

No. 1 / 3 (LOT. 1) KATHLEEN STREET, WEST FOOTSCRAY.

PROPOSED TOWNHOUSE DEVELOPMENT.

FOR: T & D SAWAN

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

Note - Although every endeavour has been made to provide correct dimensions & details of adjoining properties it is a policy of Designs Plus Architectural Drafting and it's consultants that it shall not trespass onto properties unless express written consent is provided. Where consent is not given estimates are provided.

SITE ANALYSIS

The Site
The site is located at 1/3 Kathleen Street, West Footscray and is zoned General Residential 1 & is within a Maribyrnong Character Area - Garden Suburban. The Site occupies an area of 285.80m². It is a regular lot with a total width of 13.90m & 21.46 deep along its longest boundary. The site is 10km of the Melbourne C.B.D. and is within close proximity to local shops and public transport facilities along Geelong Road, Roberts Street & Sunshine Road also located surrounding the site lie parks such as Hansen Reserve, Cruikshank Park, a number of childcare centres, kindergartens, schools & clubs also within close vicinity. The site is aligned East to West.

Contours and Existing Vegetation
The site currently contains a single storey weatherboard dwelling & is generally flat and there is minimal existing vegetation or trees on the site.

Existing Buildings
Kathleen Street & surrounding streets contained varied streetscape, they contain a number of building types and styles of various with controls as well as single storey and two storey buildings nearby. The existing site is occupied by a single storey weatherboard dwelling, however the proposal is a form of development that fits in well with diverse surrounding streetscapes, housing styles & built forms, it maintains the rhythm of articulation from the street setbacks & building styles with the surrounding area. The proposed Development's setback & built form maintains the patterns of the surrounding streetscape as well as providing generous front open space area providing opportunity for meaningful landscaping which shall include Canopy Trees, to maintain the garden style setting of the immediate area.

Car Parking and Access
On street car parking is unrestricted along Kathleen Street in front of the subject site & in the immediate surrounding local streets. Any proposal for the site will maintain safe access & egress from the site, in keeping with the surrounding character of the precinct.

Fences and Boundaries
The existing site is partially fenced along the front boundary with a 1.45m steel panel, the North & East boundaries are also fence with a 1.8-2.0m high timber paling fence. The existing Southern boundary (Internal) is currently unfenced.

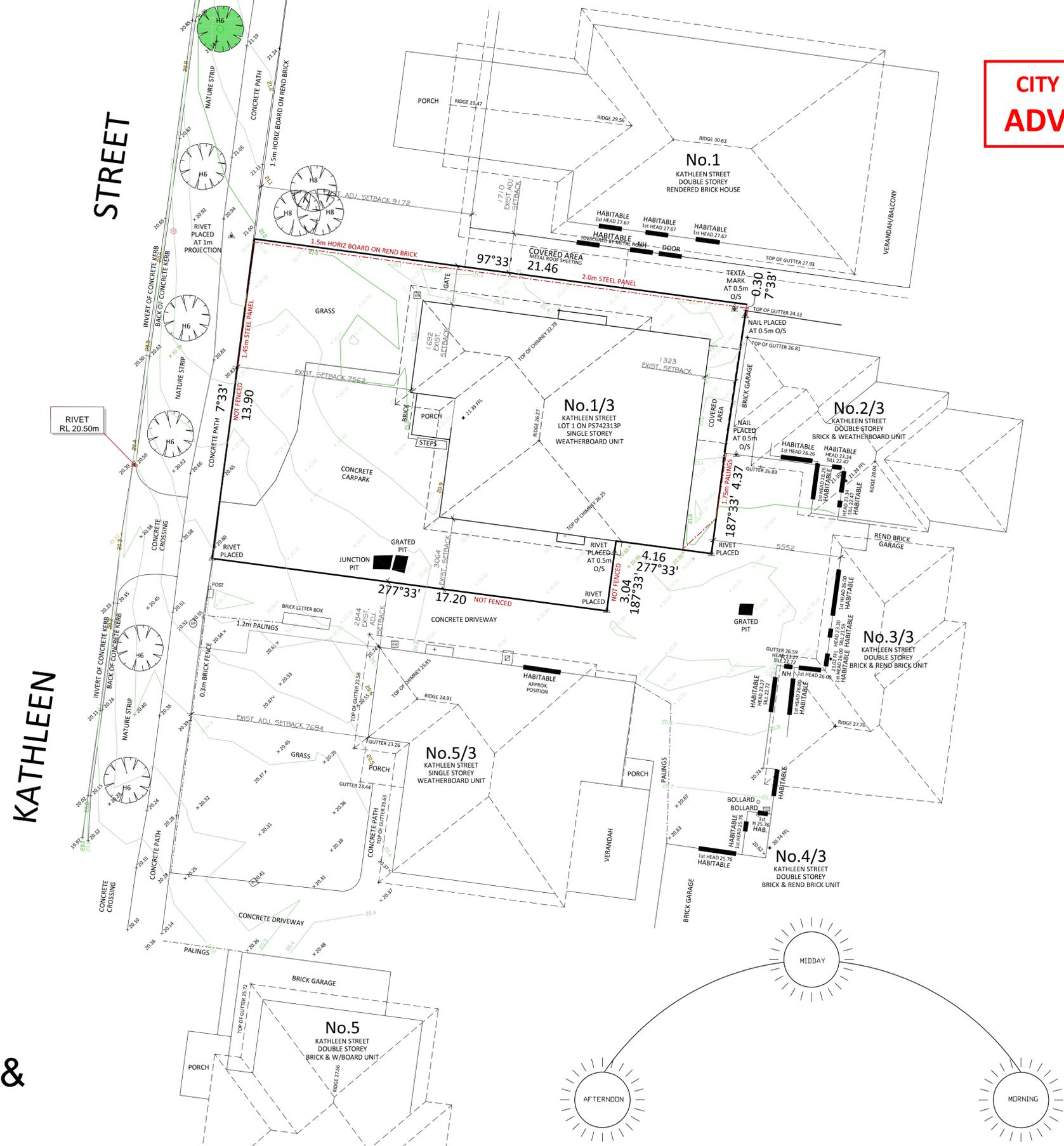
Abutting Private Open Space
The subject sites is abutted by residential dwellings (North, South & East of the site) these are orientated to face their respective street frontage. Refer to the plan for exact location & details of the individual areas. At present these open spaces are not subject to overlooking from the subject site.

Views and Solar Access
The site predominantly has excellent opportunity for solar access and ventilation, with excellent opportunity for views predominantly to the front of the site, maintaining the rhythm of the surrounding street character of open & spacious front open spaces.

Front Fences
The existing site is aptially fenced at the front boundary, the proposal will remain unfenced to the street, a feature which is not uncommon in the surrounding areas, in particular those that are newly built.

**CITY OF MARIBYRNONG
ADVERTISED PLAN**

MGA 94 ZONE 55



- WARNINGS**
- UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM PLANS SUPPLIED BY THE RELEVANT AUTHORITIES THROUGH THE 'DIAL BEFORE YOU DIG' SERVICE. ACCURATE LOCATION OF SERVICES CAN ONLY BE GUARANTEED BY EXCAVATION. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ASCERTAIN THE POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATION OF ALL SERVICES.
 - DETAILS OF NEIGHBOURING PROPERTIES HAVE BEEN MEASURED FROM WITHIN SUBJECT SITE. THE POSITION OF THESE IS THEREFORE APPROXIMATE. ACCESS TO RELEVANT PROPERTIES WILL NEED TO BE ARRANGED TO PROVIDE ACCURATE DETAIL.

