

PROPOSED DUAL OCCUPANCY
No. 13 MARSH STREET, MAIDSTONE
FOR: VV CONSTRUCTIONS

CITY OF MARIBYRNONG
ADVERTISED PLAN

1 OF 4	PROPOSED SITE & GROUND FLOOR PLANS
2 OF 4	PROPOSED SITE & FIRST FLOOR PLANS
3 OF 4	PROPOSED ELEVATIONS AND COLOUR & MATERIAL SCHEDULE
4 OF 4	GARDEN AREA & STORMWATER ASSESSMENT PLANS
P1 OF P1	3D PERSPECTIVES
S1 OF S1	SHADOW DIAGRAMS AND STREETScape
D1 OF D2	SITE ANALYSIS
D2 OF D2	DESIGN RESPONSE
L1 OF L2	LANDSCAPE PLANS
L2 OF L2	PLANTING SCHEDULE

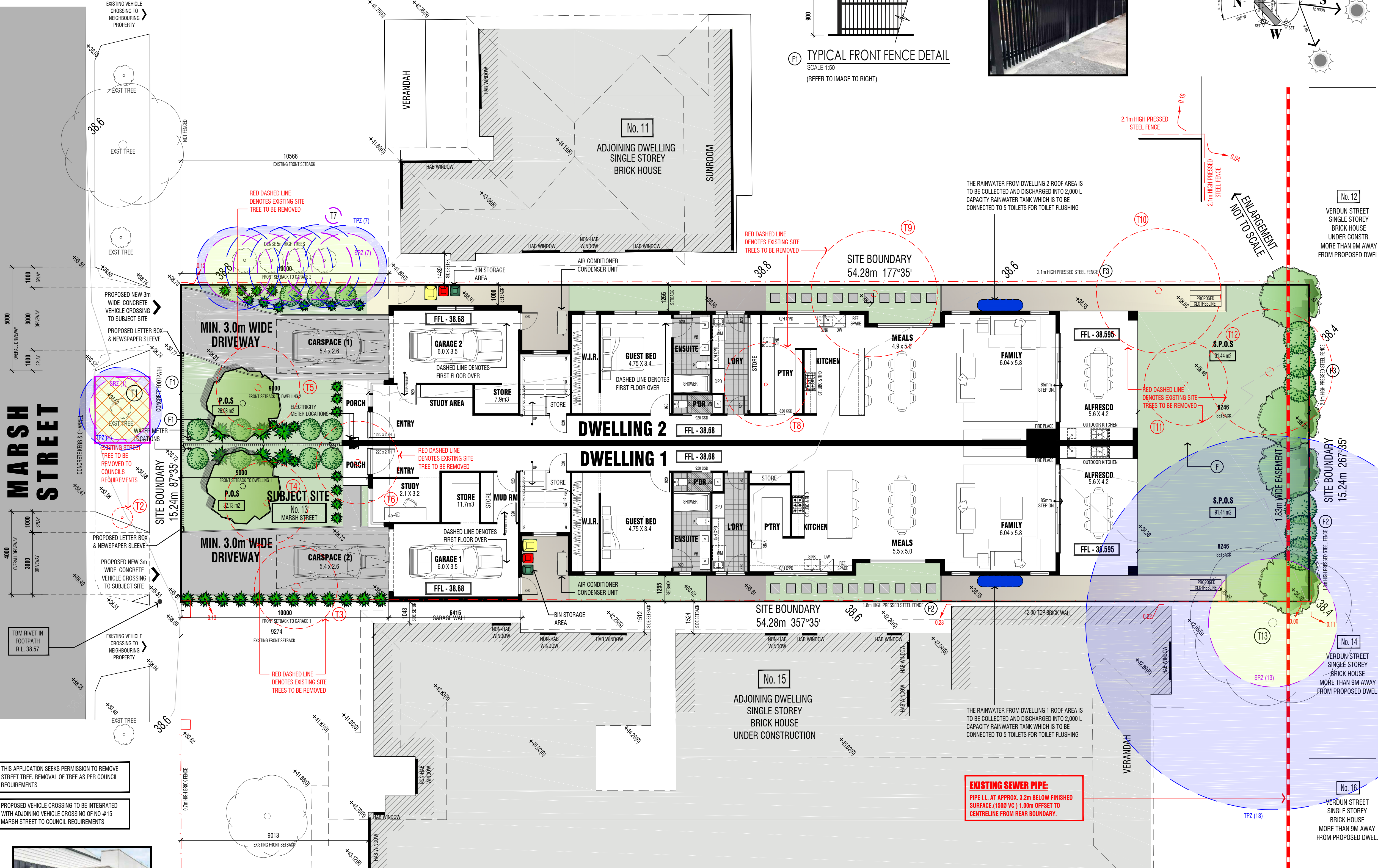


3D FACADE PERSPECTIVE

(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE

SITE AND GROUND FLOOR PLANS

SCALE 1:100



THIS APPLICATION SEEKS PERMISSION TO REMOVE STREET TREE. REMOVAL OF TREE AS PER COUNCIL REQUIREMENTS

PROPOSED VEHICLE CROSSING TO BE INTEGRATED WITH ADJOINING VEHICLE CROSSING OF NO #15 MARSH STREET TO COUNCIL REQUIREMENTS



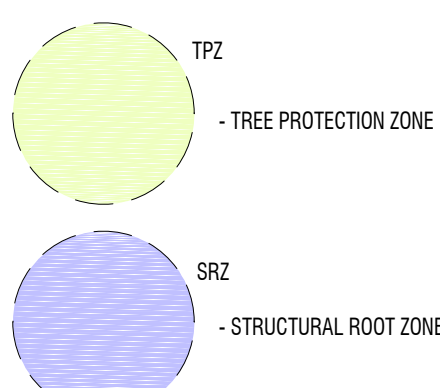
RETRACTABLE CLOTHES LINE DETAIL

SCALE 1:50

PROTECTIVE FENCING:

FENCING SHOULD BE ERECTED BEFORE ANY MACHINERY OR MATERIALS ARE BROUGHT ONTO THE SITE AND BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION, ONCE ERECTED, PROTECTIVE FENCING MUST NOT BE REMOVED OR ALTERED WITHOUT APPROVAL BY THE PROJECT ARBORIST. THE TPZ SHOULD BE SECURED TO RESTRICT ACCESS.

LANDSCAPE LEGEND:



T1

- TREE NUMBERS IN ACCORDANCE WITH THE ARBORIST TABLE

- TPZ FENCE

- TPZ 'NO GO ZONE'

TREE PROTECTION DURING CONSTRUCTION

THE FOLLOWING ARE GUIDELINES THAT MUST BE IMPLEMENTED DURING EXCAVATION, CONSTRUCTION AND LANDSCAPING TO MINIMISE THE IMPACT OF WORKS ON RETAINED TREES.

THE RETAINED TREE PROTECTION ZONE (TPZ) OF ALL RETAINED TREES IS FENCED AND CLEARLY MARKED AT ALL TIMES. FENCING SHOULD GENERALLY BE COMPLIANT WITH THE SPECIFICATIONS AS CONTAINED WITHIN SECTION 4.4 OF AS4970 AND WHERE FENCING IS NOT PRACTICABLE SUITABLY GROUND PROTECTION IS INSTALLED. THIS FENCE WILL DETER THE PLACEMENT OF BUILDING MATERIALS, ENTRY OF HEAVY EQUIPMENT AND VEHICLES AND ALSO THE ENTRY OF WORKERS AND/OR THE PUBLIC INTO THE TPZ.

IF REQUIRED THE CONSULTANT ARBORIST IS TO BE ON-SITE TO SUPERVISE EXCAVATION WORKS AROUND ANY RETAINED TREES WHERE THE TPZ WILL BE ENCROACHED.

NO PERSONS, VEHICLES OR MACHINERY TO ENTER THE TPZ WITHOUT THE CONSENT OF THE CONSULTING ARBORIST OR SITE MANAGER.

ANY UNDERGROUND SERVICE INSTALLATIONS WITHIN THE TPZ SHOULD BE BORED AND UTILITY AUTHORITIES SHOULD COMMON TRENCH WHERE POSSIBLE.

NO FUEL, OIL DUMPS OR CHEMICALS SHALL BE ALLOWED IN OR STORED ON THE TPZ AND THE SERVICING AND RE-FUELLING OF EQUIPMENT AND VEHICLES SHOULD BE CARRIED OUT AWAY FROM THE ROOT ZONES.

NO STORAGE OF MATERIAL, EQUIPMENT OR TEMPORARY BUILDING SHOULD TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.

