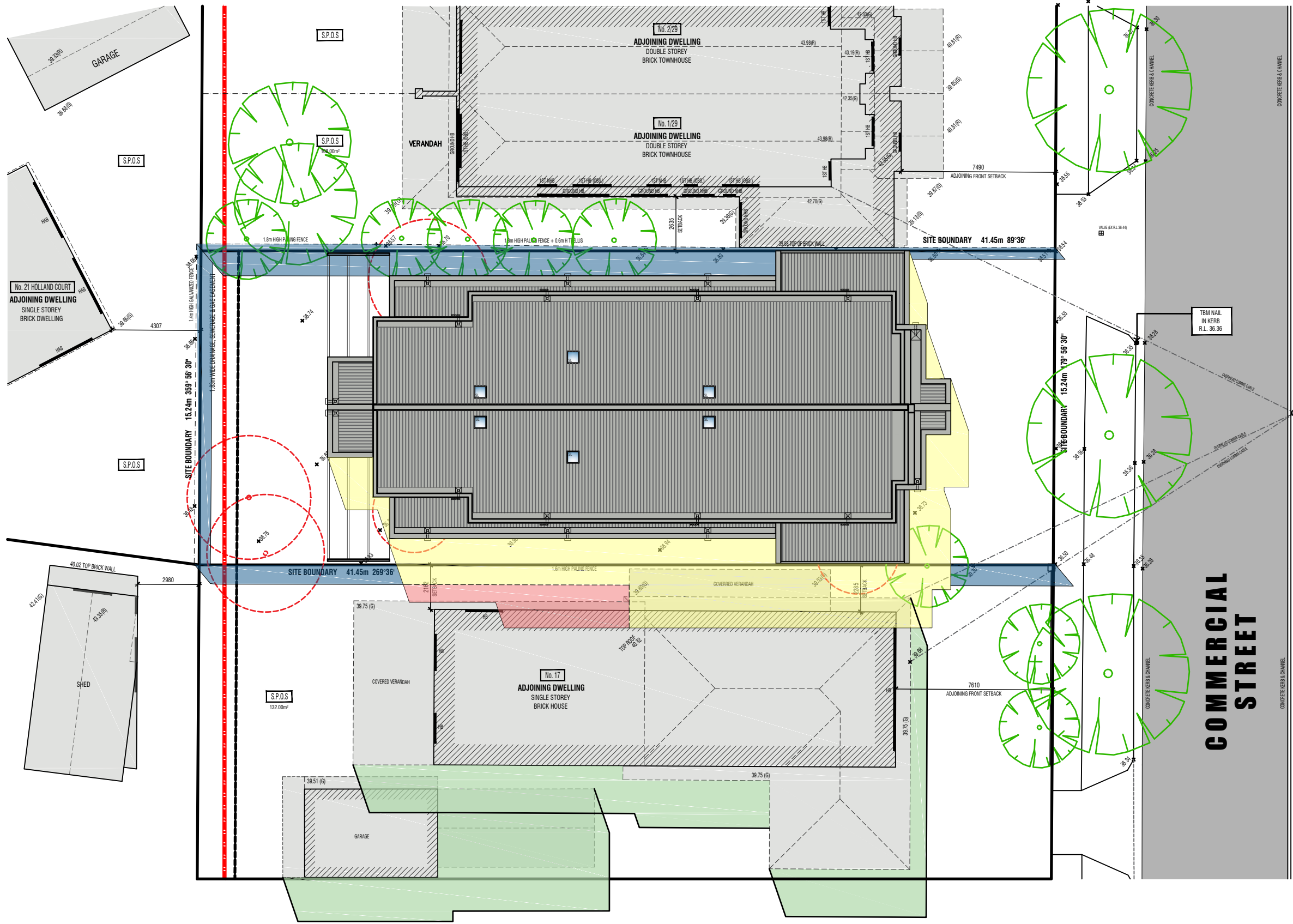
SPR: DOZ17-25 DATE: MAY - 2025 DRAWN BY: D. GRAMA (DP-AD583) SCALE: 1:200 SHEET NO: S2

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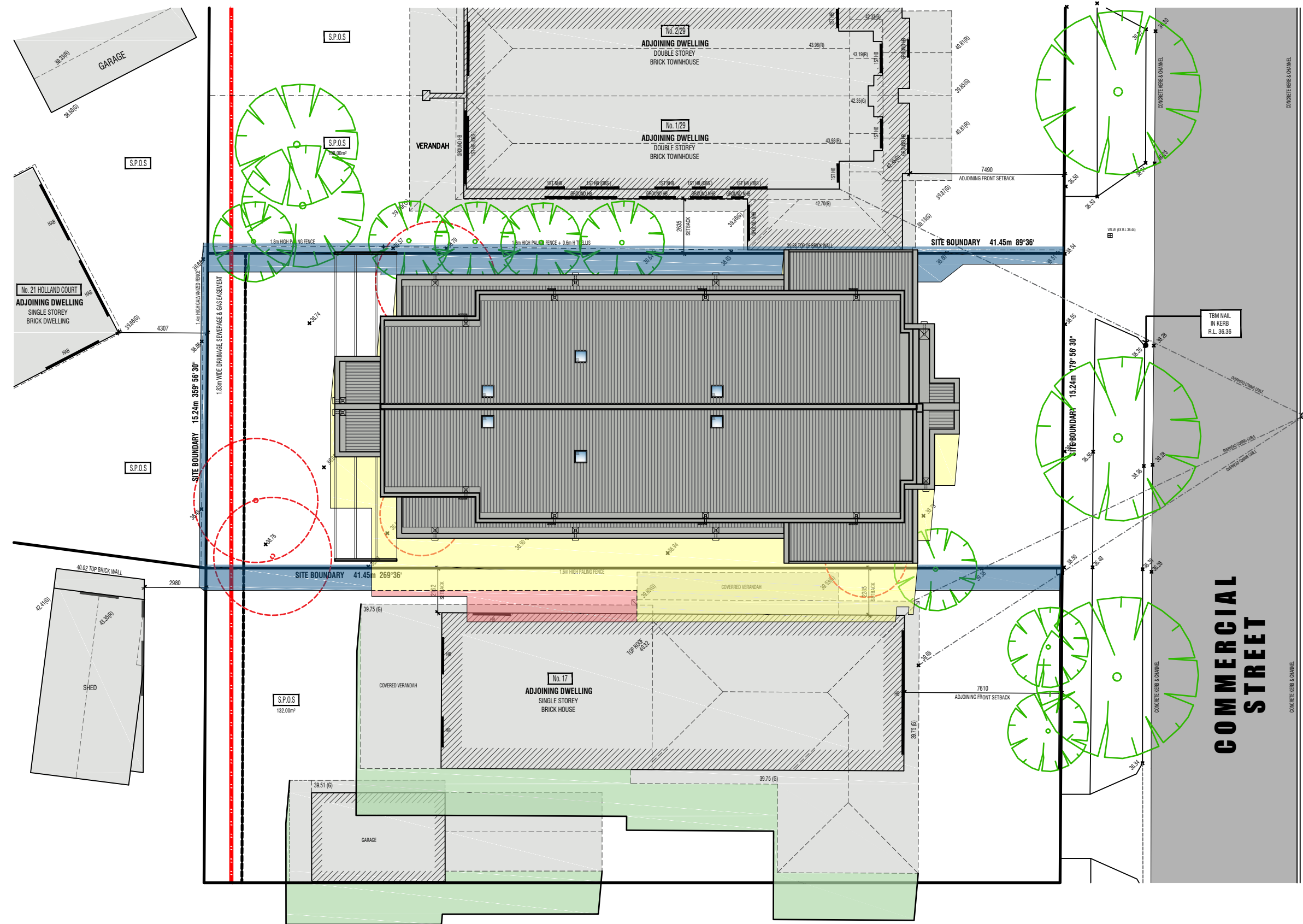
SHADOW DIAGRAM ANALYSIS

SCALE 1:200



SHADOW DIAGRAM ANALYSIS - 2:00 PM

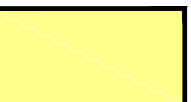
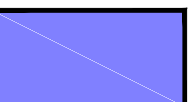
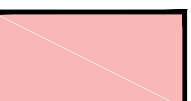
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SHADOW DIAGRAM ANALYSIS - 1:00 PM

SCALE 1:200

SHADOW DIAGRAM LEGEND:

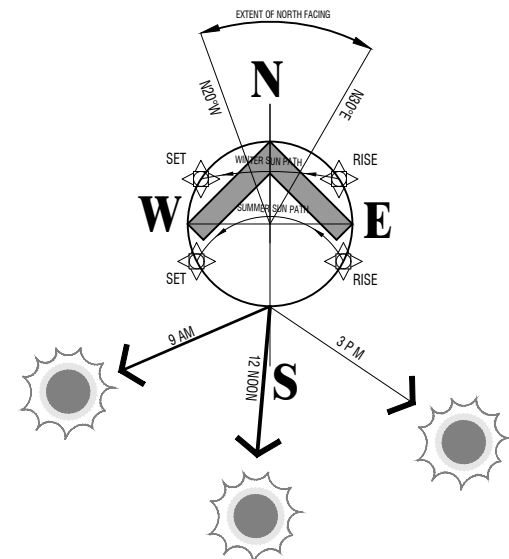
-  - SHADOWS CAST FROM PROPOSED DWELLINGS ONTO ADJOINING PROPERTIES & SUBJECT SITE
-  - SHADOWS CAST FROM EXISTING BOUNDARY FENCES
-  - ADDITIONAL SHADOWS CAST FROM PROPOSED DWELLINGS ONTO ADJOINING PROPERTIES SECLUDED PRIVATE OPEN SPACE
-  - EXISTING SHADOWS CAST BY ADJOINING NEIGHBOURS DWELLINGS, OUTBUILDINGS, ETC... (5 & 9 EDEN STREET)

NOTE:
SHADOW DIAGRAMS SHOWN ON ARCHITECTURAL DOCUMENTATION ARE DISPLAYED ON THE 22ND OF SEPTEMBER - (SUMMER EQUINOX) DATUM

SHADOWS TO ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE (12:00 PM)	
EXISTING ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE	132.00m ²
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER EXISTING CONDITIONS)	102.00m ² / 77.27 %
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER PROPOSED CONDITIONS)	93.00m ² / 70.45 %

SHADOWS TO ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE (1:00 PM)	
EXISTING ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE	132.00m ²
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER EXISTING CONDITIONS)	00.00m ² / 00.00 %
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER PROPOSED CONDITIONS)	00.00m ² / 00.00 %

SHADOWS TO ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE (2:00 PM)	
EXISTING ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE	132.00m ²
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER EXISTING CONDITIONS)	97.00m ² / 73.48 %
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER PROPOSED CONDITIONS)	90.00m ² / 68.18 %



REV A 13.05.2025 TOWN PLANNING SUBMISSION SET
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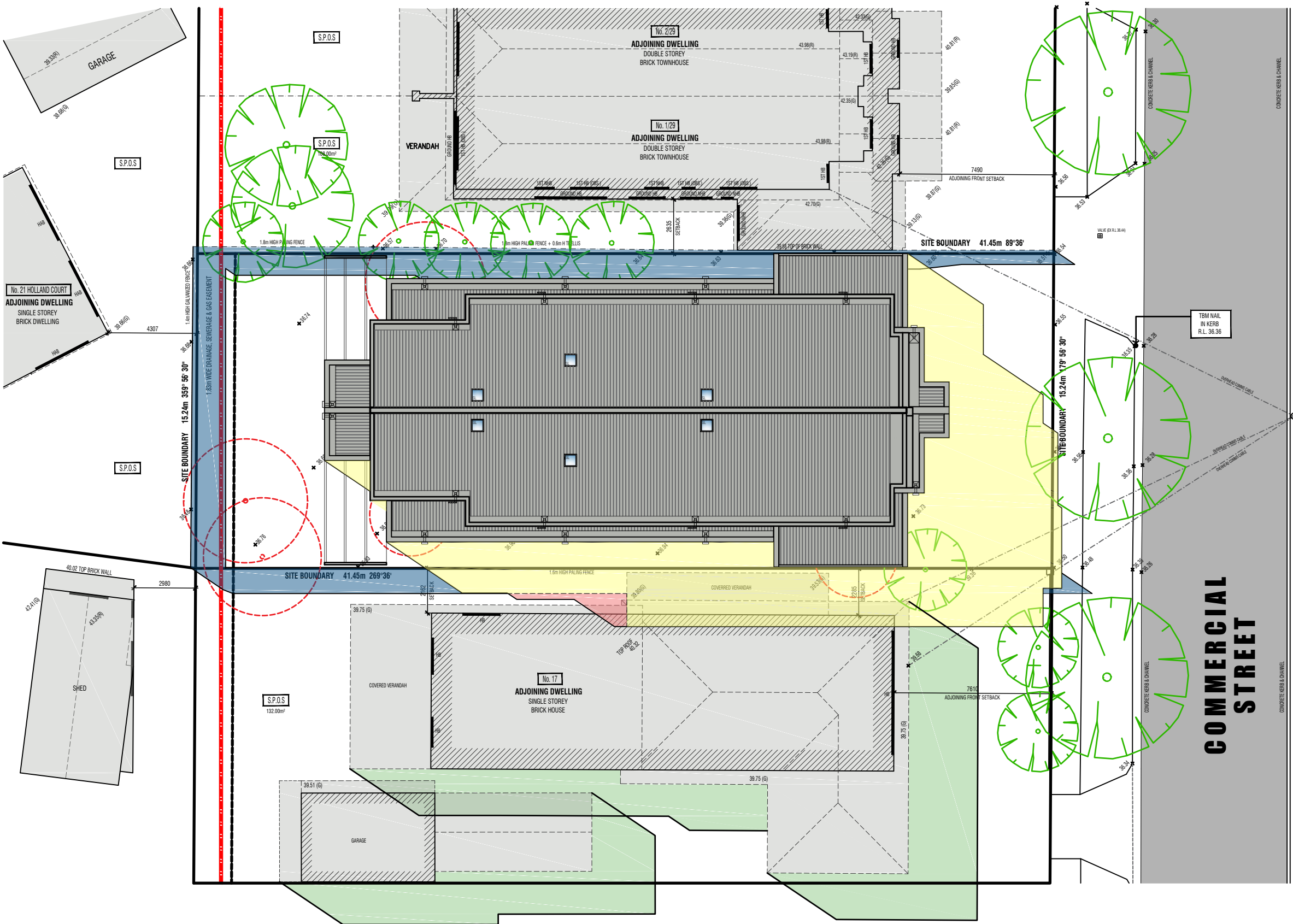
PROPOSED DUAL OCCUPANCY AT: 19 COMMERCIAL STREET MAIDSTONE

for: **VV CONSTRUCTIONS**

SPR NO: DO217-25	DATE: MAY - 2025	DRAWN BY: D.AVRAMPOPOULOS	CHECKED BY: D.GRIFFIN (DP-AD583)	SCALE: 1 : 200	SHEET NO: S3
A - 58 Thomas Street, Airport West 3042 P - 0300 3434 E - enquiries@draftmode.com.au					draftmode designs ply ltd

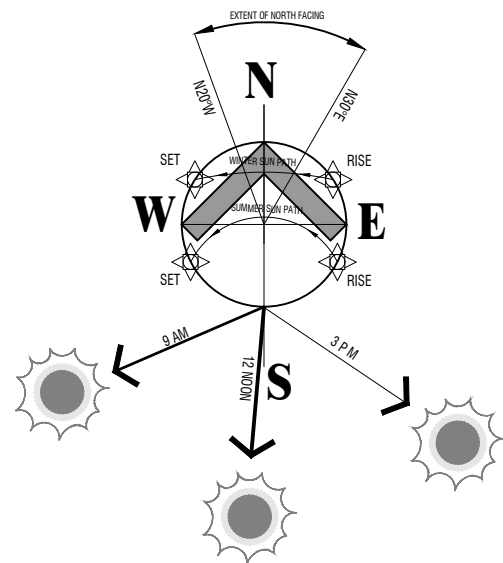
SHADOW DIAGRAM ANALYSIS

SCALE 1:200



SHADOW DIAGRAM ANALYSIS - 3:00 PM
SCALE 1:200

SHADOWS TO ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE (3:00 PM)	
EXISTING ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE	132.00m ²
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER EXISTING CONDITIONS)	97.00m ² / 73.48 %
EXISTING S.P.O.S NOT UNDER SHADOWS (00.00m ² / 00.00%) (UNDER PROPOSED CONDITIONS)	95.00m ² / 71.96 %



SHADOW DIAGRAM LEGEND:

- SHADOWS CAST FROM PROPOSED DWELLINGS ONTO ADJOINING PROPERTIES & SUBJECT SITE
- SHADOWS CAST FROM EXISTING BOUNDARY FENCES
- ADDITIONAL SHADOWS CAST FROM PROPOSED DWELLINGS ONTO ADJOINING PROPERTIES SECLUDED PRIVATE OPEN SPACE
- EXISTING SHADOWS CAST BY ADJOINING NEIGHBOURS DWELLINGS, OUTBUILDINGS, ETC... (5 & 9 EDEN STREET)

NOTE:
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PROPOSED DUAL OCCUPANCY AT: 19 COMMERCIAL STREET MAIDSTONE

for: **VV CONSTRUCTIONS**

SPRNG NO:	DATE:	DRAWN BY:	CHECKED BY:	SCALE:	SHEET NO:
DOZ17-25	MAY - 2025	D.AVRAMPOPOULOS	D.GRIKMA (DP-AD583)	1 : 200	S4