- NOTATIONS**
- COORDINATES ARE ON A LOCAL PLANE DATUM BASED UPON MG84 BEARINGS.
 - LAND IN SURVEY IS SHOWN ENCLOSED WITHIN THICK MAGENTA CONTINUOUS LINES.
 - LEVELS SHOWN ON THIS PLAN ARE IN METRES TO THE AUSTRALIAN HEIGHT DATUM (AHD), DERIVED FROM GPSNET OBSERVATIONS AND COMPARISONS TO CUT-PAW-PAW PM 743 (RL 29.842m) EXTRACTED FROM SMES ON 03/10/2025. PRIME SURVEYING AND LAND DEVELOPMENT CONSULTANTS DOES NOT ACCEPT ANY LIABILITY FOR ANY INACCURACIES OR ERRORS WITHIN SMES DATA.
 - ONLY VISIBLE SERVICES AT SURFACE LEVEL HAVE BEEN LOCATED.
 - ONLY WINDOWS DIRECTLY FACING THE SUBJECT SITE HAVE BEEN LOCATED WHERE PRACTICABLE.
 - ALL PLOTTED EXISTING SERVICES WERE DERIVED FROM INFORMATION PROVIDED BY DIAL BEFORE YOU DIG.
 - ALL DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE AND LINEWORK.
 - SATELLITE IMAGE POSITION APPROXIMATE ONLY. DATE OF IMAGERY: 03/10/2025

LEGEND

	RIVET/NAIL		STAKE
	GAS METER		TITLE PEG
	WATER METER		GAS VALVE
	WATER TAP		DRAINAGE PIPE
	TELECOMM PIT		TELECOMM PILLAR
	ELECTRIC PIT		ELECTRICAL CABINET
	ELECTRIC LIGHT POLE		LETTERBOX
	LIGHT POLE		CLOTHES LINE
	ELECTRIC POLE		FLOOR LEVEL
	SIGN		CLICKABLE 360° PHOTO
	GATE		TITLE BOUNDARY
	SEWER PIT		APPROXIMATE TREE HEIGHT
	INSPECTION SHAFT		OVERHEAD ELECTRICITY LINE
	SEWER STAKE		UNDERGROUND ELECTRICITY LINE
	STOP VALVE		UNDERGROUND GAS LINE
	FIRE HYDRANT		UNDERGROUND TELECOMM LINE
	UTILITY		UNDERGROUND WATER LINE
	UNIDENTIFIED PIT		UNDERGROUND SEWER LINE
	UNIDENTIFIED POLE		UNDERGROUND DRAINAGE LINE

NEIGHBOURHOOD & SITE DESCRIPTION PLAN

WARNING
BEWARE OF UNDERGROUND SERVICES WHEN WORKS ARE DONE ONSITE. THIS SURVEY PLAN DOES NOT SHOW THE POSITION OF UNDERGROUND SERVICES AND NO ATTEMPT HAS BEEN MADE TO VERIFY OR POSITION THE LOCATION OF UNDERGROUND SERVICES IN THE AREA OF SURVEY. IT IS ADVISED THAT BEFORE ANY WORKS ARE PERFORMED ONSITE AN APPLICATION SHOULD BE MADE TO 'DIAL BEFORE YOU DIG' TO REVIEW AND VERIFY UNDERGROUND SERVICES IN THE AREA OF SURVEY. THERE IS NO GUARANTEE THAT ALL SERVICES HAVE BEEN LOCATED BY THIS SURVEY AND SHOWN ON THIS PLAN.

NO.	REVISION	DATE	NO.	REVISION	DATE
RFI	FURTHER INFORMATION REVISIONS	19.01.26	-	-	-
RFI.1	FURTHER INFORMATION REVISIONS	28.01.26	-	-	-

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PROPOSED 2 TOWNHOUSE DEVELOPMENT

**AT : NO. 1 / 3 (LOT.1)
KATHLEEN STREET,
WEST FOOTSCRAY.**

FOR : T & D SAWAN

Designed : J.C.	Drawn : J.C.	Checked : J.C.
Drawing Scale:	1:100	
Date of Issue:	NOVEMBER, 2025	
Job No.	Sheet No.	Revision:
25-915	TP01	RFI.1



	GROUND FLOOR	FIRST FLOOR	PORCH	CARSPACE	DECKING	SPOS	TOTAL BLDG AREA	CARSACES
UNIT 1-PROPOSED	76.63m ²	55.73m ²	0.00m ²	19.92m ²	-	25.00m ²	132.36m ²	1
UNIT 2-PROPOSED	70.48m ²	68.33m ²	0.00m ²	19.92m ²	-	26.00m ²	138.81m ²	1
TOTAL	147.11m ²	124.06m ²	00.00m ²	39.94m ²	-	51.00m ²	271.17m ²	2
PRE SITE BOUNDARY RE-ALIGNMENT CALCULATIONS								
EXIST. SITE AREA	285.80m ²	SITE COVERAGE	158.00m ² / 55.28%	PERMABLE AREA	101.33m ² / 35.93%			
POST SITE BOUNDARY RE-ALIGNMENT CALCULATIONS								
PROPOSED SITE AREA	281.90m ²	SITE COVERAGE	158.00m ² / 56.05%	PERMABLE AREA	93.80m ² / 33.27%			

LEGEND

	GAS METER
	WATER METER
	HOT WATER SERVICE
	ELEC. SWITCH BOARDS (ALL ELECTRICITY COMPANY CONNECTIONS ARE TO BE VIA UNDERGROUND SUPPLY)
	RUBBISH BIN
	RECYCLE BIN

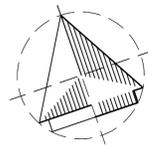
BOUNDARY FENCE NOTE:
WHERE EXIST. BOUNDARY FENCES ARE NOT ALREADY AT 1.8m HIGH, THE DEVELOPER SHALL (AT THEIR SOLE COST) ENSURE THAT BOUNDARY FENCES ARE INCREASED TO A MIN. 1.8m HIGH TO ACHIEVE COMPLIANCE.

CLS. 5204-9 PEDESTRIAN VISIBILITY SPLAYS:
HATCHED AREA DENOTES 2.0m x 2.5m SPLAY ALONG PROPERTY BOUNDARY & DRIVEWAY ALIGNMENT. ALL STRUCTURE B/LOR VEGETATION WITHIN THIS ZONE IS TO BE NO HIGHER THAN 1.2m HIGH, WITH THE EXCEPTION OF THE FRONT BOUNDARY FENCE.

LANDSCAPE RECOMMENDATIONS:
THE DEVELOPER SHALL PROVIDE A LANDSCAPE PLAN TO ACCOMPANY THIS DEVELOPMENT. THE LANDSCAPE PLAN SHALL BE PREPARED BY A QUALIFIED LANDSCAPE ARCHITECT AND SHALL INCLUDE THE FOLLOWING:
1. A LANDSCAPE PLAN TO ACCOMPANY THIS DEVELOPMENT.
2. A LANDSCAPE PLAN TO ACCOMPANY THIS DEVELOPMENT.
3. A LANDSCAPE PLAN TO ACCOMPANY THIS DEVELOPMENT.

TREE PROTECTION:
THE DEVELOPER SHALL PROVIDE A TREE PROTECTION PLAN TO ACCOMPANY THIS DEVELOPMENT. THE TREE PROTECTION PLAN SHALL BE PREPARED BY A QUALIFIED ARBORIST AND SHALL INCLUDE THE FOLLOWING:
1. A TREE PROTECTION PLAN TO ACCOMPANY THIS DEVELOPMENT.
2. A TREE PROTECTION PLAN TO ACCOMPANY THIS DEVELOPMENT.
3. A TREE PROTECTION PLAN TO ACCOMPANY THIS DEVELOPMENT.