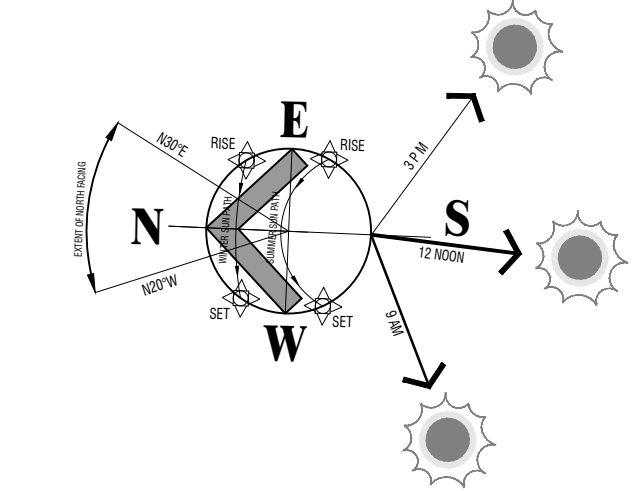
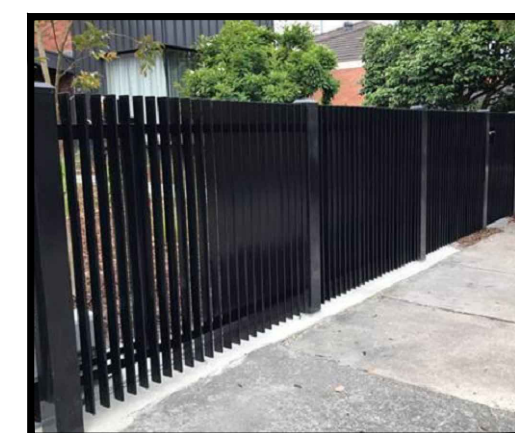
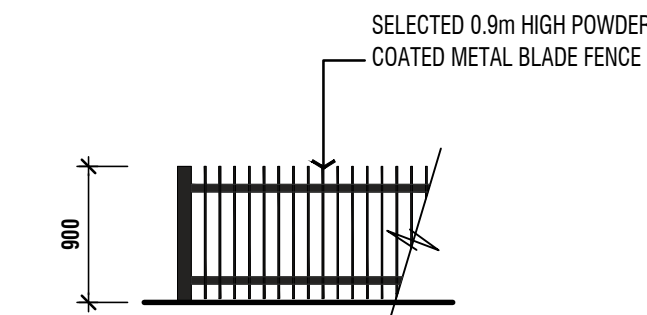
NOTHING WHATSOEVER SHOULD BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE.

SUPPLEMENTARY WATERING SHOULD BE PROVIDED TO ALL TREES THROUGH ANY DRY PERIODS DURING AND AFTER THE CONSTRUCTION PROCESS. TESTING WITH A SOIL PROBE IN A NUMBER OF LOCATIONS AROUND THE TREE WILL HELP ASCERTAIN SOIL MOISTURE LEVELS AND REQUIREMENTS TO IRRIGATE. WATER NEEDS TO BE APPLIED SLOWLY TO AVOID RUNOFF. A DAILY WATERING WITH 5 LITRES OF WATER FOR EVERY 30 MM OF TRUNK CALIPER MAY PROVIDE THE MOST EVEN SOIL MOISTURE LEVEL FOR ROOTS (WATSON & HEMELICK, 1997). IRRIGATION SHOULD WET THE ENTIRE ROOT ZONE AND BE ALLOWED TO DRY OUT PRIOR TO ANOTHER APPLICATION. WATERING SHOULD CONTINUE FROM NOVEMBER UNTIL APRIL.

TYPICAL FRONT FENCE DETAIL

SCALE 1:50

(REFER TO IMAGE TO RIGHT)



FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1

GROUND FLOOR: 181.58 msq / 19.55 SQ's
FIRST FLOOR: 179.28 msq / 19.29 SQ's
GARAGE (1): 29.34 msq / 3.16 SQ's
ALFRESCO: 23.90 msq / 2.57 SQ's
PORCH: 2.45 msq / 0.26 SQ's

TOTAL: 416.55 msq / 44.84 SQ's

FRONT YARD - P.O.S.: 32.13 msq
S.P.O.S.: 91.44 msq

DWELLING 2

GROUND FLOOR: 176.17 msq / 18.96 SQ's
FIRST FLOOR: 179.37 msq / 19.31 SQ's
GARAGE (2): 27.69 msq / 2.98 SQ's
ALFRESCO: 23.90 msq / 2.57 SQ's
PORCH: 3.65 msq / 0.39 SQ's

TOTAL: 410.78 msq / 44.21 SQ's

FRONT YARD - P.O.S.: 26.98 msq
S.P.O.S.: 91.44 msq

SITE AREA: 827.00 msq.

% LAND COVERAGE WITH O/H: 468.68 msq / 56.67 %
(INCLUDES EXTERNAL STORAGE SHED AREAS)
% PERMEABILITY: 290.02 msq / 35.07 %
DRIVEWAYS & PATHS: 65.75 msq

GARDEN AREA

SITE AREA: 827.00 msq.
MINIMUM REQUIRED OPEN SPACE FOR SITE 827.00 msq (35%) - 289.45 msq.
TOTAL SITE OPEN SPACE - (35.07%) - 289.65 MSQ / 35.02%

STORM RATING AREAS

DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 236.84msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 230.05msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING

SURFACE SCHEDULE:

EXPOSED AGGREGATE CONCRETE PAVING	
GRASS AREA	
LILYDALE TOPPING	

LANDSCAPE NOTE:

LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

FENCE NOTE:

(F)	1.8m HIGH TIMBER PAILING FENCE
(F1)	0.9m HIGH SELECTED POWDER COATED METAL BLADE FENCE
(F2)	1.8m HIGH PRESSED STEEL FENCE
(F3)	2.1m HIGH PRESSED STEEL FENCE

VISIBILITY SPY NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)

ACCESSWAYS MUST HAVE A CORNER SPY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LAND AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