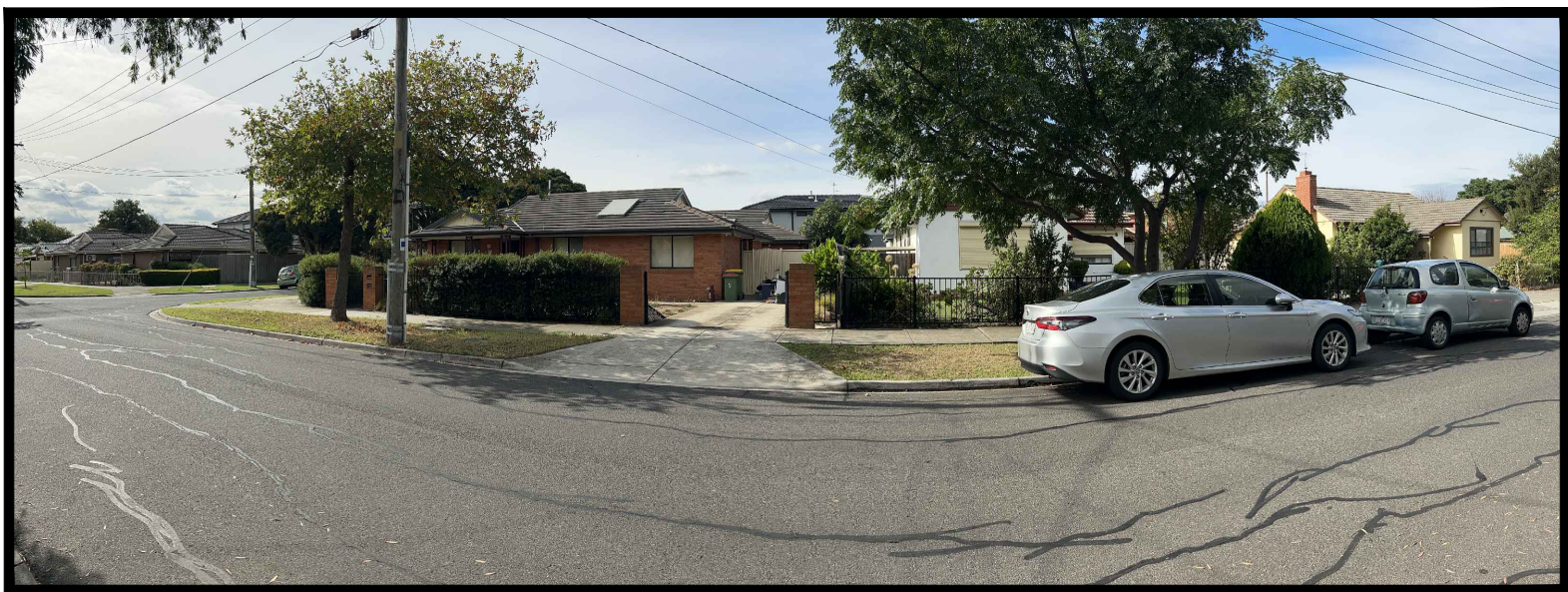
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SITE ANALYSIS & NEIGHBOURHOOD DESCRIPTION

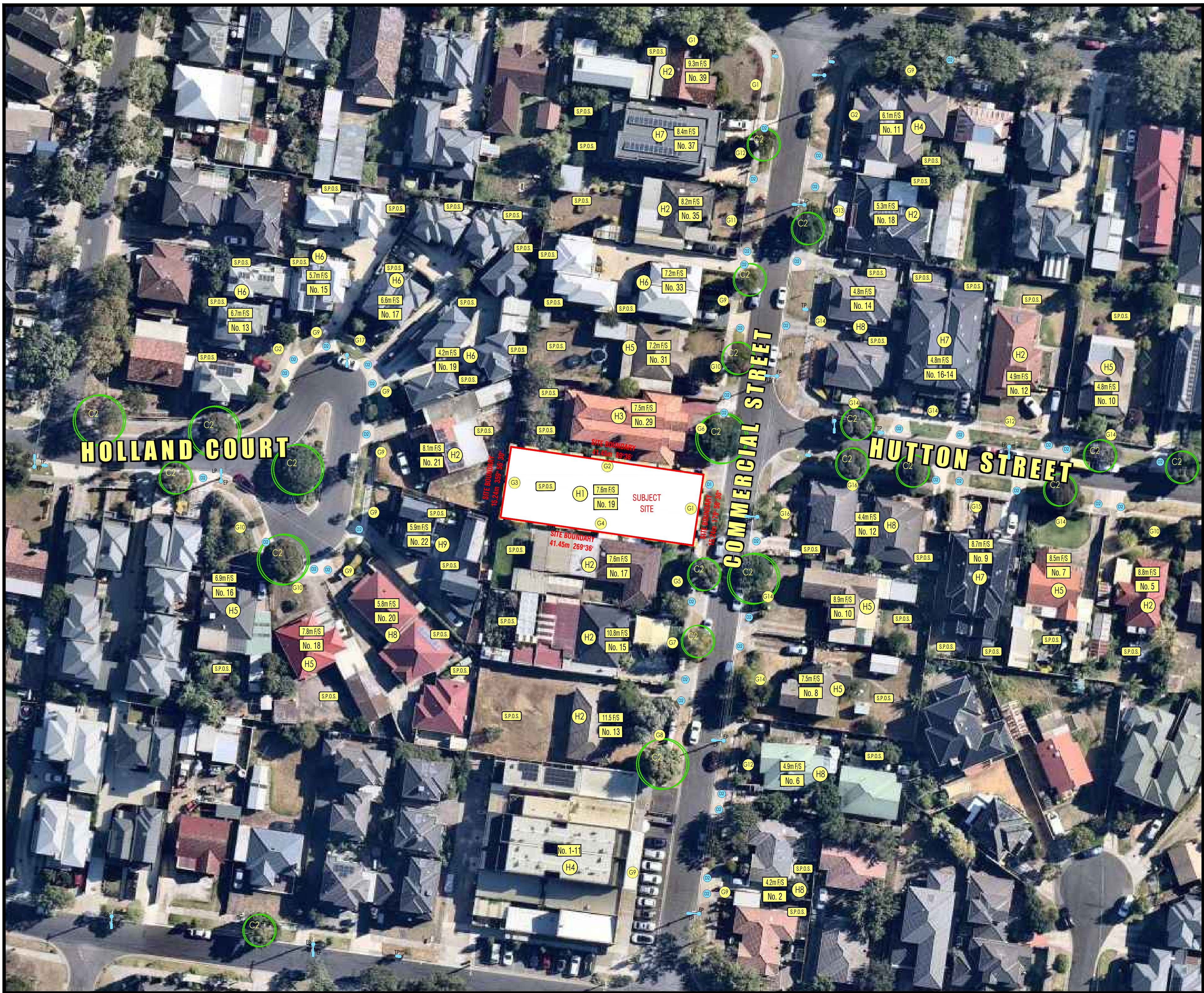
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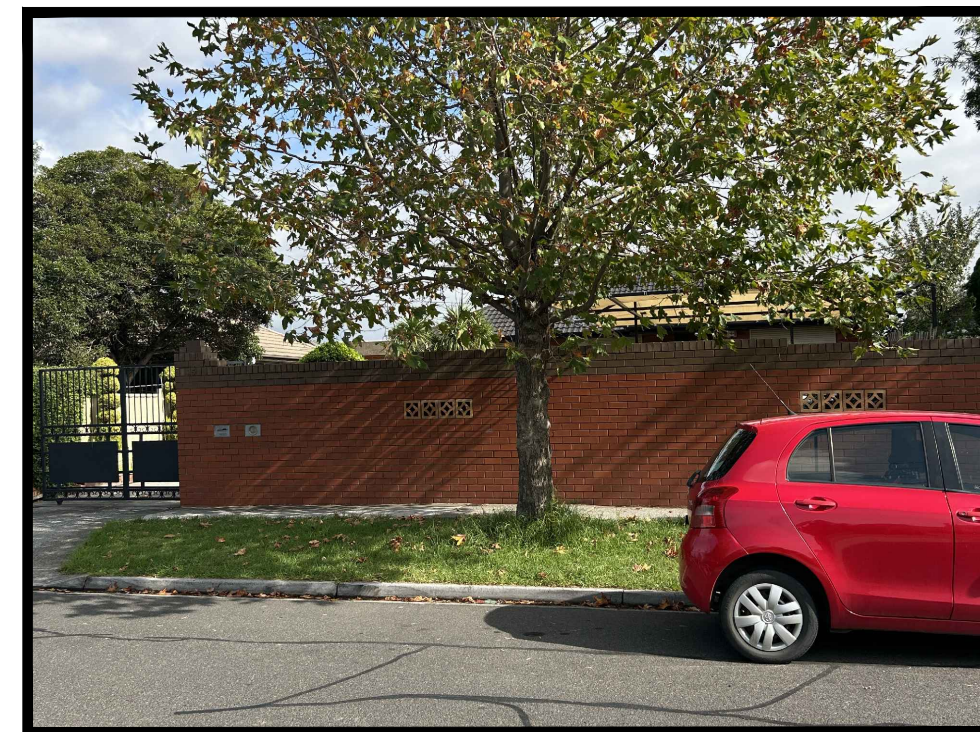
19 COMMERCIAL STREET, MAIDSTONE - STREETSCAPE