SITE / GROUND FLOOR PLAN



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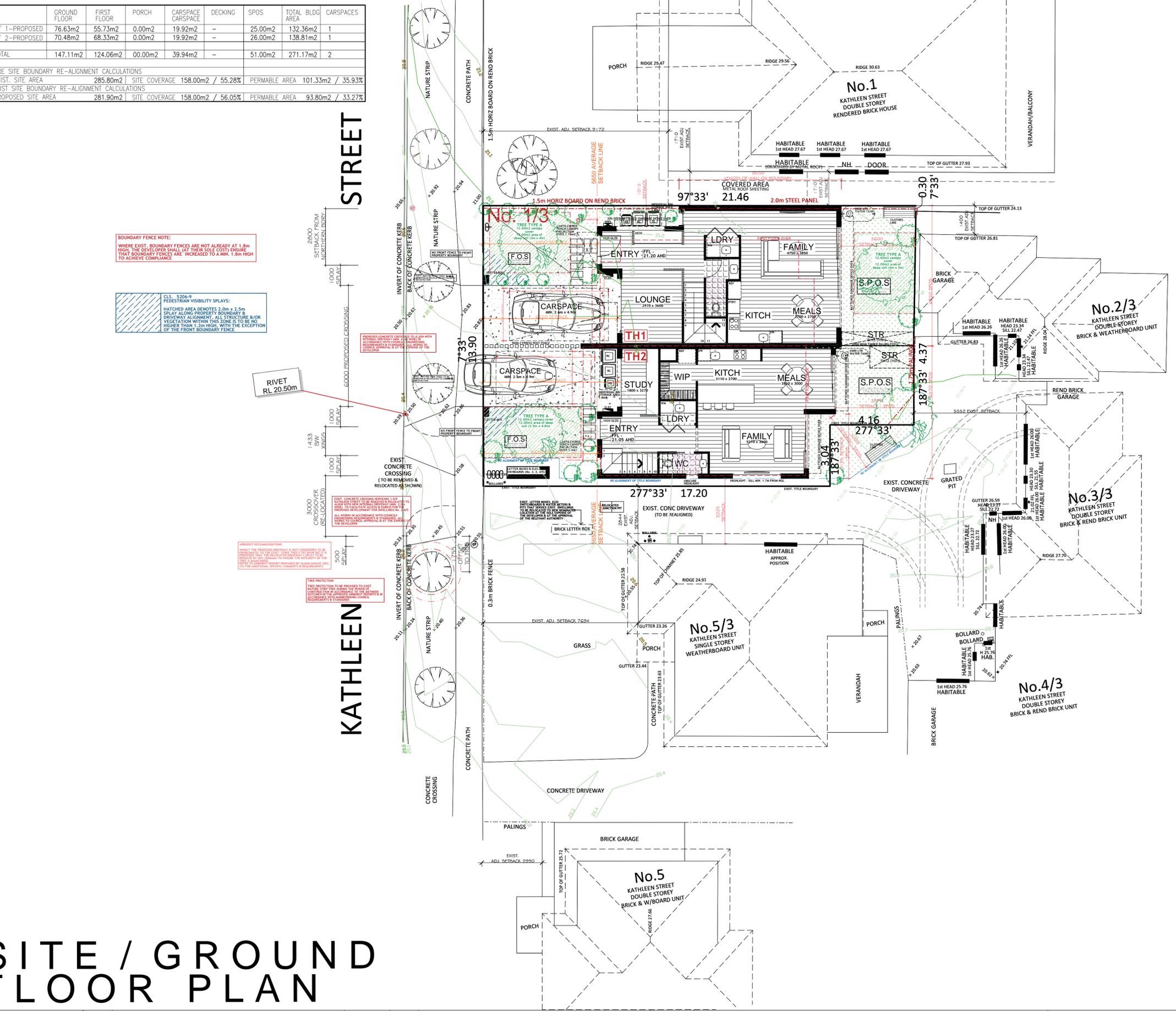
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STREET

KATHLEEN

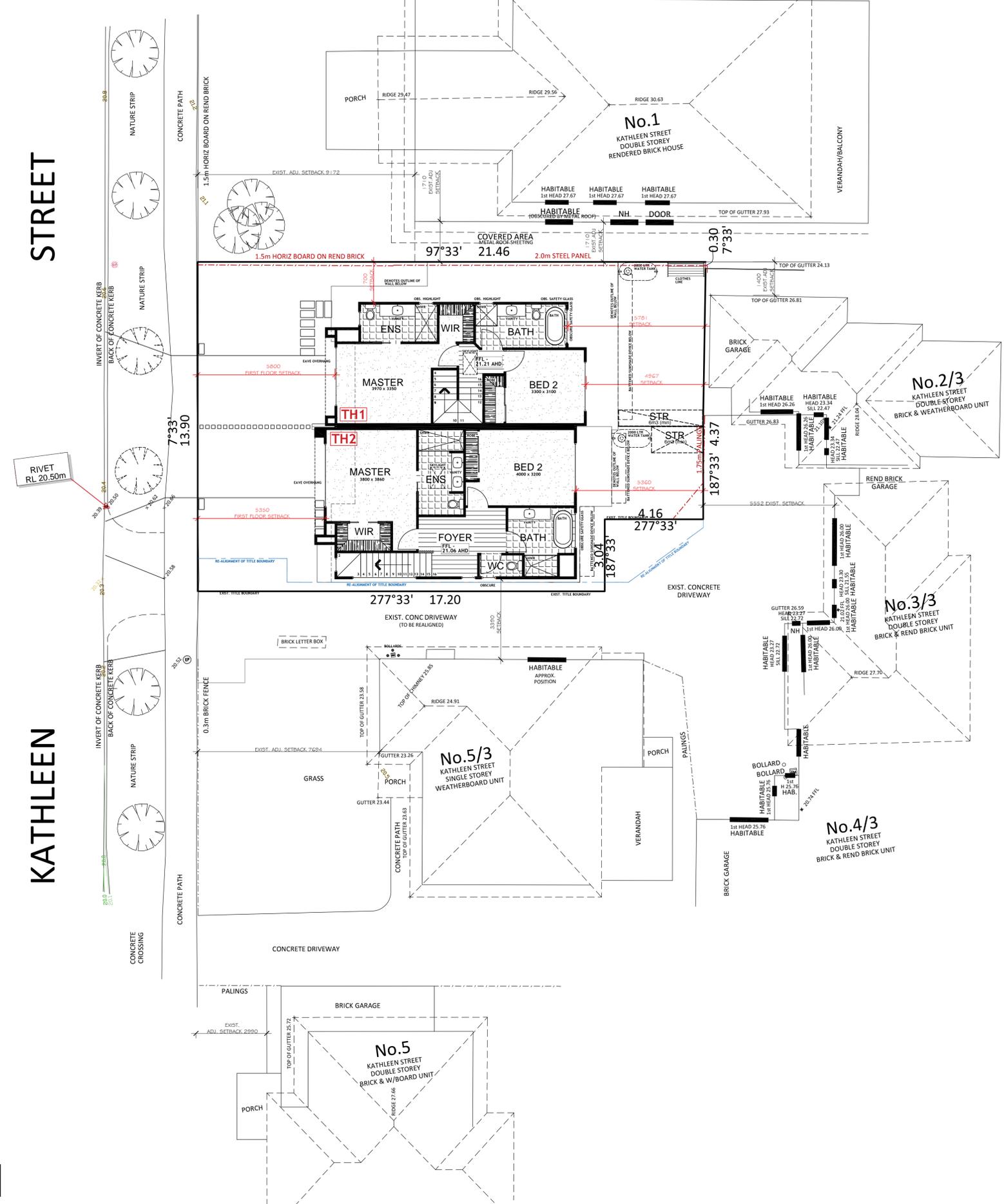


**CITY OF MARIBYRNONG
ADVERTISED PLAN**

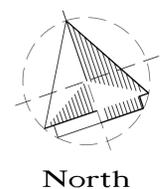
**CITY OF MARIBYRNONG
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STREET