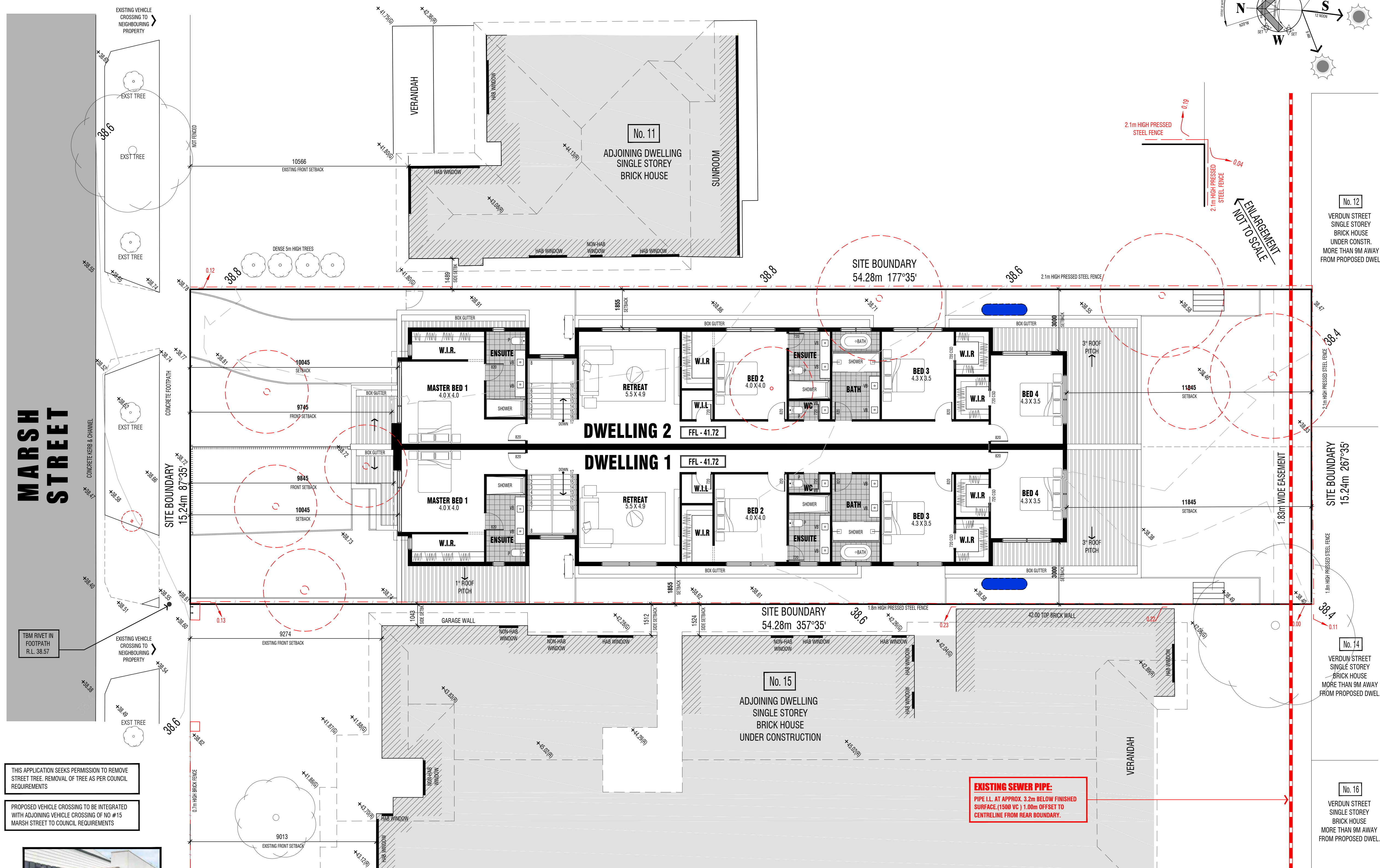
@ 13 MARSH STREET,
MAIDSTONE

for: VV CONSTRUCTIONS

PROJ. NO:	DATE:	DRAWN BY:	CHECKED BY:	SCALE:	SHEET NO:
DO208-24	OCT - 2024	S. RAMZ	D. CARMIA (DP-AD533)	1:100	1

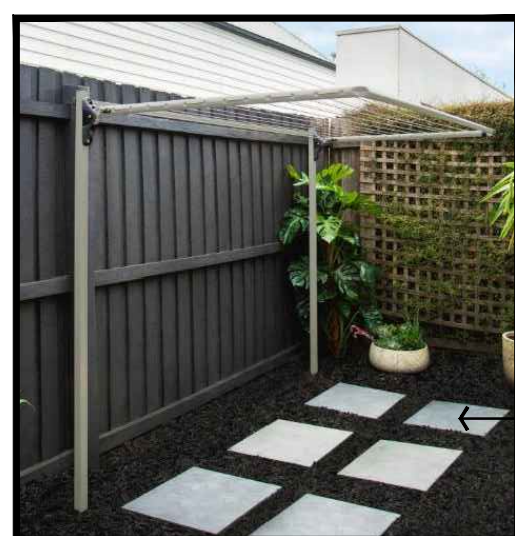
SITE AND FIRST FLOOR PLANS

SCALE 1:100



THIS APPLICATION SEEKS PERMISSION TO REMOVE STREET TREE. REMOVAL OF TREE AS PER COUNCIL REQUIREMENTS

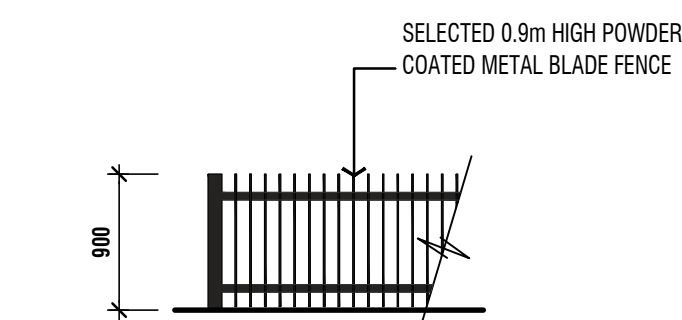
PROPOSED VEHICLE CROSSING TO BE INTEGRATED
WITH ADJOINING VEHICLE CROSSING OF NO #15
MARSH STREET TO COUNCIL REQUIREMENTS



RETRACTABLE CLOTHES LINE DETAIL

SCALE 1:50

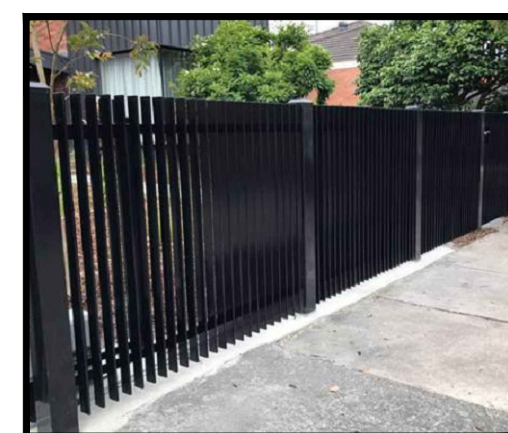
RETRACTABLE CLOTHES LINE:
CLOTHES LINE TO BE FITTED IN FRONT
OF BOUNDARY FENCE.



(F1) TYPICAL FRONT FENCE DETAIL

SCALE 1:50

(REFER TO IMAGE TO RIGHT)



FLOOR PLANS: LEGEND:

AREAS:

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TOTAL: 416.55 msq. / 44.84 SQ's

FRONT YARD - P.O.S.: 32.13 msq
S.P.O.S.: 91.44 msq.

DWELLING 2

GROUND FLOOR: 176.17 msq. / 18.96 SQ's
FIRST FLOOR: 179.37 msq. / 19.31 SQ's
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LANDSCAPE NOTE:

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FENCE NOTE:

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VISIBILITY DISPLAY NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)

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REVISD DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 23