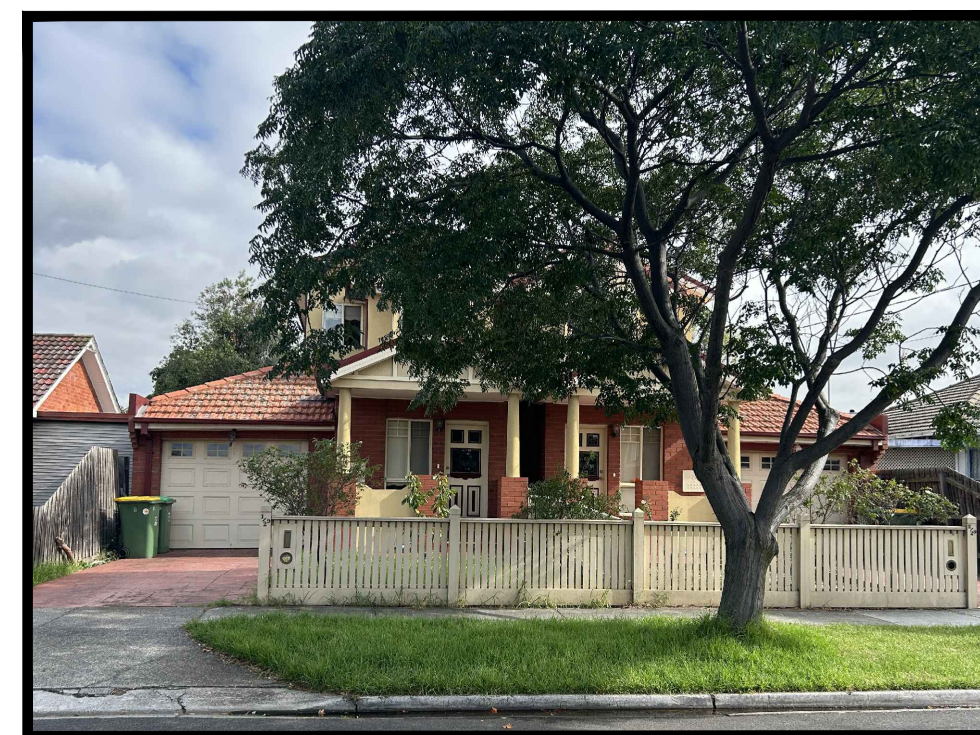
12 COMMERCIAL STREET, MAIDSTONE - ([OPPOSITE SIDE] STREETSCAPE)



No.19 COMMERCIAL STREET, MAIDSTONE - SUBJECT SITE



No.17 COMMERCIAL STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE LEFT)



No.29 COMMERCIAL STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE RIGHT)

SITE ANALYSIS PLAN: LEGEND

ORIENTATION

A SITE HAS A NORTH TO SOUTH FACING ORIENTATION

TOPOGRAPHY

B LAND HAS A DECLINE OF 0.18m FROM EAST TO WEST (REFER TO LEVELS ON PLAN PROVIDED)

VEGETATION

C1 EXISTING SITE TREES & SHRUBS TO BE REMOVED

C2 EXISTING STREET TREES & LANDSCAPE

ACCESS POINTS

D1 EXISTING PEDESTRIAN AND VEHICLE ACCESS FROM PAPER ROAD AND PAPER ROAD TO SUBJECT SITE

D2 EXISTING STREET CROSSINGS

DRAINAGE

E DRAINAGE POINT - NO UNMANAGABLE DRAINAGE CONSTRAINTS. POINT OF DISCHARGE AS PER COUNCIL REQUIREMENTS

SERVICE

F1 SITE HAS ACCESS TO INFRASTRUCTURE (SEWER, WATER SUPPLY, GAS & TELEPHONE)

FENCES & BOUNDARIES

G1 1.2m HIGH WIRE FENCE

G2 1.8m HIGH TIMBER PALING FENCE

G3 1.4m HIGH SHEET FENCE

G4 1.6m HIGH TIMBER PALING FENCE

G5 2.1m HIGH BRICK WITH IRON INSERT FENCE

G6 1m HIGH PICKET FENCE

G7 2.1m HIGH BRICK FENCE

G8 1.4m HIGH TIMBER FENCE

G9 NO FENCE

G10 500m HIGH BRICK FENCE

G11 1.4m HIGH PICKET FENCE

G12 1.4m HIGH BRICK WITH IRON INSERT FENCE

G13 1.2m HIGH METAL PICKET FENCE

G14 1.0m HIGH METAL FENCE

G15 1.4m HIGH HORIZONTAL TIMBER FENCE

G16 1.4m HIGH BRICK WITH IRON & PLANT INSERT FENCE

G17 1.2m HIGH TIMBER VERTICAL FENCE

LOCATION/USE OF SURROUNDING BUILDINGS

H1 SINGLE STOREY BRICK VENEER DWELLING TO BE DEMOLISHED

H2 SINGLE STOREY BRICK VENEER DWELLING

H3 DOUBLE STOREY BRICK VENEER UNITS

H4 SHOPPING STRIP

H5 SINGLE STOREY RENDERED DWELLING

H6 DOUBLE STOREY BRICK VENEER WITH LIGHTWEIGHT UPPER UNITS

H7 DOUBLE STOREY RENDERED UNITS

H8 SINGLE STOREY BRICK VENEER UNITS

H9 NO DWELLING

SECLUDED OPEN SPACE

SP.O.S. SECLUDED PRIVATE OPEN SPACES OF SURROUNDING DWELLINGS

HABITABLE ROOM WINDOWS/DOORS

HAB. HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)

N/H WIN. NON-HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)

SOLAR ACCESS

K POTENTIAL DAYLIGHT ALONG NORTH SIDE OF SITE

WALLS ON BOUNDARY

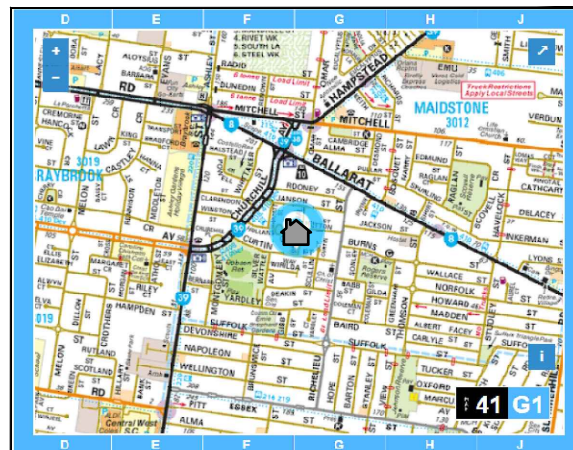
L1 2.5m HIGH WALL ON BOUNDARY

L2 2.5m HIGH WALL ON BOUNDARY

LOCALITY GUIDE

M1 DOBSON RESERVE	O1 ROONEY ST / CHURCHILL AVE 408, 410	O2 DOBSON RESERVE/CHURCHILL AVE 408, 410	O3 HALSTED ST / ASHLEY ST 220	O4 TOTTENHAM STATION
M2 DOBSON RESERVE	O5 FOOTSCRAY WEST PRIMARY SCHOOL	O6 CORPUS CHRISTI SCHOOL	O7 MARLBOROUGH SECONDARY COLLEGE	O8 CAROLINE CHISHOLM CATHOLIC COLLEGE
M3 JOHN COSTELLO RESERVE	O9	O10	O11	O12
M4 SHEPHERD GARDENS	O13	O14	O15	O16
N1 BRAYBROOK SC	N2 CENTRAL WEST PLAZA	N3 HOMEBAKER CENTRE	N4 HIGHPOINT SHOPPING CENTRE	

NOTE: ALL DIRECTIONAL ARROWS & DISTANCES TAKEN FROM SUBJECT SITE INDICATED BY HOUSE ON MAP BELOW



MAP N.T.S.

SYMBOLS

SS	EXISTING STREET CROSSING	HD	HOUSE DRAIN
EP	STREET SIGN	TP	TELSTRA PIT
E	ELECTRICAL POLE	F.H.	FIRE HYDRANT
LP	ELECTRICAL PIT	PT	PIT
	ELECTRICAL POLE WITH LIGHT POLE	SW	STORMWATER

REV A 13.05.2025 TOWN PLANNING SUBMISSION SET

REV B 03.09.2025 UPDATED TO REQUEST FOR FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY

AT: 19 COMMERCIAL STREET
MAIDSTONE

for: VV CONSTRUCTIONS

SP.O. NO. DOZ17-25 DATE MAY - 2025 DRAWN BY M. GRIMA CHECKED BY D. GRIMA (DP-AD383) SCALE 1:500 SHEET NO.