KATHLEEN



FIRST FLOOR PLAN



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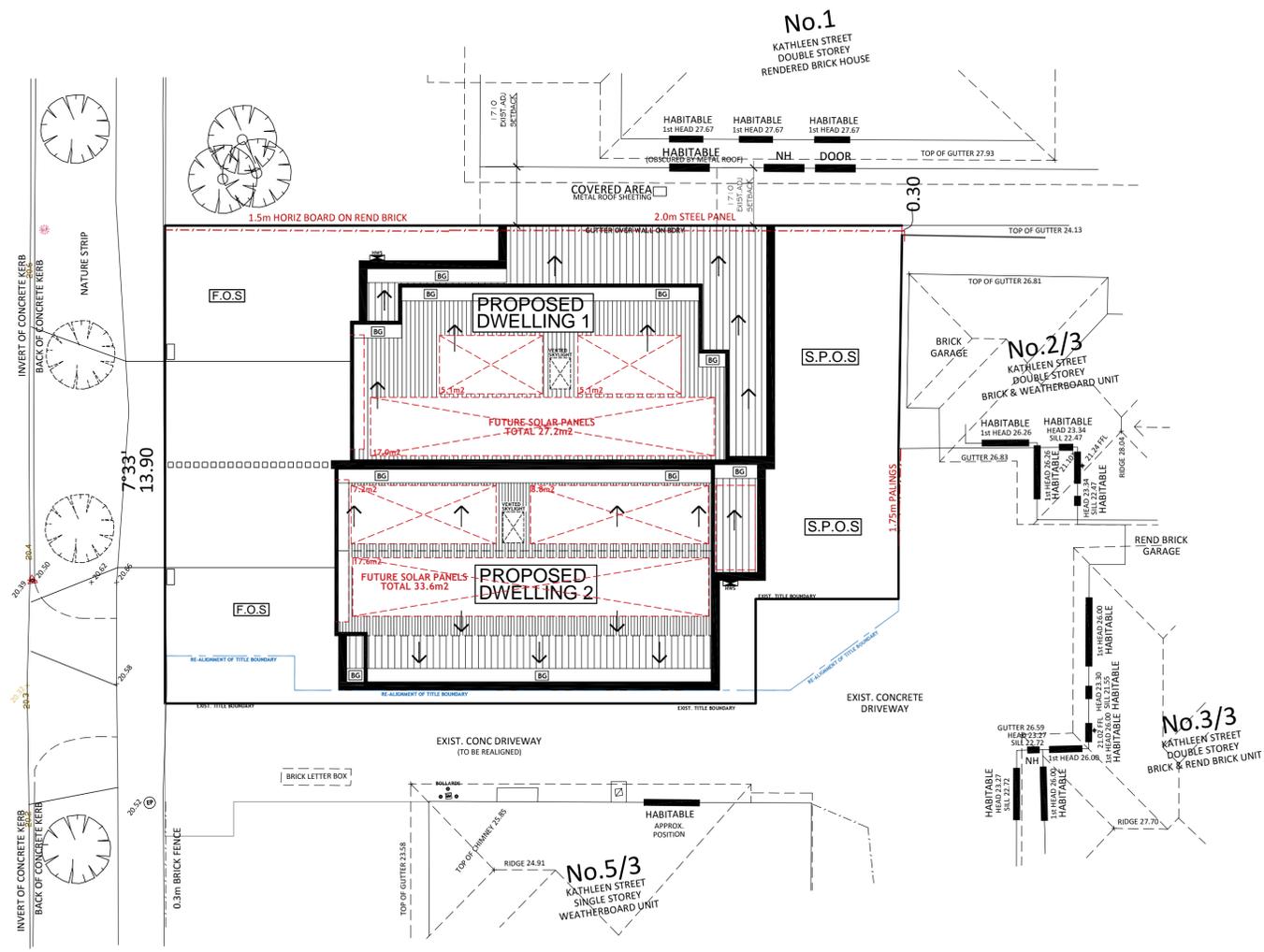
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STREET

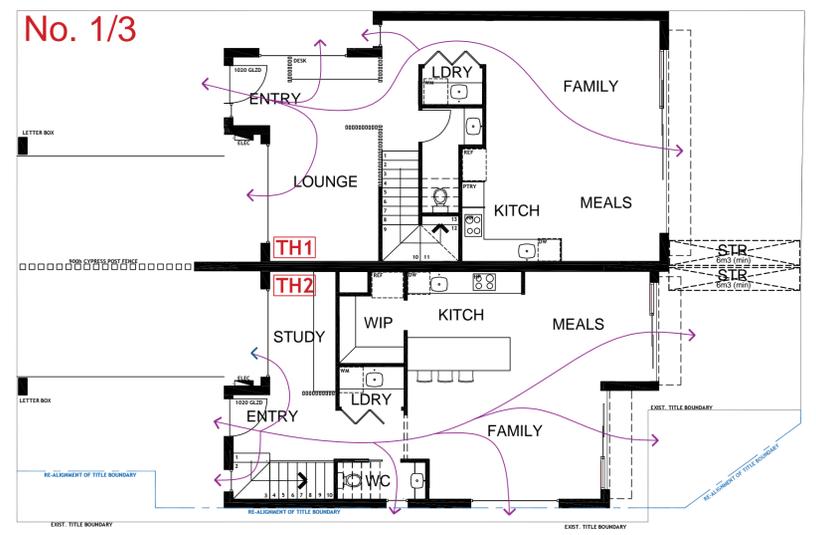
KATHLEEN



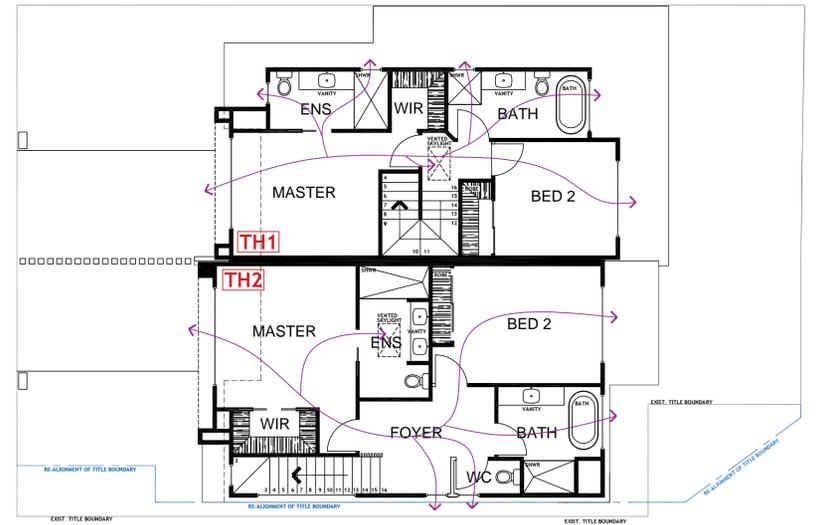
ROOF PLAN

LEGEND

- PROPOSED FUTURE SOLAR PANEL LOCATION
- METAL ROOF SHEET @ 2° PITCH - GROUND REFER TO ELEVATIONS & SCHEDULE OF FINISHES FOR ADDITIONAL SPECIFIC DETAILS
- METAL ROOF SHEET @ 2° PITCH - FIRST FLOOR REFER TO ELEVATIONS & SCHEDULE OF FINISHES FOR ADDITIONAL SPECIFIC DETAILS
- METAL ROOF SHEET @ 2° PITCH - SECOND FLOOR REFER TO ELEVATIONS & SCHEDULE OF FINISHES FOR ADDITIONAL SPECIFIC DETAILS
- MIN. 400w BOX GUTTER