PROPOSED DUAL OCCUPANCY

**@: 13 MARSH STREET
MAIDSTONE**

for: VV CONSTRUCTIONS

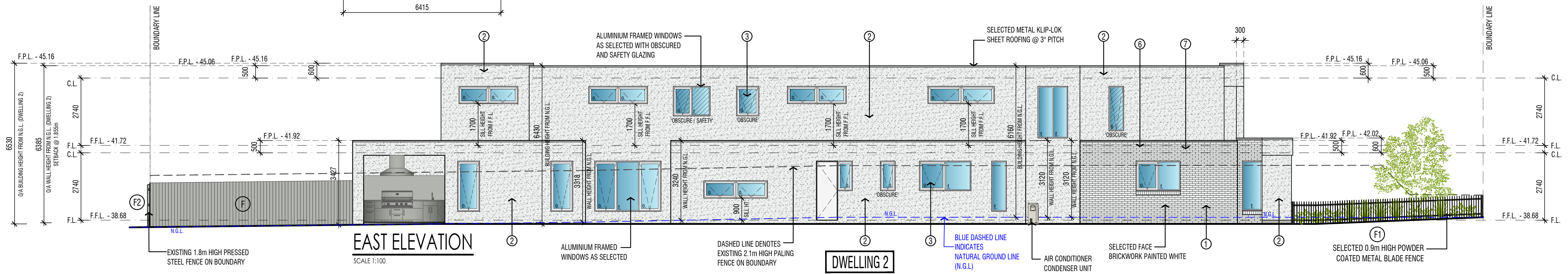
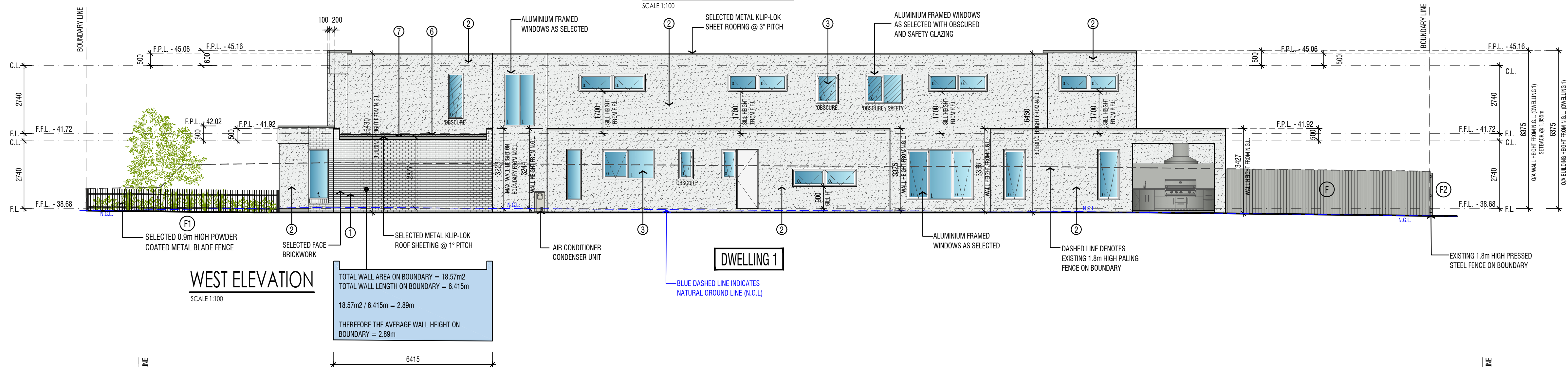
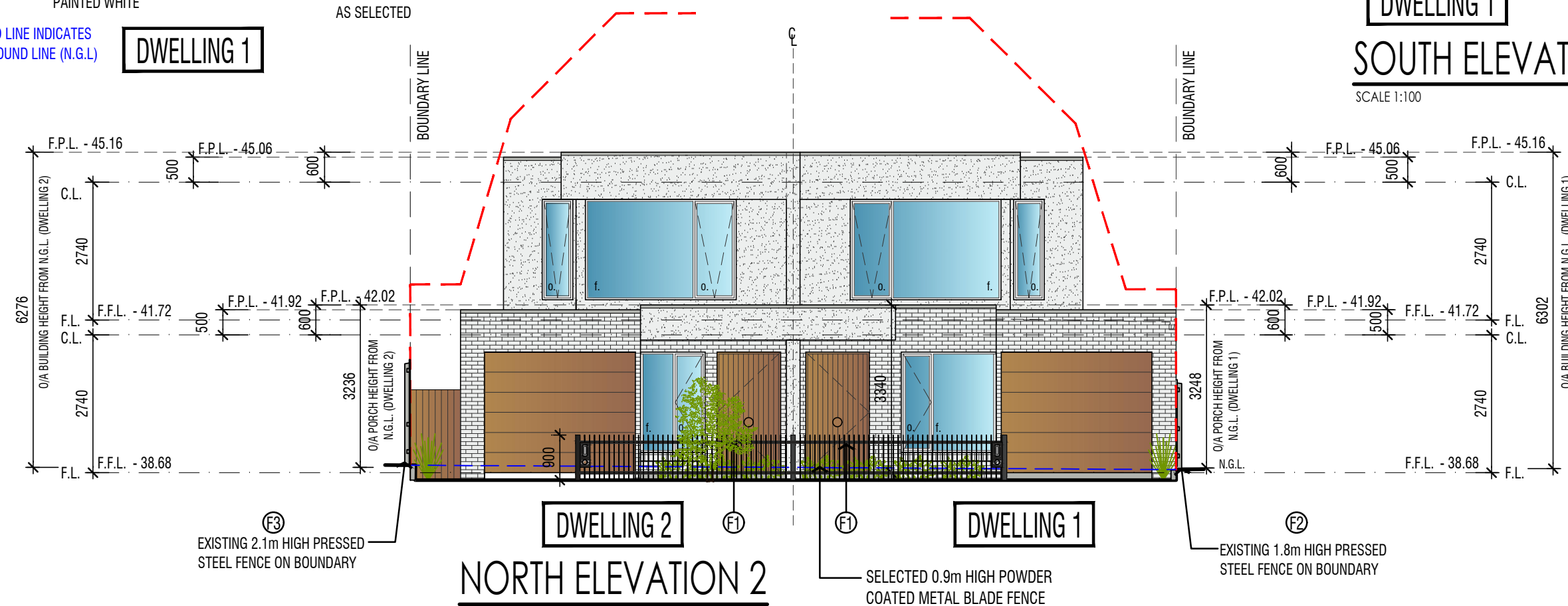
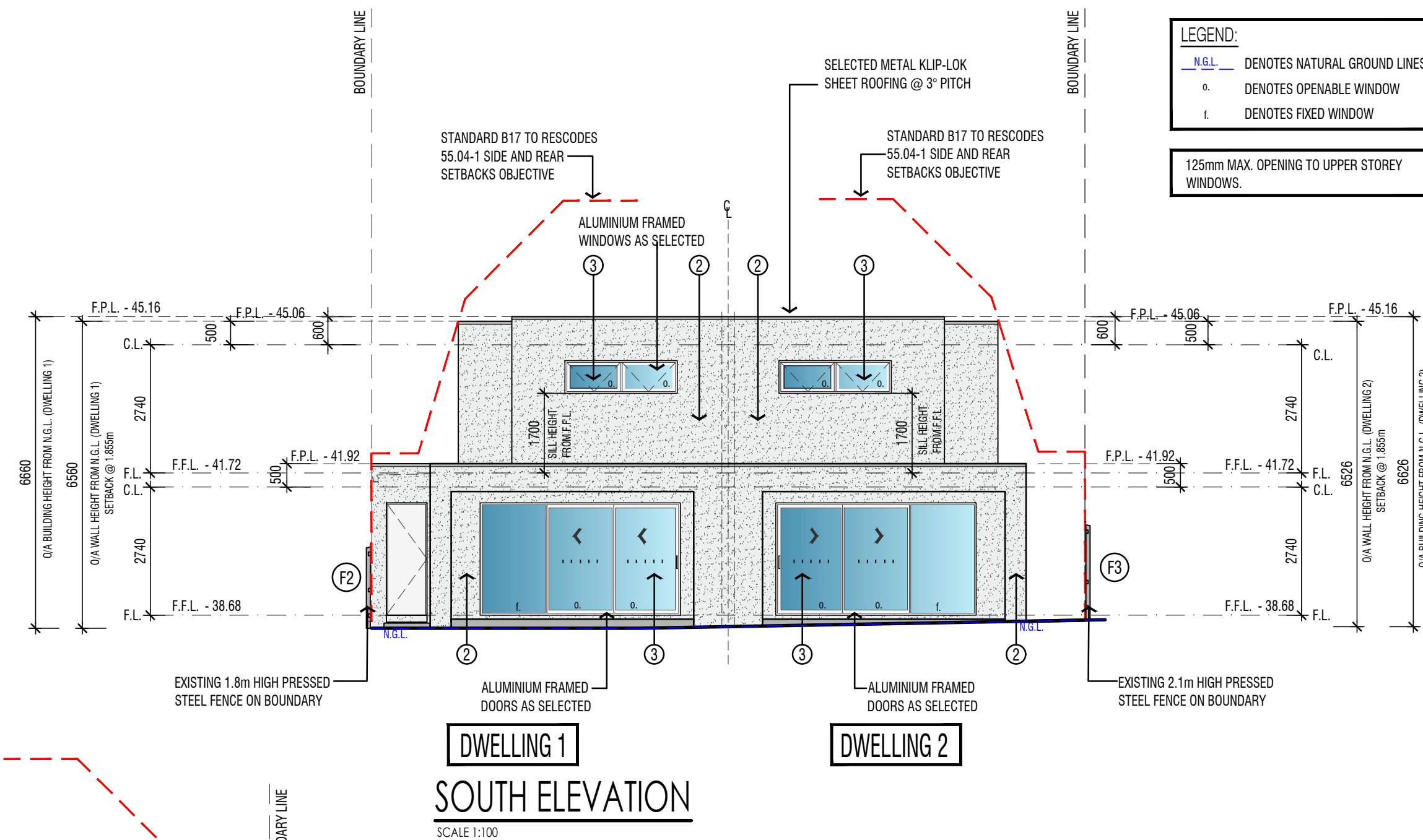
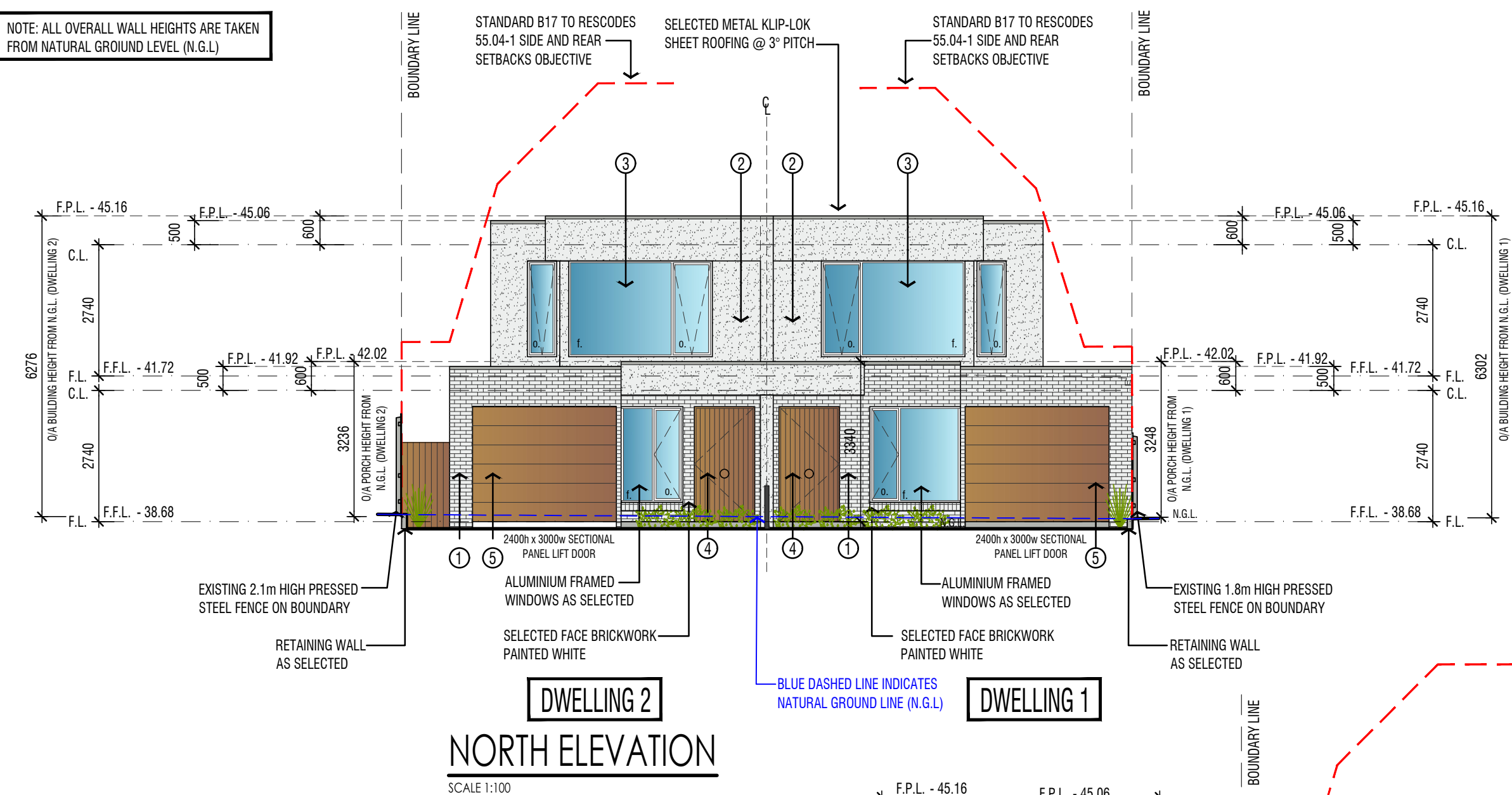
PROJ. NO.	DATE	DRAWN BY	CHECKED BY	SCALE	SHEET NO.
DO208-24	OCT - 2024	S. RAMIZ	D. GRIMA (DP-AD583)	1:100	2

draftmode designs pty ltd

PROPOSED ELEVATIONS AND COLOUR & MATERIAL SCHEDULE

SCALE 1:100

NOTE: ALL OVERALL WALL HEIGHTS ARE TAKEN FROM NATURAL GROUND LEVEL (N.G.L.)