A - 38 Thomas Street, Airport West 3042

P - 0330 3434

E - enquiries@draftmode.com.au

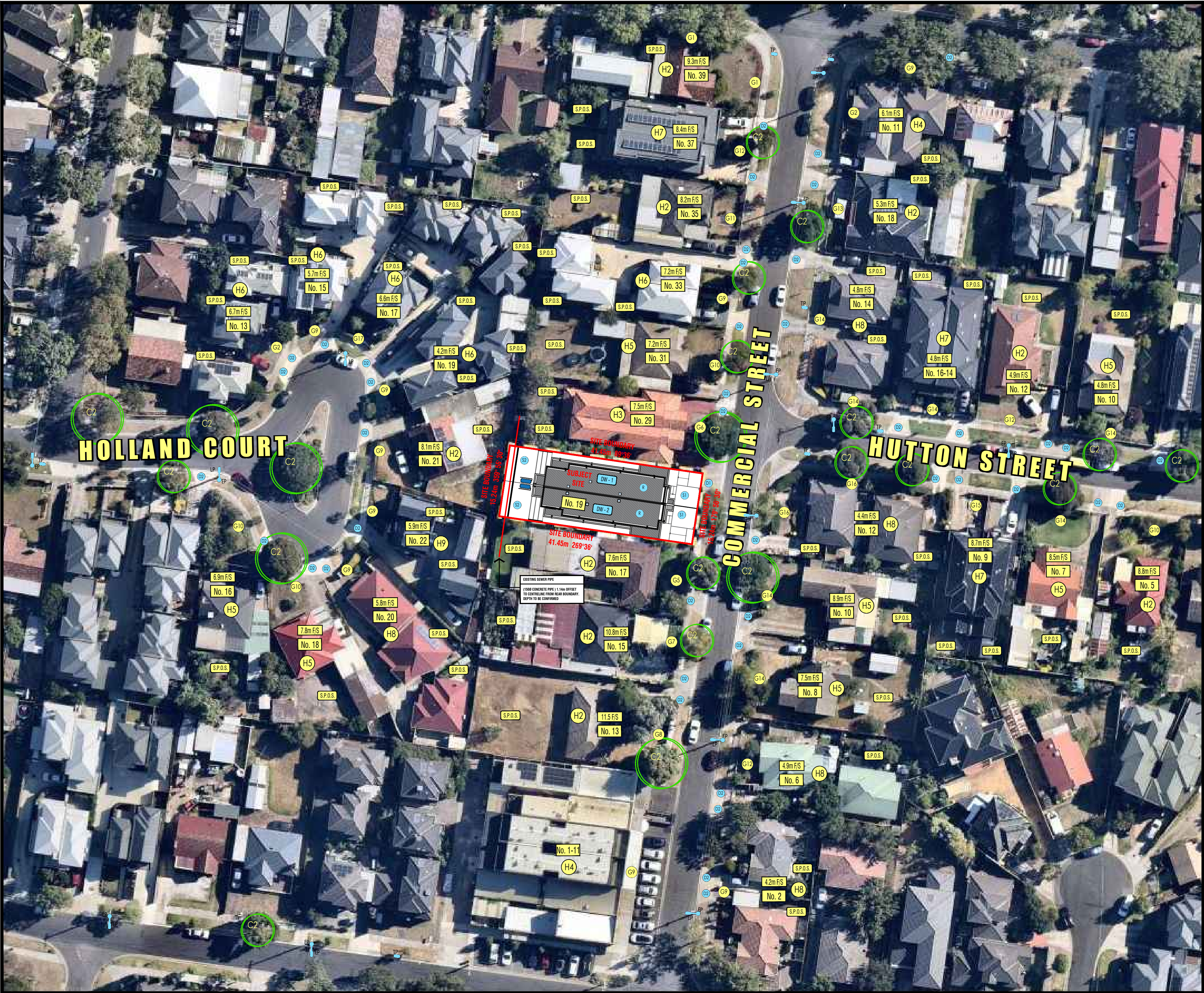
draftmode designs Pty Ltd

D1

D2

DESIGN RESPONSE

SCALE 1:500



SITE ANALYSIS PLAN: LEGEND

ORIENTATION

A SITE HAS A NORTH TO SOUTH FACING ORIENTATION

TOPOGRAPHY

B LAND HAS A DECLINE OF 0.18m FROM EAST TO WEST (REFER TO LEVELS ON PLAN PROVIDED)

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H7 DOUBLE STOREY RENDERED UNITS

H8 SINGLE STOREY BRICK VENEER UNITS

H9 NO DWELLING

SECLUDED OPEN SPACE

S.P.O.S. SECLUDED PRIVATE OPEN SPACES OF SURROUNDING DWELLINGS

HABITABLE ROOM WINDOWS/DOORS

HAB. HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)

N/H WIN. NON-HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)

SOLAR ACCESS

K POTENTIAL DAYLIGHT ALONG NORTH SIDE OF SITE

WALLS ON BOUNDARY

L1 2.5m HIGH WALL ON BOUNDARY

L2 2.5m HIGH WALL ON BOUNDARY

LAND USE AND DENSITY RESPONDS TO:

Q - LOCATION WITHIN ESTABLISHED RESIDENTIAL AREA

- LACK ON MANAGEABLE INFRASTRUCTURE CONSTRAINTS

- ACCESSIBILITY TO PUBLIC TRANSPORT, LOCAL SHOPS, RESERVES & SCHOOLS

- SITE DIMENSION AND AREA

R MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS AND REFLECT THE BUILDINGS ADJACENT

LANDSCAPING

S1 LANDSCAPING PROVIDED TO REINFORCE THE PRESENTATION OF EACH RESIDENCE TO THE STREET FRONTAGE

S2 LANDSCAPING PROVIDED TO MAINTAIN PRIVACY BOTH WITHIN AND BEYOND THE EXTENT OF THE DEVELOPMENT

T CREATE SUFFICIENT NORTH-FACING COURTYARDS, MAINTAIN SUFFICIENT DIMENSIONS TO ENABLE PLANTING OF LARGER SHADE / CANOPY TREES

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AT: 19 COMMERCIAL STREET
MAIDSTONE

for: VV CONSTRUCTIONS

DRG NO: DOZ17-25 DATE: MAY - 2025 DRAWN BY: M. GRIMA DESIGNED BY: D. GRIMA (DP-AD383) SCALE: 1:500 SHEET NO: D2

A - 38 Thomas Street, Airport West, 3042

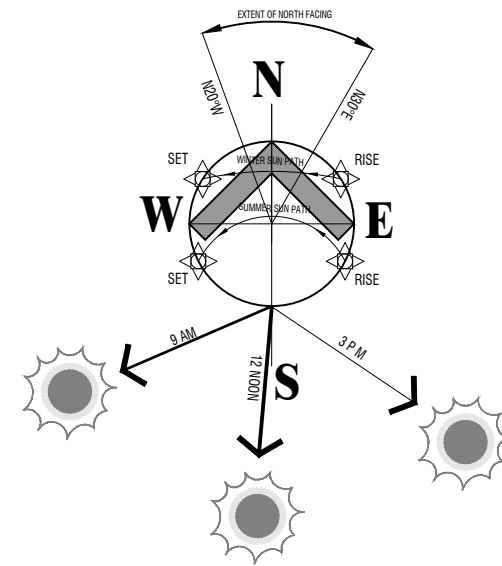
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LANDSCAPE PLAN

SCALE 1:100



LANDSCAPE PLAN LEGEND:

- LAWN
- EXPOSED AGGREGATE PAVING TO DRIVEWAY & WALKWAY AREAS
- OUTDOOR PAVER TILES (TO CLIENT SELECTION)
- LILYDALE TOPPING
- MULCH / BARK MIXTURE
- KIKUYU LAWN / GRASS
- LILYDALE TOPPING
- EXPOSED AGGREGATE PAVING
- NATURE STRIP
- MULCH / BARK
- OUTDOOR PAVER TILES
- PERMEABLE PAVER TILES
- SENSORED LED LIGHT
- BAFFLED LED LIGHT
- MOTION SENSORED WALL SCONCE
- WATER METER
- HEATING / COOLING UNIT
- HOT WATER UNIT
- ELECTRICAL METER BOX
- RUBBISH BIN STORAGE AREA
- 3,000 LITRE RAINWATER TANK
- FOLD-ABLE CLOTHESLINE

TREE PROTECTION LEGEND:

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STRUCTURAL ROOT ZONE (SRZ)
- TREE PROTECTION ZONE (TPZ)
- 2.00m HIGH PROTECTIVE CYCLONE MESH FENCING TO NOMINATED STREET TREE(S)

ARBORICULTURE NOTE:

ALL ARCHITECTURAL AND LANDSCAPE DOCUMENTATION IS TO BE READ IN CONJUNCTION WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY "MOLLOY ARBORICULTURE PTY LTD", DATED FRIDAY 2ND MAY 2025

EASEMENT PLANTING NOTE:

ALL LANDSCAPE / PLANTING IN CLOSE PROXIMITY TO EASEMENTS ARE TO HAVE A NON-INVASIVE ROOT SYSTEM

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PROPOSED DUAL OCCUPANCY

AT: 19 COMMERCIAL STREET
MAIDSTONE

for: VV CONSTRUCTIONS

DATE: MAY - 2025 DRAWN BY: D. GRAMA (DP-AD583) SCALE: 1:100 SHEET NO: L1

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E - enquiries@draftmode.com.au

SITE AREA: 631.00 sqm

REQUIRED CANOPY COVERAGE: 10% OF SITE AREA
10% OF 631.00 sqm: 63.10 sqm OF TREE CANOPY COVERAGE REQUIRED
2 x 4.0m DIAMETER AND 2 x 5.0m DIAMETER TREES TO BE PROVIDED TO SITE

5.0m DIAMETER TREE CANOPY COVERAGE: 19.7msq
2.0m DIAMETER TREE CANOPY COVERAGE: 12.6msq
(2 x 19.7msq) + (2 x 12.6msq) = 64.60msq

REQUIRED TREE CANOPY COVERAGE: ACHIEVED

PLANT SCHEDULE, NOTES AND DETAILS

N/A

LANDSCAPE NOTES

- THIS PLAN IS BASED ON THE TOWN PLANNING DRAWINGS DO217-25 BY DRAFTMODE DESIGNS PTY LTD
- Contractor shall note that the required location & dimensions of works may not exactly correspond with existing conditions.
- Contractor shall use figured dimensions in preference to scale & shall verify all dimensions on site before commencement of works.
- Contractor shall verify the location of all services, gas, electrical, water, sewage & telephone before commencement of works.
- The landscape area is to be cleared of all waste. Gypsum is to be spread over the area at the rate of 1.5kg/m² & then the area is to be rotary hoed.
- All plants are to be healthy, disease-free specimens. Ornamental or similar slow-release fertiliser to be applied to all plants. Thoroughly water in all plants. Stake and tie all canopy trees.
- Provide timber plinth edge or similar between lawn, garden areas and gravel paths. All plant/garden beds are to be mulched with 100mm minimum depth of wood chip mulch.
- Plants are to be deep watered once per week until established. Mulch is to be renewed twelve months after planting. In the event of plant dying it is to be replaced.

THIS PLAN IS FOR PLANNING PURPOSES ONLY AND NOT FOR CONSTRUCTION

Refer to Architects plans for existing structures and services to be retained, if any.

TREE PLANTING NOTES

Dig a shallow, broad planting hole that is up to 3 times the width of the root ball but only as deep as the root ball.

The soil under the root ball must not be excavated if it has been dug or disturbed, then compact it (with your feet) so that it can support the root ball.

Identify the trunk flare - the point where the roots and trunk meet should be visible at the surface, if it is buried by potting mix or site soil or mulch then remove any such material.

Carefully remove the container and examine the roots, if there are circling roots then prune or remove them.

Place the tree at the proper height, do not plant too deeply. It is better to plant a tree a little higher rather than deeper than the natural ground level.

If there is a slope then it should be no deeper than the lower slope. Lift the tree by the root ball not by the trunk.

Straighten the tree in the hole before backfilling with the excavated site soil, view the tree from several directions to check it is straight.

Fill the hole gently but firmly with site soil - fill the hole about one third full, then water and gently but firmly pack the soil around the base of the root ball. Then fill hole. Fertiliser use is not recommended.

Stake if necessary - if the tree is properly grown in the nursery and properly planted it will not need staking for support but it can assist with mower damage or very windy conditions.

Ties should be loose to allow movement to stimulate the growth of supporting roots. Stakes should be removed after one year.

Mulch the base of the tree-organic mulch such as pine bark can help to retain moisture and suppress weed growth.

Do not cover the root ball or trunk with mulch.

Provide follow up care-water once a week if there is no rain and more frequently if temperature exceeds 30c.

The first few weeks and the first Spring-Summer-Autumn are vital.

SPECIFICATION NOTES:

SITE PREPARATION

Remove any on - site building material, rubbish and weeds from planting areas that will be restrictive to plant growth. Stump ground all trees marked as 'to be removed.' Imported topsoil to be a medium texture sandy loam.

GARDEN BEDS

Existing sub-grade to be dug to a depth of no less than 500mm below finished grade in garden beds to allow for 400mm medium-loam soil and 75mm mulch. Original sub-base to be cultivated where possible. Gypsum to be spread if there is a clay sub surface. Use organic mulch on all garden bed areas.

A standard 'garden mix' from an approved supplier containing topsoil and compost shall be incorporated to garden beds shall match paving finished levels.

TREES

Use three 50 x 50 x 2400 HW stakes per tree. Fasten trees to stakes with 50mm fabric tie in figure 8 loop. Existing street trees to be suitably protected. Maintain existing ground levels at the interface between the ground and the tree trunk. Area beneath the canopy should be fenced prior to the commencement of the construction activities.

No excavation, filling, machinery or storage of materials shall occur within the fenced off area. Roots requiring severance beyond the tree canopy shall be clean cut with hand saw and kept moist. All roots over 40mm diameter Any roots within the fenced area should not be cut without the approval from an experienced arborist.

PLANTING

All plants used throughout the development are to be supplied by a nursery which specialises in native and exotic plants. Plants being relocated to be trimmed prior to lifting and located in a protected position during the works. Ensure an adequate root system is retained and any damaged roots to be pruned cleanly. Season to be used on a fortnightly basis to assist in transplant shock and keep the plants healthy during the works and for 3 months after final planting.

MULCH

Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded pine bark or similar with 85% of particles in the size range 10 to 25mm in plan and 5mm in thickness.

No particles are to exceed 30mm in plan. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. All mulch is to be sloped towards plant stems but shall be kept back 100mm from the stems of all plants to prevent collar rot.

FERTILIZER

Use 6 - 9 month osmotic suitable for Australian plants and applied at following rates:

- Advanced trees: 200g per tree.
- 200 diameter pots: 20g per pot.
- 150 diameter pots: 15g per pot.

LILYDALE TOPPING

Lilydale Toppings shall be laid according to manufacture's instructions and in locations shown on the drawings. Refer TO Detail. Refer Architects Plans for indication of levels. Confirm levels prior of construction.

GRASS / LAWN

Seed on 50mm topsoil (NOTE: during water restriction periods, lawn substitute materials such as pebbles or mulch should be considered for small areas)

Any areas specified as "Lawn" or "Grass" are to be of a draught tolerant species (eg. Eureka Kikuyu Lawn) and must not be artificial or synthetic turf.

PAVING

Paving units shall be 800mm x 400mm concrete units (to be specified) laid over a base of 100mm compacted crushed rock and 50mm washed river sand. Allow 5 mm joints between paving units and brush-fill with pavlock jointing compound or similar approved.

All paving shall be to a grade of approximately 1% to aid surface drainage towards garden beds and away from house.

IRRIGATION

A slow-drip irrigation system with programmable timers connected to the rainwater tanks and water mains as a back-up / alternative water supply. Irrigation must be used in compliance with any and all water restrictions in effect.

MAINTENANCE SCHEDULE

To follow for a two year period after final completion. Work to be carried out by the owner or body corporate. Plants to be regularly checked for pests and diseases and appropriate treatments applied.

- Where necessary:
- Prune every 3 months to ensure good shape and remove dead limbs
 - Additional applications of osmotic as per manufacturer's recommendations
 - Regular watering during summer months and dry periods
 - Replace dead plants with equally sized plants within maintenance period
 - Control weeds through maintenance via hand and chemical means
 - Replenish mulch
 - Remove tree stakes after establishment to ensure successful ongoing health & shape of trees

LANDSCAPING PALLET



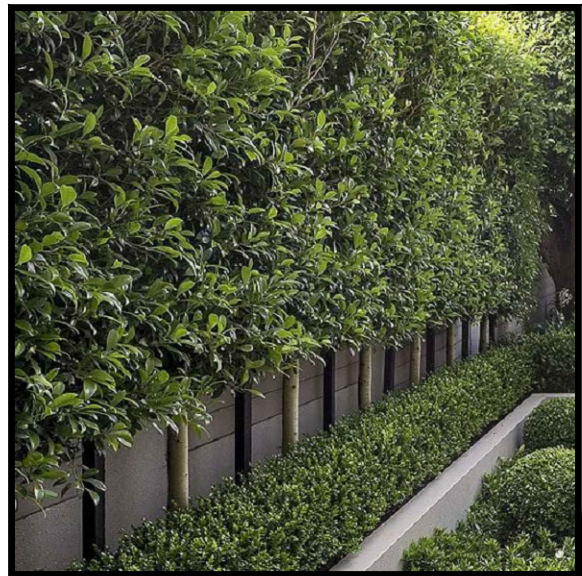
"Buxus Microphylla Japonica" EXAMPLE



Tristaniopsis Laurina "Luscious Water Gum"



Acer Palmatum "Japanese Maple"