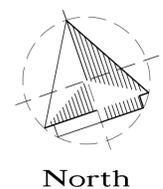


**BREEZE PATHS
(GROUND FLOOR)**



**BREEZE PATHS
(FIRST FLOOR)**

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ELEVATIONS

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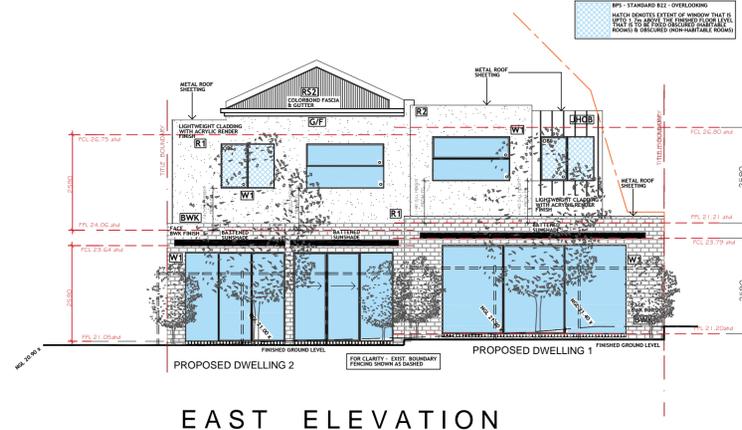
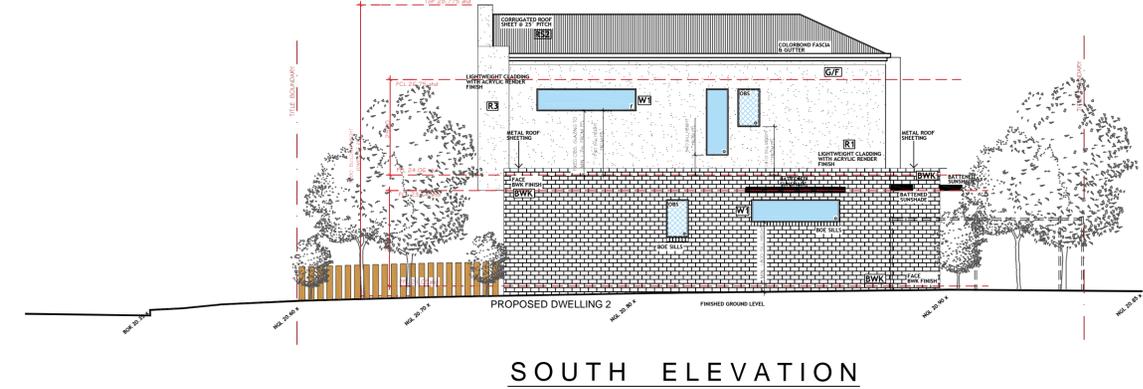
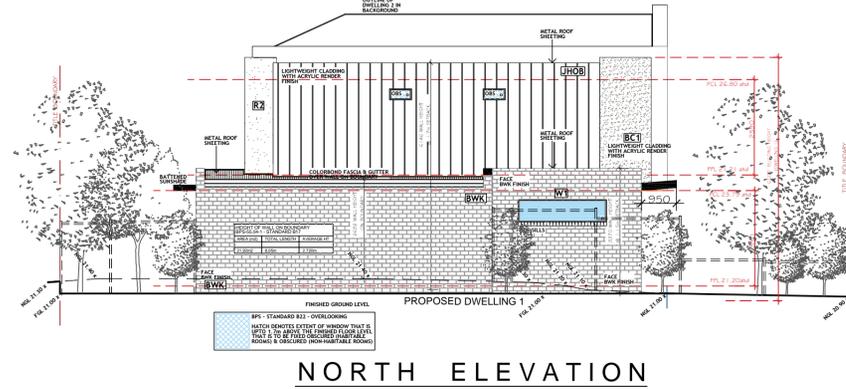
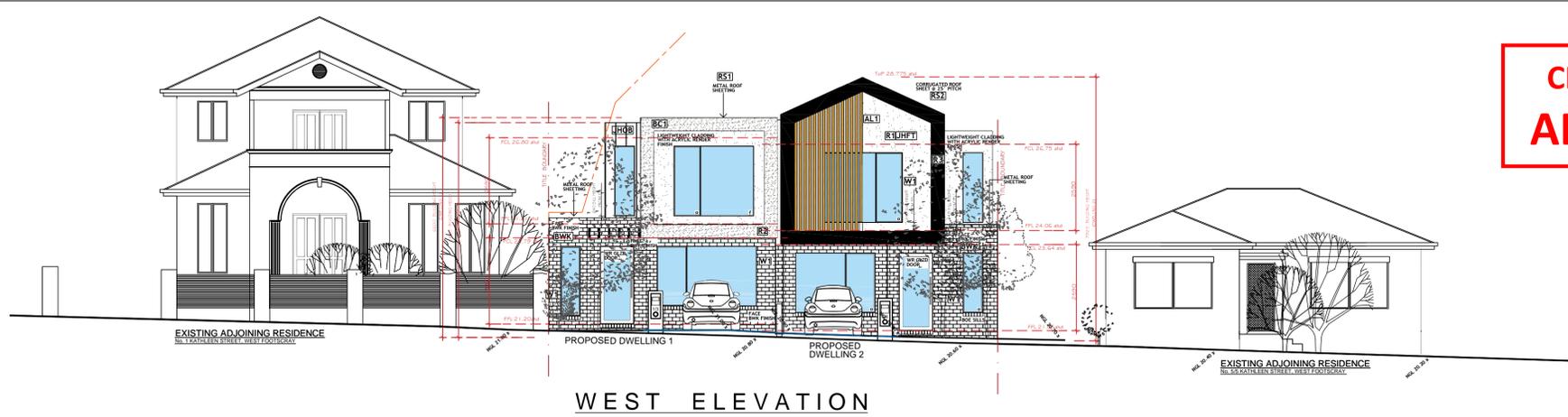
**CITY OF MARIBYRNONG
ADVERTISED PLAN**

MATERIALS/ COLOUR / FINISHES SCHEDULE		
3 KATHLEEN STREET, FOOTSCRAY WEST		
ITEM / DESCRIPTION	COLOUR	NOTES
B1. PRIMARY BRICKWORK	INDUSTRIAL CHAR	AUSTRAL BRICKS
JHFT. JAMES HARDIE FINE TEXTURE CLADDING		
JHBC. JAMES HARDIE BRUSHED CONCRETE CLADDING		
JHOB. JAMES HARDIE OBLIQUE CLADDING		
RS1. METAL KUP LOK ROOF SHEET	GALVANISED	LYSAUGHT
RS2. METAL CORRUGATED ROOF SHEET	MONUMENT	LYSAUGHT
R1. REFER TO PLAN FOR LOCATION	DULUX LEXICON	DULUX
R2. REFER TO PLAN FOR LOCATION	DULUX TIMELESS GREY	DULUX
R3. REFER TO PLAN FOR LOCATION	DULUX WESTERN MYALL	DULUX
AB1. ALUMINIUM FEATURE BATTEN TIMBER LOOK	CURLY BIRCH	DECOBATTEN
WD1. ALUMINIUM WINDOWS & DOOR	MONUMENT	COLORBOND
DW. DRIVEWAY EXPOSED AGGREGATE	OC75	OUTVEST CONCRETE
GE. GUTTER & FASCIA	MONUMENT	COLORBOND

Summary of Initiatives

Initiatives listed below should be reflected on TP drawings either graphically on the plan (e.g. bike spaces, RWT etc.) or with a clear note. All WSUD initiatives listed in the report should be clearly noted on drawings including all areas diverting to the proposed treatment (e.g. RWT, raingarden etc.).