MATERIALS LEGEND

- BRICKWORK:**
WHITE
- RENDER / PAINT - MASTER WALL:**
WHITE
- WINDOWS/DOORS:**
WHITE
- ENTRY DOORS:**
TIMBER
- GARAGE DOORS:**
TIMBER
- ROOF SHEETING:**
COLORBOND SHALE GREY
- FASCIA AND GUTTERS:**
COLORBOND SHALE GREY

LANDSCAPE NOTE:
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REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

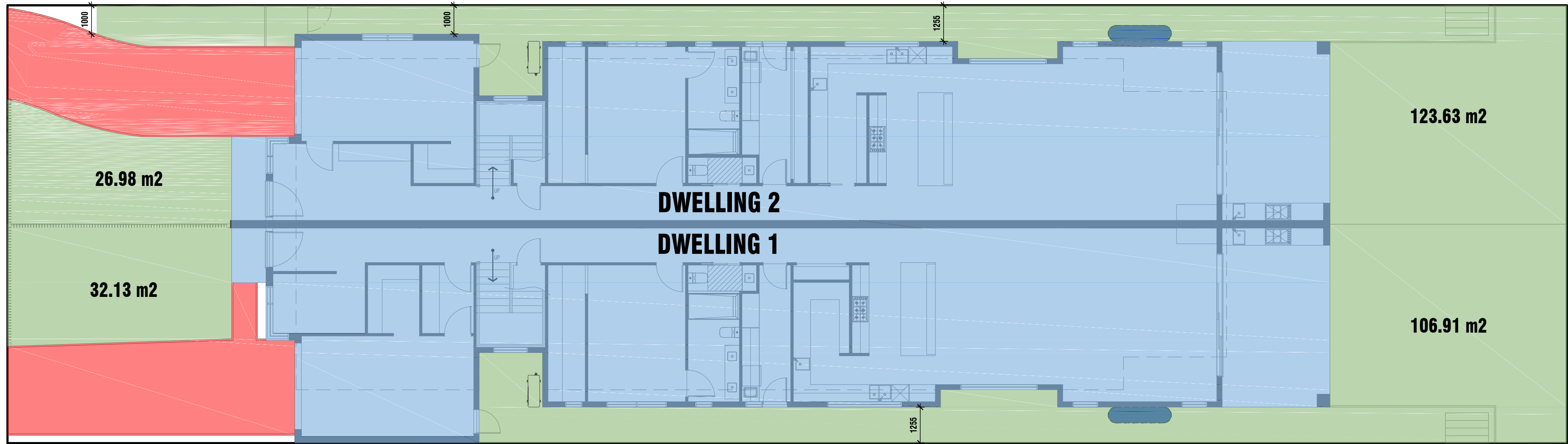
@ 13 MARSH STREET,
MAIDSTONE

for: **VV CONSTRUCTIONS**

DRAWN BY: DO208-24	DATE: OCT - 2024	DRAWN BY: S. RAMZ	DESIGNED BY: D. CROOK (DP-AD583)	SCALE: 1:100	SHEET: 3 OF 4
draftmode designs pty ltd A - 28 Thomas Street, Airport West 3042 P - 9 330 3454 E - enquiries@draftmode.com.au					

GARDEN AREA AND STORMWATER ASSESSMENT PLANS

SCALE 1:100



GARDEN ASSESSMENT PLAN

SCALE 1:100



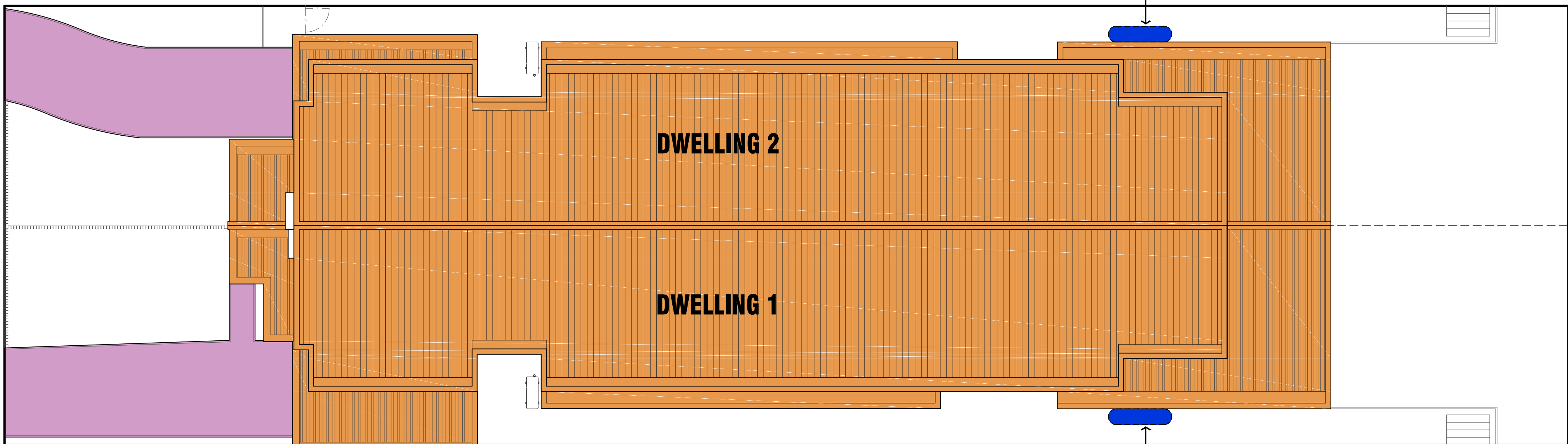
STORM Rating Report

TransactionID: 0
Municipality: MARIBYRNONG
Rainfall Station: MARIBYRNONG
Address: 13 Marsh Street

Maidstone VIC 3012
Assessor: Daniel Grima
Development Type: Residential - Multiunit
Allotment Site (m²): 827.00
STORM Rating %: 100

Description	Impervious Area (m ²)	Treatment Type	Treatment Area/Volume (m ² or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 1 TREATED TO WTANK	236.84	Rainwater Tank	3,000.00	5	99.20	87.00
DWELLING 2 TREATED TO WTANK	230.05	Rainwater Tank	3,000.00	5	100.00	87.00

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 230.05m² IS TO BE COLLECTED AND DISCHARGED INTO 3,000L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING



STORMWATER ASSESSMENT PLAN

SCALE 1:100

GARDEN AREA AND STORMWATER ASSESSMENT PLAN LEGENDS:

GARDEN AREA LEGEND:

- GARDEN AREA (MINIMUM 1m WIDE)
- PROPOSED FLOOR PLANS (NOT CALCULATED INTO GARDEN AREA)
- DRIVEWAY (NOT CALCULATED INTO GARDEN AREA)

GARDEN AREA

SITE AREA: 827.00 m²
MINIMUM REQUIRED OPEN SPACE FOR SITE 827.00 m² (35%) - 289.45 m²
TOTAL SITE OPEN SPACE - (35.07%) - 289.65 m² / 35.02%

STORMWATER ASSESSMENT LEGEND:

- TREATED ROOF AREA TO WATERTANK
- UNTREATED ROOF AREA, DRIVEWAY & COMMON DRIVEWAY
- TREATED ROOF AREA TO R/GARDEN
- PERMEABLE DRIVEWAY (WATERPAVE DRIVETEC OR SIMILAR)
- 3000l RAIN WATER TANKS
- 100mm RAINGARDEN

STORM RATING AREAS

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REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@: 13 MARSH STREET,
MAIDSTONE

for: VV CONSTRUCTIONS

DWG NO.	DATE	DRAWN BY	CHECKED BY	SCALE	SHEET NO.
DO208-24	OCT - 2024	S. RAMZ	D. GRIMA (DP-AD583)	1 : 100	4

MATERIALS LEGEND

- ①
BRICKWORK:
WHITE
- ②
RENDER / PAINT - MASTER WALL
WHITE
- ③
WINDOWS/DOORS:
WHITE
- ④
ENTRY DOORS:
TIMBER
- ⑤
GARAGE DOORS:
TIMBER
- ⑥
ROOF SHEETING:
COLORBOND SHALE GREY
- ⑦
FASCIA AND GUTTERS:
COLORBOND SHALE GREY



3D FACADE PERSPECTIVE
(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE



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REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