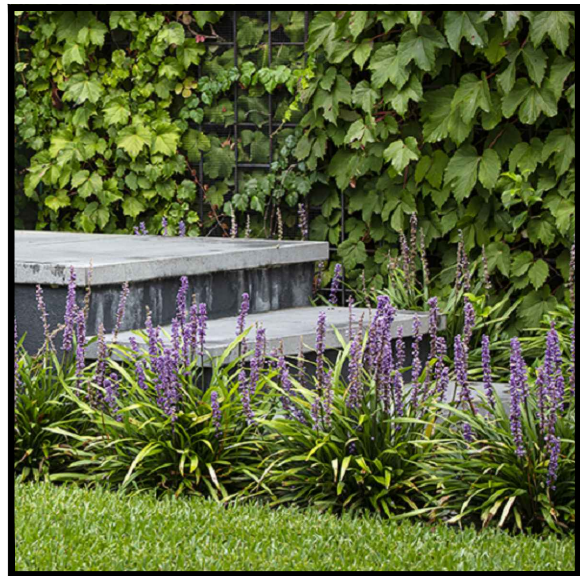
"Ficus Tuffi" EXAMPLE



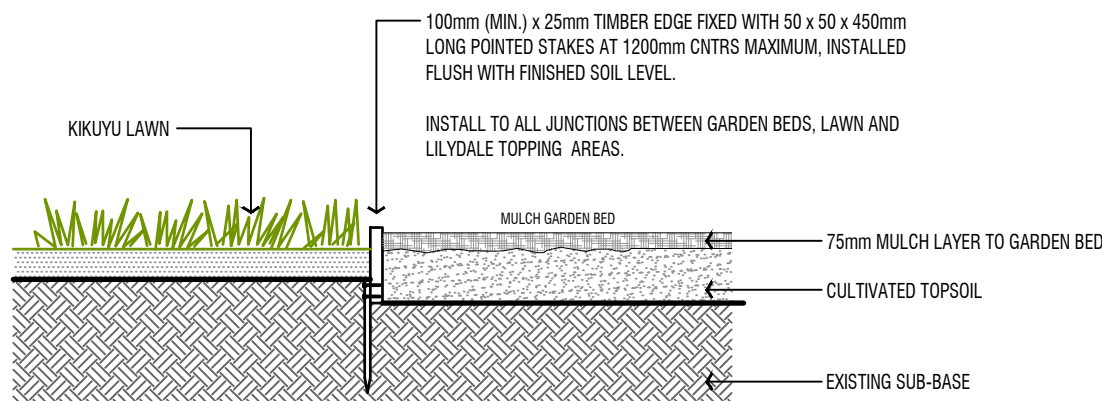
"Buxus Sempervirens (Sphere)" EXAMPLE



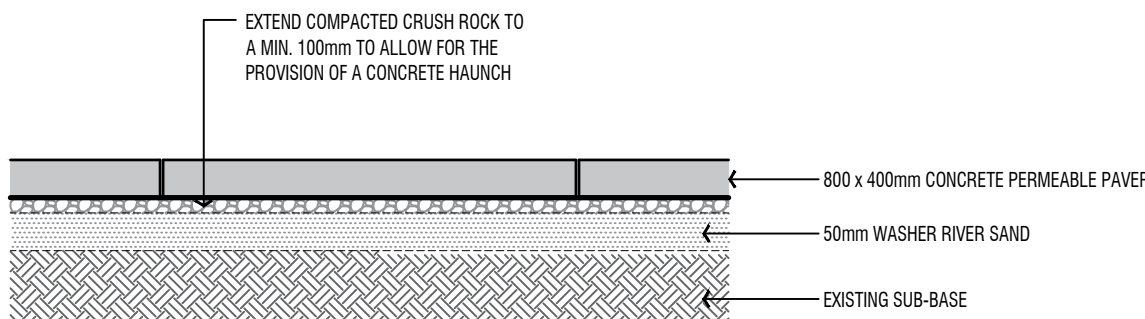
"Gardenia Augusta Redican" EXAMPLE



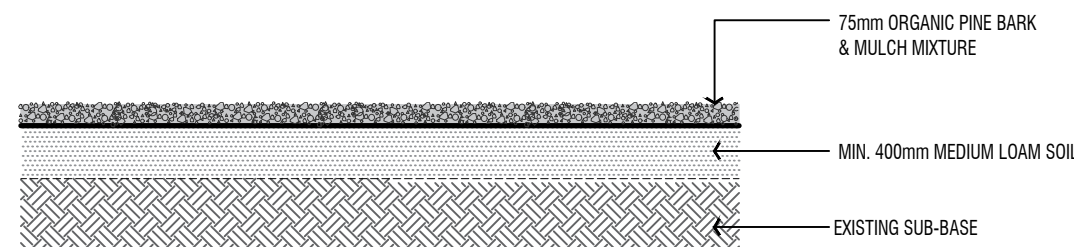
"Liriope Muscari" EXAMPLE



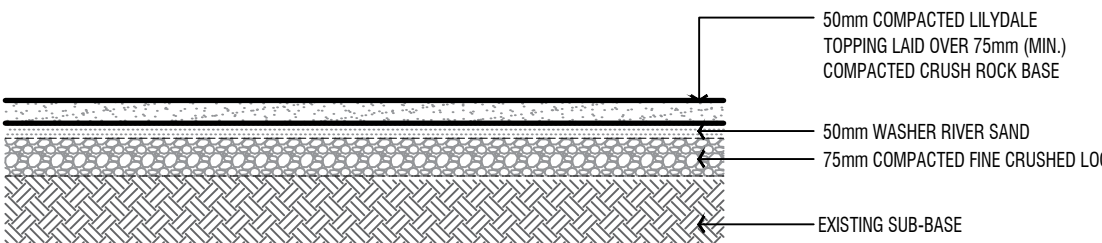
TIMBER PLINTH EDGE DETAIL (TYPICAL)
(NOT TO SCALE)



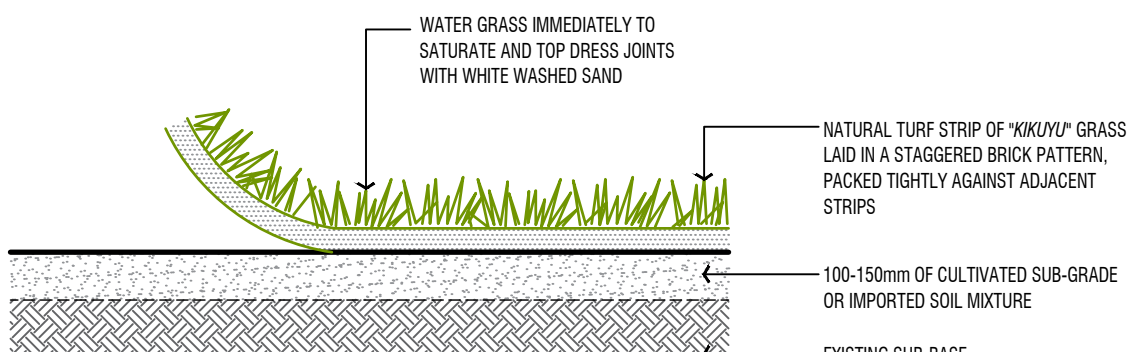
CONCRETE PAVER DETAIL (TYPICAL)
(NOT TO SCALE)



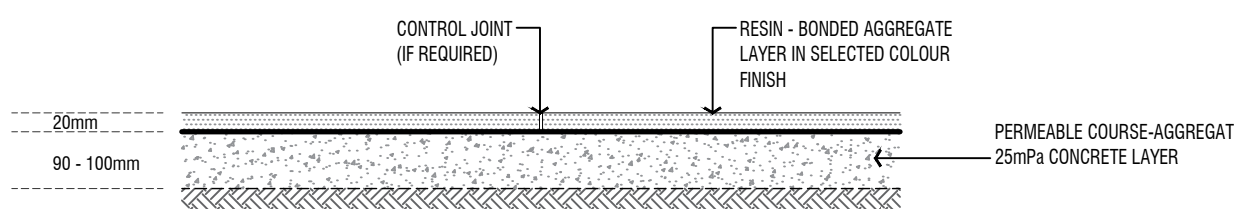
MULCH / BARK GARDEN BED (TYPICAL)
(NOT TO SCALE)