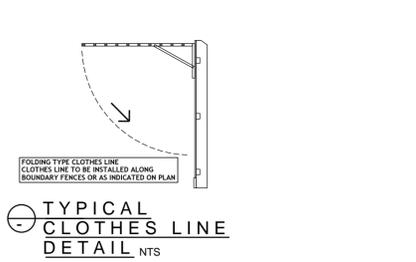
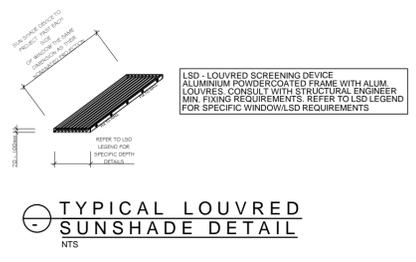
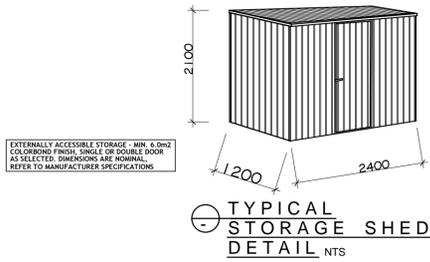
Category	Requirement
Stormwater	2,000L tanks for each unit collecting water from part of the roof of each unit – Water to be used for toilet flushing and laundry – Cutter guard, first-flush and filter installed for laundry reuse



THIS DEVELOPMENT IS TO ACHIEVE A MIN. 7.0 STARS THERMAL RATING

ALL WINDOWS & SKYLIGHTS (WHERE APPLICABLE) ARE TO BE MIN. DOUBLE GLAZED

ALL WINDOWS ARE TO BE LOCKED IN AN OPEN POSITION SO AS TO HAVE THE ABILITY TO PROVIDE CROSS FLOW VENTILATION IN A SECURE MANNER, IN ACCORDANCE WITH THE ESD CONSULTANTS REPORTS



NOTE: LOW EMISSION PAINTS & SEALANTS WILL BE USED ON 95% OF INTERNAL & EXTERNAL PAINTED SURFACES (WHERE POSSIBLE & FEASIBLE)

NOTE: A REMOTE OPENING GARAGE DOOR MUST BE PROVIDED TO EACH DWELLING

NOTE: THE LOCATION OF ALL SERVICE METERS ARE TO GENERALLY BE LOCATED IN THE FRONT OF EACH DWELLING

ELECTRICITY CONNECTION NOTE: ALL ELEC. COMPANY CONNECTIONS TO THE PROPOSED DWELLINGS ARE TO BE PROVIDED AS UNDERGROUND SERVICES

CIVIL NOTE: ALL STORMWATER INFRASTRUCTURE IS TO BE LOCATED WITHIN DRIVEWAYS & NOT IN AREAS SET ASIDE FOR LANDSCAPING.

SOLAR HOT WATER NOTE: THE DEVELOPMENT WILL INCORPORATE THE USE OF SOLAR PANEL HW SYSTEMS IN ACCORDANCE WITH NATHERS REQUIREMENTS

PLANT & EQUIPMENT NOTE: THE POSITIONING OF ALL PLANT & EQUIPMENT (INCL. A/C, HEATING UNITS & HOT WATER SYSTEMS ETC) WHICH ARE PROPOSED TO BE LOCATED EXTERNALLY, MUST BE POSITIONED TO PREVENT UNREASONABLE NOISE & VISUAL IMPACT.

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North

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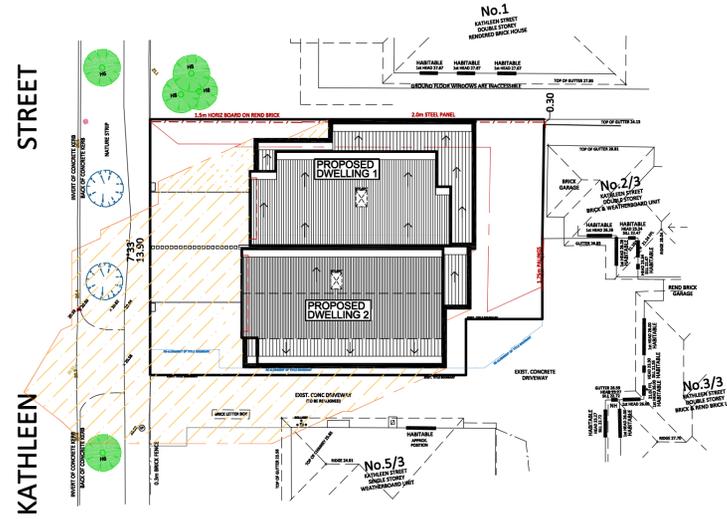
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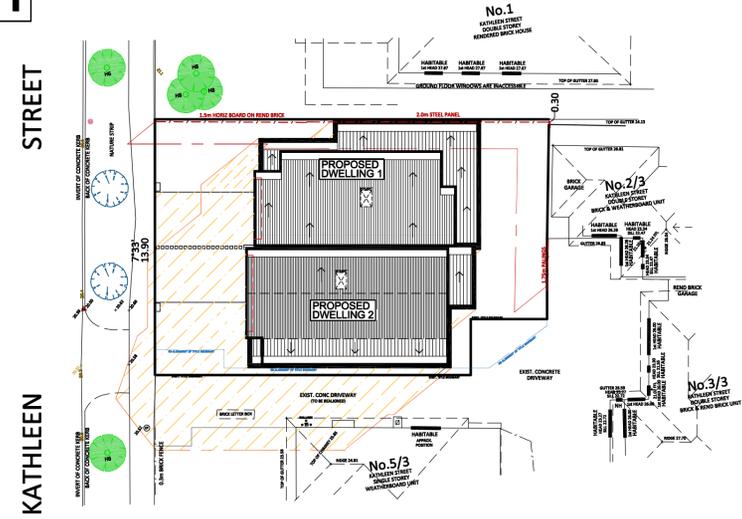
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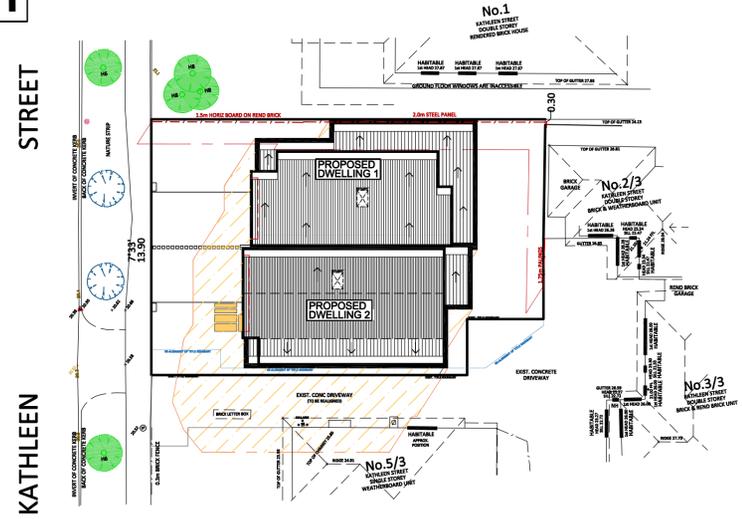
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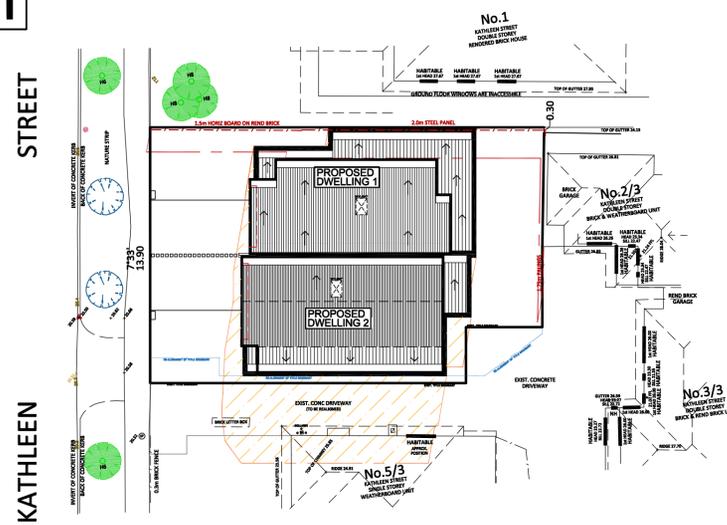
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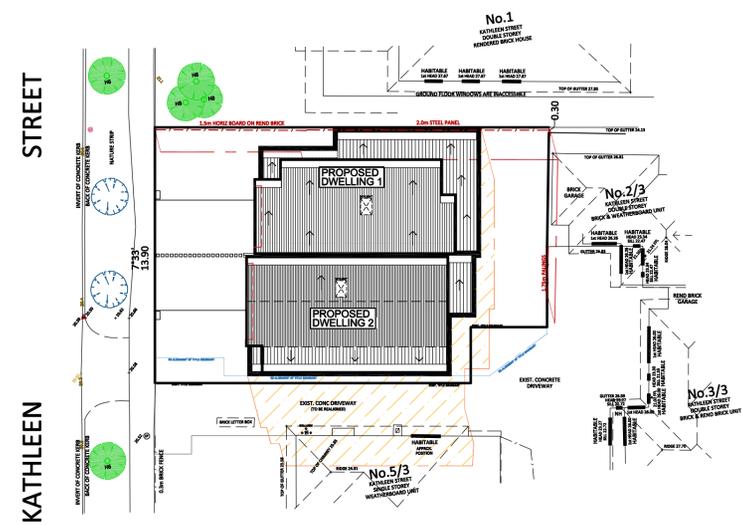
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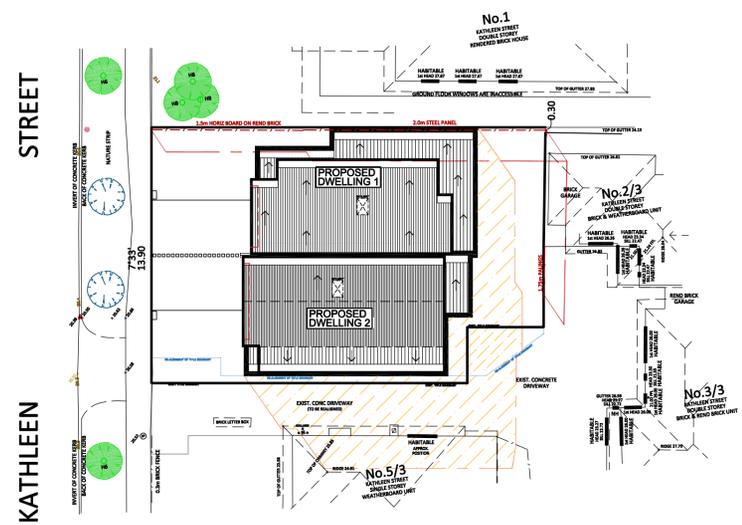
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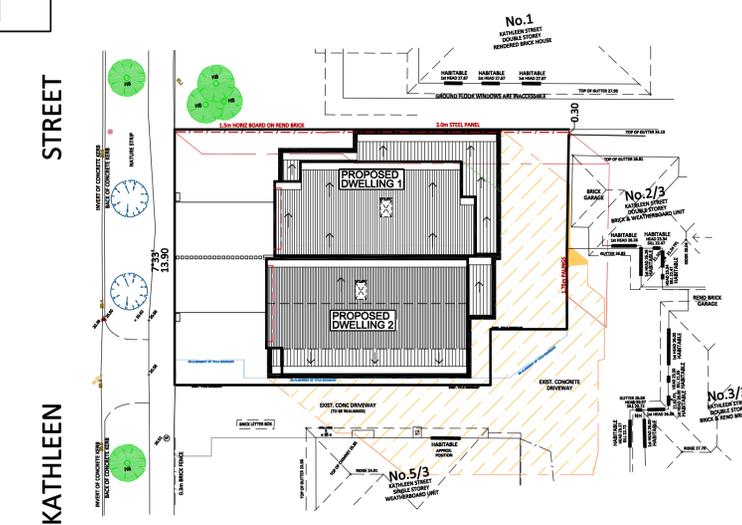