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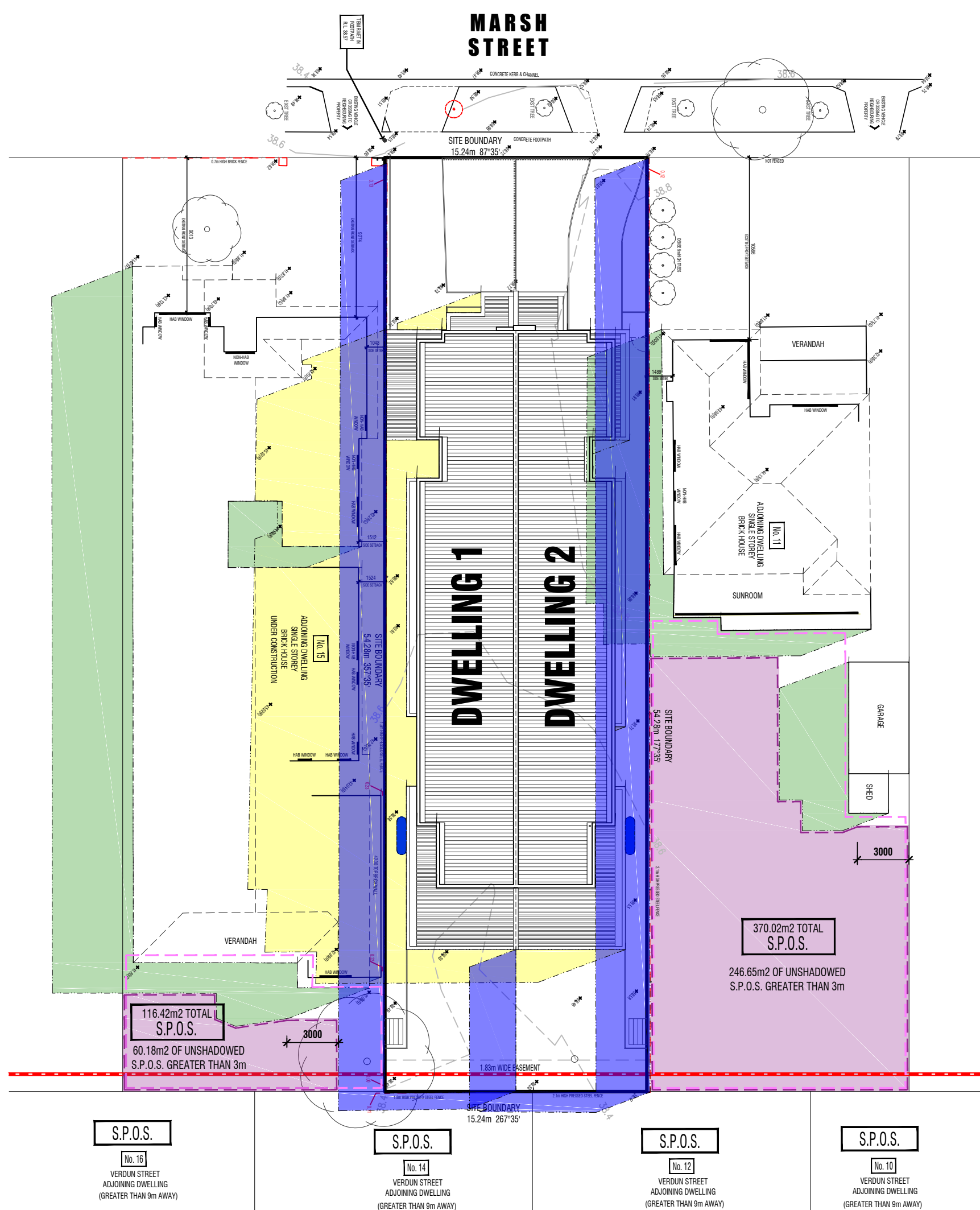
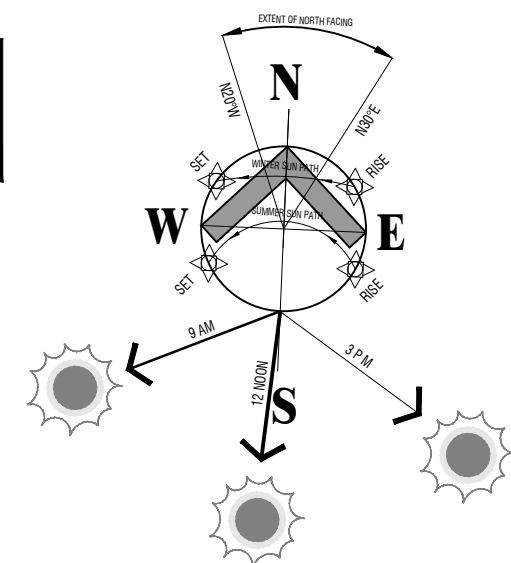
for: VV CONSTRUCTIONS

DWG NO: DO208-24	DATE: OCT - 2024	DRAWN BY: S. RAMZ	CHECKED BY: D. CARMIA (DP-AD583)	SCALE: NOT TO SCALE	SHEET NO: P1 OF P1
draftmode A - 28 Thomas Street, Airport West 3042 P - 03 950 3434 E - enquiries@draftmode.com.au designs pty ltd					

STREETSCAPE & SHADOW DIAGRAMS

SCALE 1:250

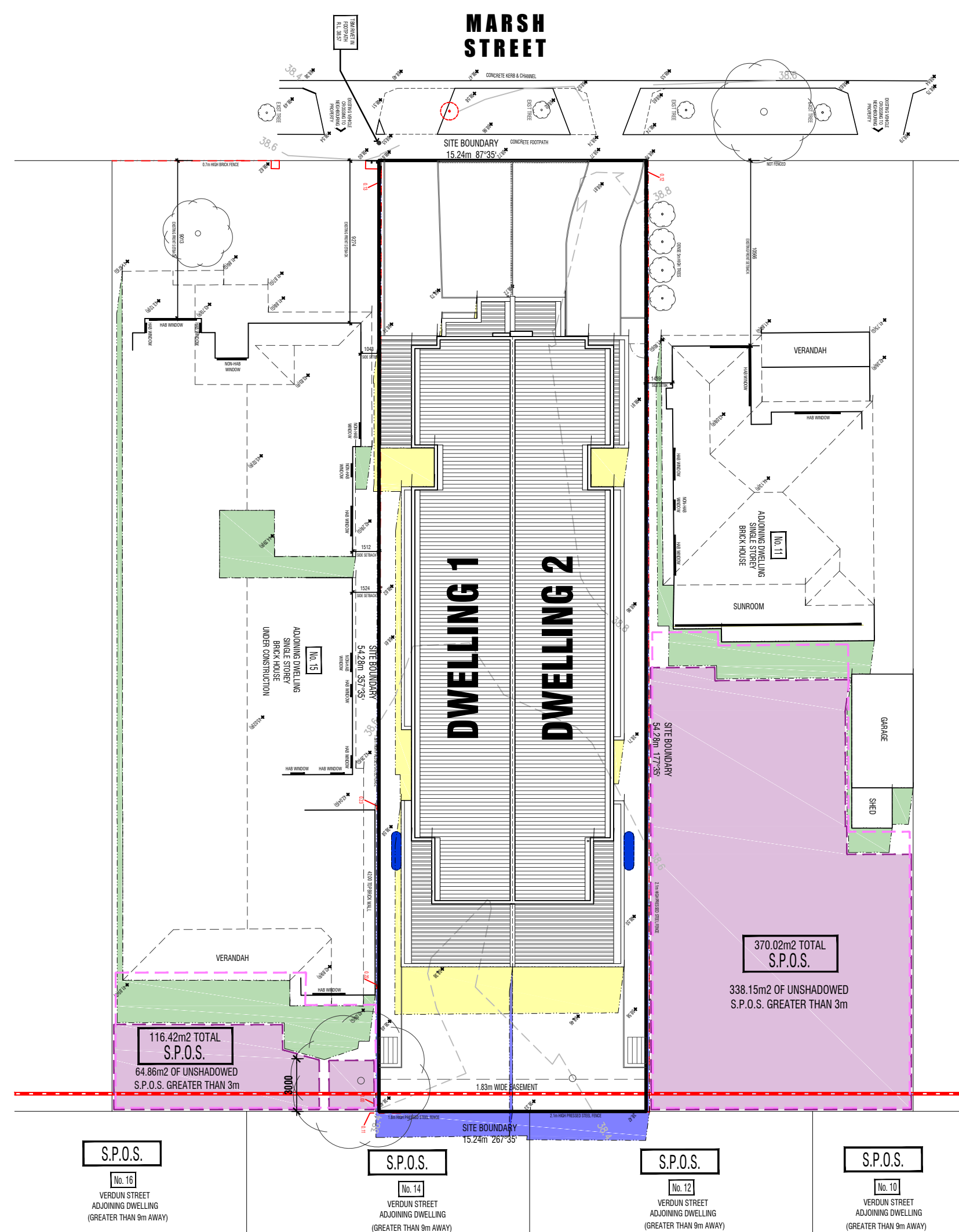
SHADOW DIAGRAMS
DISPLAYED @ 22nd SEPTEMBER
EQUINOX DATUM