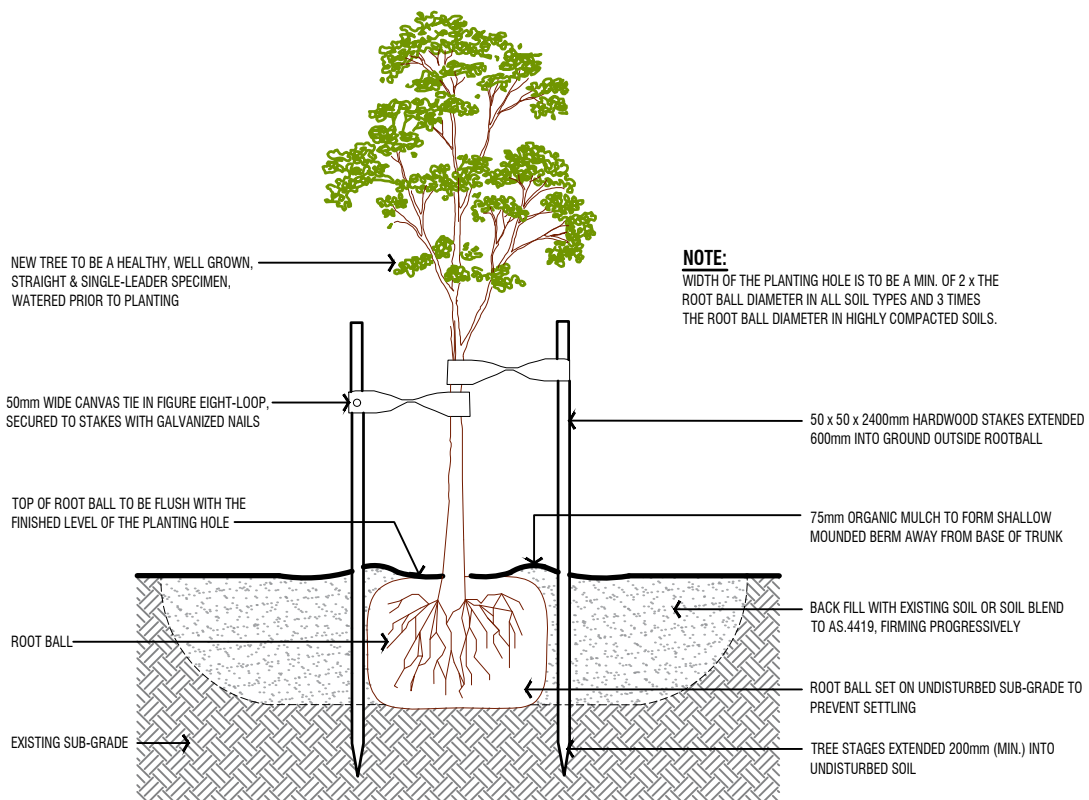
LILYDALE TOPPING DETAIL (TYPICAL)
(NOT TO SCALE)



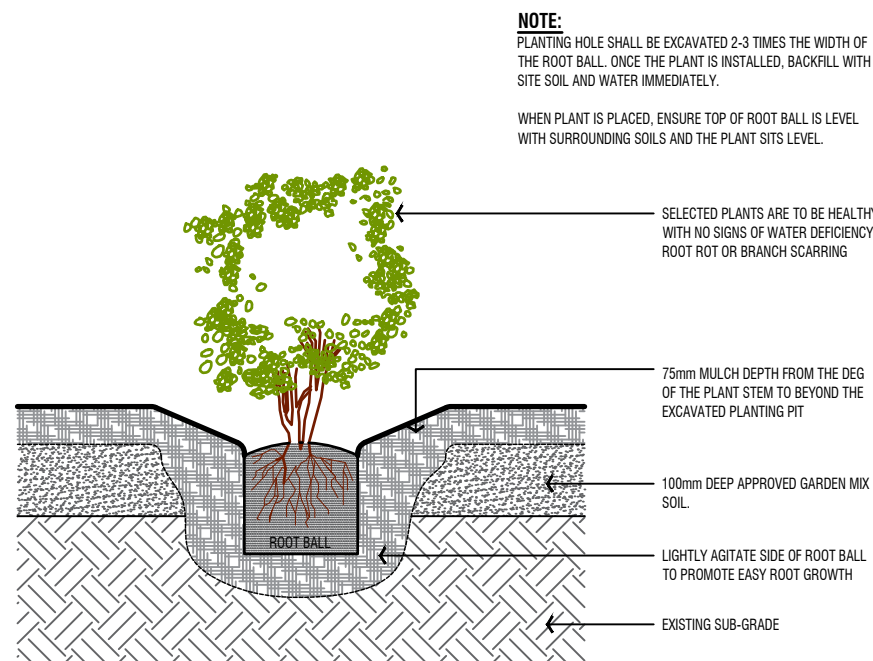
INSTANT LAWN / GRASS DETAIL (TYPICAL)
(NOT TO SCALE)



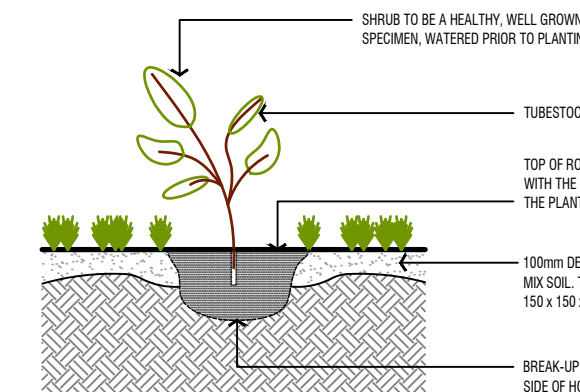
EXPOSED AGGREGATE PAVING DETAIL (TYPICAL)
(NOT TO SCALE)



ADVANCED TREE PLANTING DETAIL
(NOT TO SCALE)



ADVANCED SHRUB PLANTING DETAIL
(NOT TO SCALE)



TUBESTOCK PLANTING DETAIL
(NOT TO SCALE)

PROPOSED PLANTING SCHEDULE

ICON	ID	Qty	COMMON NAME	BOTANICAL NAME	NATURED HEIGHT X WIDTH (M)	POT SIZE
LARGE CANOPY TREES (TYPE A: 4.00m MIN. DIAMETER CANOPY)						
	TL	2	Luscious Water Gum	Tristaniopsis Laurina "Luscious"	8.00m H x 5.00m W	200 Litre
	AcPa	2	Japanese Maple	Acer Palmatum	8.00m H x 5.00m W	200 Litre
LARGE SHRUBS						
	FTu	14	Tuffi Fig	Ficus Tuffi	4.00m H x 2.50m W	25 Litre
SMALL - MEDIUM SHRUBS						
	LAMu	08	Lily Turf	Liriope Muscari	0.30m H x 0.45m W	20cm
	GuRa	22	Gardenia	Gardenia Augusta Radicans	0.50m H x 1.00m W	20cm
	BuSe	18	Common Box	Buxus Sempervirens	2.00m H x 2.00m W	30cm
	BuMi	30	Japanese Box	Buxus Microphylla Japonica	1.00m H x 1.00m W	10cm
LAWN / GRASS						
	Gr	N/A	Kikuyu Grass	Eureka Kikuyu	N/A	N/A

LANDSCAPE PLAN LEGEND:

- LAWN
- EXPOSED AGGREGATE PAVING TO DRIVEWAY & WALKWAY AREAS
- OUTDOOR PAVER TILES (TO CLIENT SELECTION)
- LILYDALE TOPPING
- MULCH / BARK MIXTURE
- KIKUYU LAWN / GRASS
- LILYDALE TOPPING
- EXPOSED AGGREGATE PAVING
- NATURE STRIP
- MULCH / BARK
- OUTDOOR PAVER TILES
- PERMEABLE PAVER TILES
- SENSORED LED LIGHT
- BAFFLED LED LIGHT
- MOTION SENSORED WALL SCONCE
- WATER METER
- HEATING / COOLING UNIT
- HOT WATER UNIT
- ELECTRICAL METER BOX
- RUBBISH BIN STORAGE AREA
- 3.000 LITRE RAINWATER TANK
- FOLD-ABLE CLOTHESLINE

TREE PROTECTION LEGEND:

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STRUCTURAL ROOT ZONE (SRZ)
- TREE PROTECTION ZONE (TPZ)
- 2.00m HIGH PROTECTIVE CYCLONE MESH FENCING TO NOMINATED STREET SIDE(S)

ARBORICULTURE NOTE:

ALL ARCHITECTURAL AND LANDSCAPE DOCUMENTATION IS TO BE READ IN CONJUNCTION WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY "MOLLOY ARBORICULTURE PTY LTD", DATED FRIDAY 2ND MAY 2025

EASEMENT PLANTING NOTE:

ALL LANDSCAPE / PLANTING IN CLOSE PROXIMITY TO EASEMENTS ARE TO HAVE A NON-INVASIVE ROOT SYSTEM.

REV A 13.05.2025 TOWN PLANNING SUBMISSION SET
REV B 03.09.2025 UPDATED TO REQUEST FOR FURTHER INFORMATION SET

PROPOSED DUAL OCCUPANCY

AT: 19 COMMERCIAL STREET
MAIDSTONE
for: VV CONSTRUCTIONS

DWG NO:	DATE	DRAWN BY:	CHECKED BY:	SCALE	SHEET NO:
DO217-25	MAY - 2025	D. GRAMA	D. GRAMA	N/A	L2
draftmode designs pty ltd					of L2
A - 58 Thomas Street, Asper West 3012 P - 8330 3434 E - enquiries@draftmode.com.au					