2pm



**CITY OF MARIBYRNONG
ADVERTISED PLAN**

3pm



LEGEND

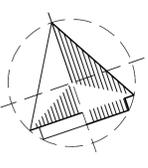
DENOTES MAXIMUM SHADOW CAST FROM PROPOSED RESIDENCES (GROUND & FIRST FLOOR EXTENT) ON THE SEPTEMBER EQUINOX DURING THE HOURS DENOTED

DENOTES SHADOW CAST FROM EXIST. ADJ. RESIDENCE ON THE SEPTEMBER EQUINOX DURING THE HOURS DENOTED

ANY DISCREPANCIES THAT OCCUR ON THESE DOCUMENTS SHALL BE REPORTED TO DESIGNS PLUS ARCHITECTURAL DRAFTING P/L IMMEDIATELY FOR CLARIFICATION &/OR RECTIFICATION. IF IN DOUBT PLEASE JUST ASK.

SHADOW DIAGRAMS

SEPTEMBER 22 (EQUINOX)



NO.	REVISION	DATE	NO.	REVISION	DATE
RFI	FURTHER INFORMATION REVISIONS	19.01.26	-	-	-
RFI.1	FURTHER INFORMATION REVISIONS	28.01.26	-	-	-

DESIGNS PLUS
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PROPOSED 2 TOWNHOUSE DEVELOPMENT

**AT : NO. 1 / 3 (LOT.1)
KATHLEEN STREET,
WEST FOOTSCRAY.**

FOR : T & D SAWAN

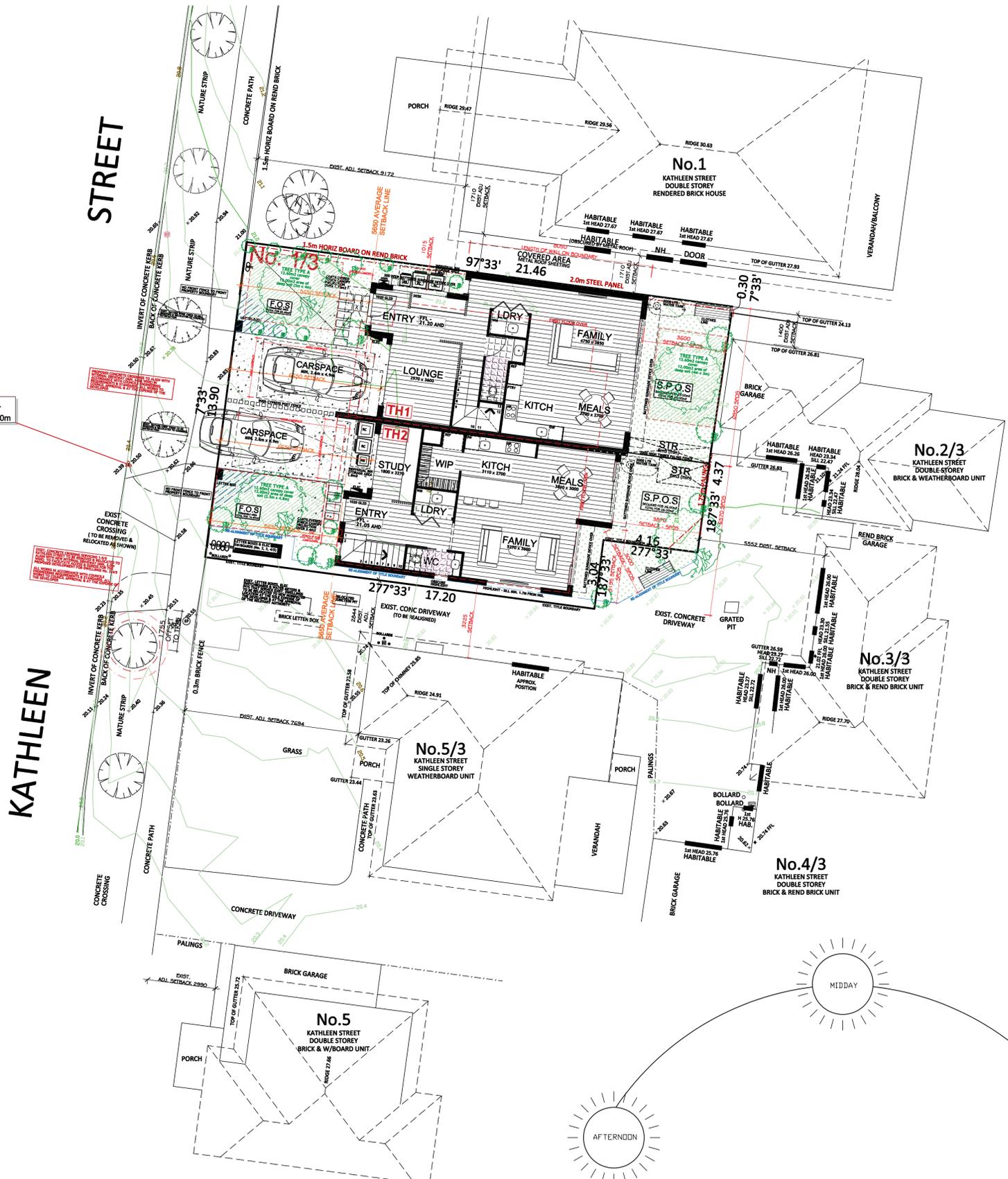
Designed : J.C.	Drawn : J.C.	Checked : J.C.
Drawing Scale:	1:100	
Date of Issue:	NOVEMBER, 2025	
Job No.	Sheet No.	Revision:
25-915	TP06	RFI.1