9am Shadow Diagrams

SCALE 1:250

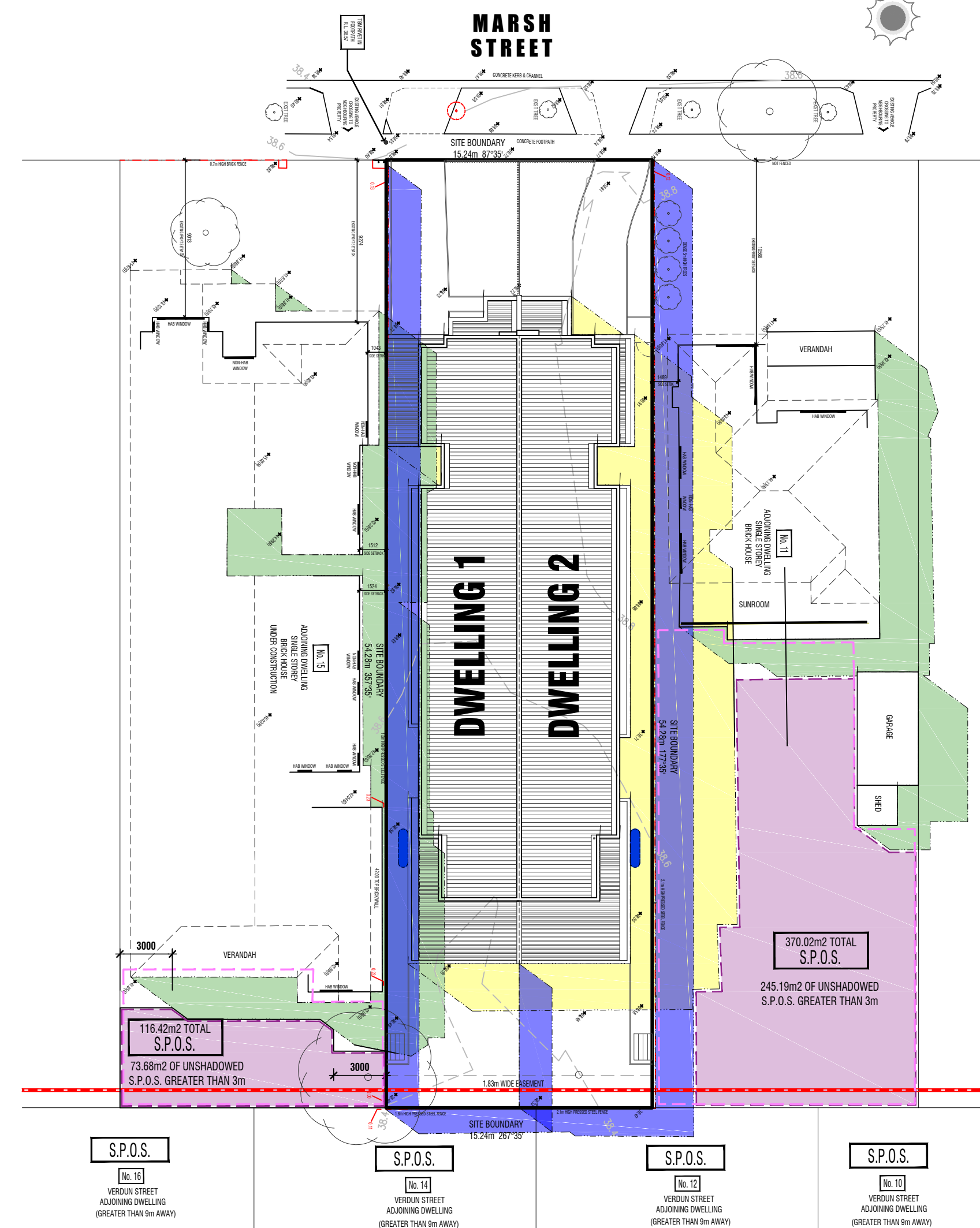
* NO ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ALL ADJOINING NEIGHBOURS S.P.O.S. @ 9am.



12 Noon Shadow Diagrams

SCALE 1:250

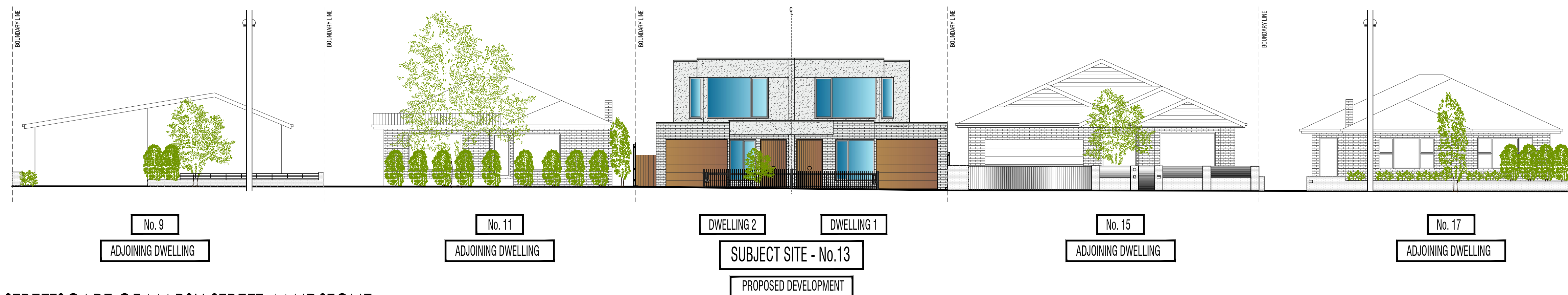
* NO ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ALL ADJOINING NEIGHBOURS S.P.O.S. @ 12 NOON.



3pm Shadow Diagrams

SCALE 1:250

* ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ADJOINING NEIGHBOURS S.P.O.S. AT 13 MARSH STREET, MAIDSTONE @ 3pm, HOWEVER THERE IS STILL 246.65m² UNSHADOWED S.P.O.S. AS SHOWN ABOVE IN PINK HATCH



LEGEND:	
	SHADOW CAST FROM PROPOSED DEVELOPMENT ON SUBJECT SITE
	EXTENT OF SHADOW CAST FROM EXISTING AND PROPOSED FENCES
	EXTENT OF SHADOW CAST FROM ADJOINING NEIGHBOURS & SHEDS
	EXTENT OF OVERALL EXISTING ADJOINING NEIGHBOURS & SHEDS PRIVATE OPEN SPACE
	EXTENT OF AREA THAT REMAINS FREE OF SHADOW AT LEAST 3m WIDE

REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

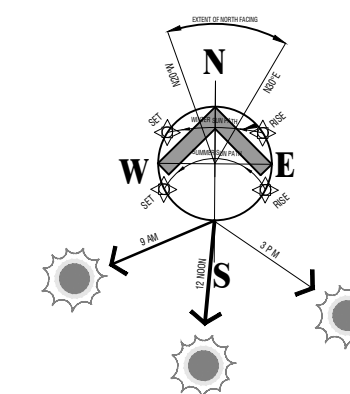
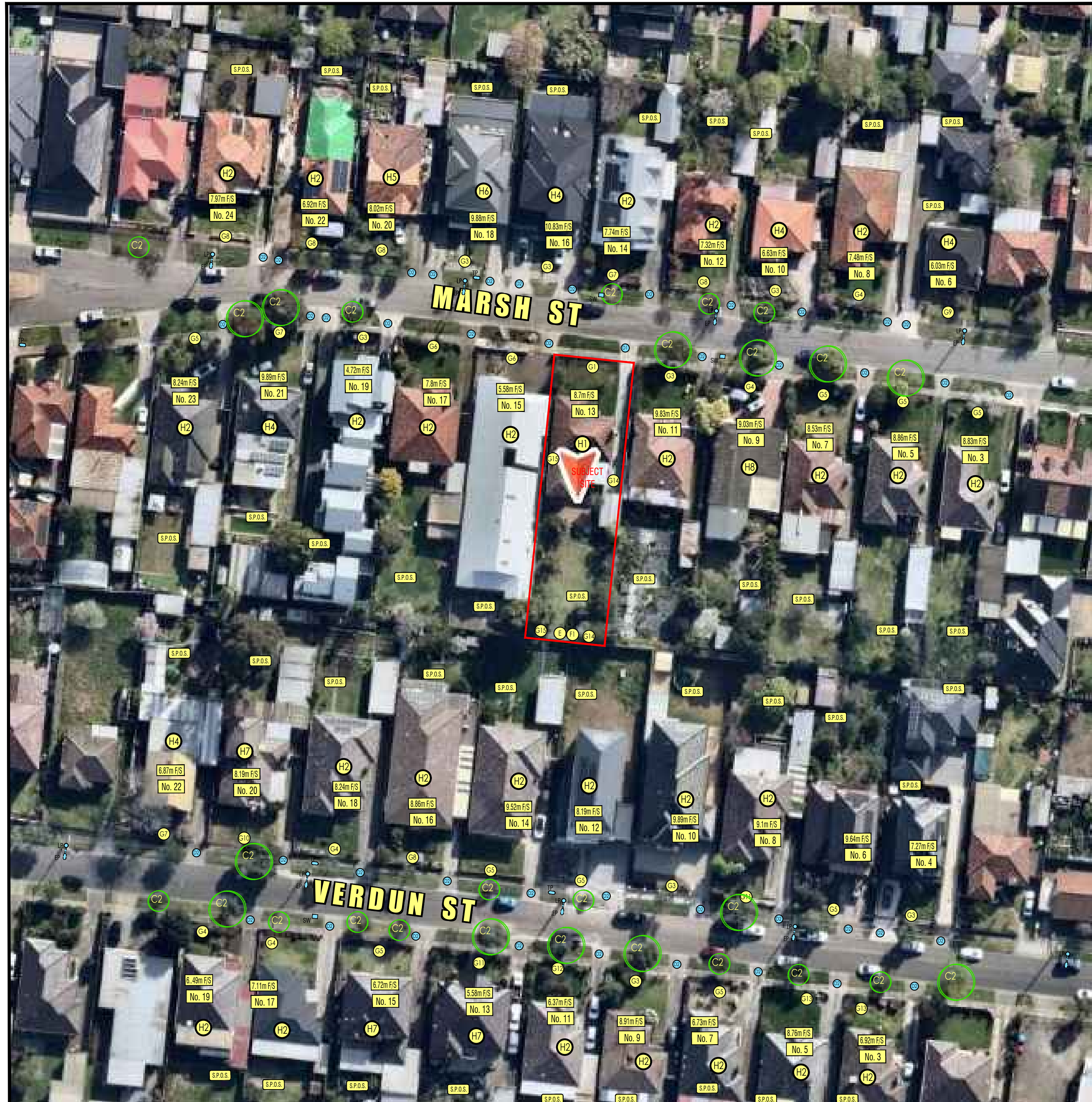
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DO208-24	OCT - 2024	S. RAMZ	D. CURRAN (DP-AD583)	1: 250	S1
draftmode designs pty ltd					
A - 28 Thomas Street, Airport West 3042 P - 0 350 3454 E - enquiries@draftmode.com.au					