Note – Although every endeavour has been made to provide correct dimensions & details of adjoining properties it is a policy of Designs Plus Architectural Drafting and It's consultants that it shall not trespass onto properties unless express written consent is provided. Where consent is not given estimates are provided.

DESIGN RESPONSE

- Maintains the rhythm of articulation from the street setbacks & building styles with the surrounding area. The proposed Development's setback & built form maintains the generous front open space area in front of the dwellings that will provide ample opportunity for meaningful landscaping which shall include Canopy Trees, to maintain the garden style setting of the immediate area.
- Encourages interaction between the new development and the street.
-Maintain consistent orientation with adjoining neighbours.
- There is a transition in height consistent with the area which adds aesthetic value and provides articulation to the site.
- Kathleen & surrounding streets are not cohesive streetscapes, they contain a number of building types and styles of various with controls as well as single storey and two storey buildings nearby. The proposal is a form of development that fits in well with diverse surrounding streetscapes, housing styles & built forms. The proposed front ground floor setbacks of 5.65m to the respective dwellings, maintains the streetscape setback pattern, whilst a side setback to dwelling 1 of 1.0m (part of the side boundary) has been provided to also maintain appropriate setback patterns of the surrounding streetscape.
- The distinctive facades of each dwelling & provides interesting facades to reinforce the street rhythm and form. The detached form is provided by increased façade articulation an interpretation & reflect the surrounding dwellings double & triple frontages.
- The layout ensures that:
 - A safe, attractive, and functional setting is provided for future residences.
 - A sense of space and address is provided for each dwelling
 - Vehicles can enter and exit the site safely.
- Open space areas with sufficient setbacks to allow for solar access from the north orientation.
- It is not proposed to fence the front boundary maintaining a visual connection & allowing the front open spaces to be visually connected with the public realm.

RIVET
RL 20.50m



**CITY OF MARIBYRNONG
ADVERTISED PLAN**

MGA 94 ZONE 55

WARNINGS

- UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM PLANS SUPPLIED BY THE RELEVANT AUTHORITIES THROUGH THE "DIAL BEFORE YOU DIG" SERVICE. ACCURATE LOCATION OF SERVICES CAN ONLY BE GUARANTEED BY EXCAVATION. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ASCERTAIN THE POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATION OF ALL SERVICES.
- DETAILS OF NEIGHBOURING PROPERTIES HAVE BEEN MEASURED FROM WITHIN SUBJECT SITE. THE POSITION OF THESE IS THEREFORE APPROXIMATE. ACCESS TO RELEVANT PROPERTIES WILL NEED TO BE ARRANGED TO PROVIDE ACCURATE DETAIL.

NOTATIONS

- COORDINATES ARE ON A LOCAL PLANE DATUM BASED UPON MGA94 BEARINGS.
- LAND IN SURVEY IS SHOWN ENCLOSED WITHIN THICK MAGENTA CONTINUOUS LINES.
- LEVELS SHOWN ON THIS PLAN ARE IN METRES TO THE AUSTRALIAN HEIGHT DATUM (AHD), DERIVED FROM GPSNET OBSERVATIONS AND COMPARISONS TO CUT-PAV-PAV PM 743 (RL 29.842m) EXTRACTED FROM SMES ON 03/10/2025. PRIME SURVEYING AND LAND DEVELOPMENT CONSULTANTS DOES NOT ACCEPT ANY LIABILITY FOR ANY INACCURACIES OR ERRORS WITHIN SMES DATA.
- ONLY VISIBLE SERVICES AT SURFACE LEVEL HAVE BEEN LOCATED.
- ONLY WINDOWS DIRECTLY FACING THE SUBJECT SITE HAVE BEEN LOCATED WHERE PRACTICABLE.
- ALL PLOTTED EXISTING SERVICES WERE DERIVED FROM INFORMATION PROVIDED BY DIAL BEFORE YOU DIG.
- ALL DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE AND LINEWORK.
- SATELLITE IMAGE POSITION APPROXIMATE ONLY. DATE OF IMAGERY: 03/10/2025

LEGEND	
	RIVET/NAIL
	GAS METER
	WATER METER
	WATER TAP
	TELECOMM PIT
	ELECTRIC PIT
	ELECTRIC LIGHT POLE
	LIGHT POLE
	ELECTRIC POLE
	SIGN
	GATE
	SEWER PIT
	INSPECTION SHAFT
	SEWER STAKE
	STOP VALVE
	FIRE HYDRANT
	UNIDENTIFIED UTILITY
	UNIDENTIFIED PIT
	UNIDENTIFIED POLE
	STAKE PEG
	TITLE PEG
	GAS VALVE
	DRAINAGE PIPE
	TELECOMM PILLAR
	ELECTRICAL CABINET
	LETTERBOX
	CLOTHES LINE
	FLOOR LEVEL
	CLICKABLE 360° PHOTO
	TITLE BOUNDARY
	APPROXIMATE TREE HEIGHT
	OVERHEAD ELECTRICITY LINE
	UNDERGROUND ELECTRICITY LINE
	UNDERGROUND GAS LINE
	UNDERGROUND TELECOMM LINE
	UNDERGROUND WATER LINE
	UNDERGROUND SEWER LINE
	UNDERGROUND DRAINAGE LINE

WARNING
BEWARE OF UNDERGROUND SERVICES WHEN WORKS ARE DONE ONSITE. THIS SURVEY PLAN DOES NOT SHOW THE POSITION OF UNDERGROUND SERVICES AND NO ATTEMPT HAS BEEN MADE TO VERIFY OR POSITION THE LOCATION OF UNDERGROUND SERVICES IN THE AREA OF SURVEY. IT IS ADVISED THAT BEFORE ANY WORKS ARE PERFORMED ONSITE AN APPLICATION SHOULD BE MADE TO "DIAL BEFORE YOU DIG" TO REVIEW AND VERIFY UNDERGROUND SERVICES IN THE AREA OF SURVEY. THERE IS NO GUARANTEE THAT ALL SERVICES HAVE BEEN LOCATED BY THIS SURVEY AND SHOWN ON THIS PLAN.

DESIGN RESPONSE PLAN

NO.	REVISION	DATE	NO.	REVISION	DATE
RFI	FURTHER INFORMATION REVISIONS	19.01.26	-	-	-
RFL1	FURTHER INFORMATION REVISIONS	28.01.26	-	-	-

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PROPOSED 2 TOWNHOUSE DEVELOPMENT
AT : NO. 1 / 3 (LOT.1) KATHLEEN STREET, WEST FOOTSCRAY.
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