STREETSCAPE OF MARSH STREET, MAIDSTONE
NOT TO SCALE



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DESIGN RESPONSE PLAN

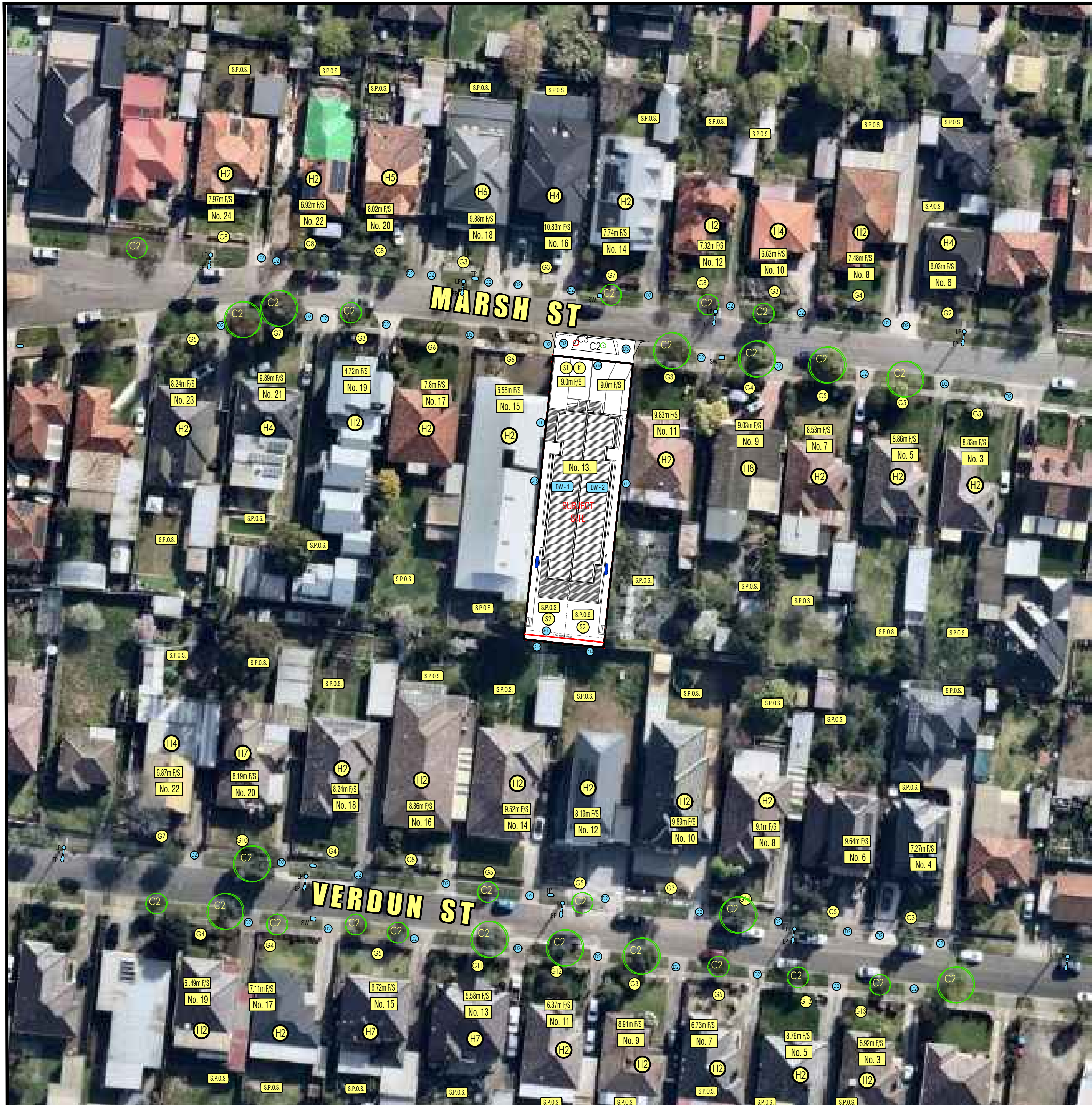
SCALE 1:500



13 MARSH STREET, MAIDSTONE - STREETSCAPE



13 MARSH STREET, MAIDSTONE - (OPPOSITE SIDE) STREETSCAPE



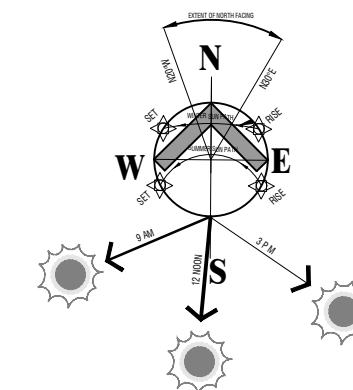
13 MARSH STREET, MAIDSTONE - SUBJECT SITE



No.11 MARSH STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE LEFT)



No.15 MARSH STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE RIGHT)



DESIGN RESPONSE PLAN: LEGEND

ORIENTATION

A SITE HAS A NORTH TO SOUTH FACING ORIENTATION

TOPOGRAPHY

B LAND HAS A DECLINE OF 0.31m FROM NORTH TO SOUTH
(REFER TO LEVELS ON PLAN PROVIDED)

VEGETATION

C1 EXISTING SITE TREES & SHRUBS TO BE REMOVED

C2 EXISTING STREET TREES & LANDSCAPE

C3 EXISTING STREET TREE TO BE REMOVED

ACCESS POINTS

D1 EXISTING PEDESTRIAN AND VEHICLE ACCESS FROM MARSH STREET
TO SUBJECT SITE

D2 EXISTING STREET CROSSINGS

D3 PROPOSED PEDESTRIAN AND VEHICLE ACCESS FROM MARSH STREET
TO SUBJECT SITE

DRAINAGE

E DRAINAGE POINT - NO UNMANAGABLE DRAINAGE CONSTRAINTS.
POINT OF DISCHARGE AS PER COUNCIL REQUIREMENTS

SERVICE

F1 SITE HAS ACCESS TO INFRASTRUCTURE
(SEWER, WATER SUPPLY, GAS & TELEPHONE)

FENCES & BOUNDARIES

G1 500m HIGH BRICK FENCE

G2 1.6m HIGH METAL SHEET FENCE

G3 NO FENCE

G4 800m HIGH BRICK FENCE

G5 900m HIGH BRICK FENCE

G6 600m HIGH BRICK FENCE

G7 1.2m HIGH PICKET FENCE

G8 700m HIGH BRICK FENCE

G9 1m HIGH METAL FENCE

G10 1.2m HIGH METAL FENCE

G11 1.2m HIGH BRICK WITH METAL INSERT FENCE

G12 950m HIGH BRICK WITH METAL INSERT FENCE

G13 800m HIGH BRICK WITH METAL INSERT FENCE

G14 2.1m HIGH HIGH PRESSED STEEL FENCE

G15 1.8m HIGH HIGH PRESSED STEEL FENCE

G16 0.9m HIGH POWDER COATED METAL BLADE FENCE

LOCATION/USE OF SURROUNDING BUILDINGS

H1 SINGLE STOREY BRICK VENEER DWELLING TO BE DEMOLISHED

H2 SINGLE STOREY BRICK VENEER DWELLING

H3 SINGLE STOREY WEATHERBOARD DWELLING

H4 DOUBLE STOREY BRICK VENEER & LIGHTWEIGHT UPPER UNITS

H5 DOUBLE STOREY BRICK VENEER & RENDERED UPPER UNITS

H6 DOUBLE STOREY RENDERED DWELLING

H7 SINGLE STOREY BRICK VENEER UNITS

H8 SINGLE STOREY RENDERED DWELLING

SECLUDED OPEN SPACE

S.P.O.S. SECLUDED PRIVATE OPEN SPACES OF SURROUNDING DWELLINGS

HABITABLE ROOM WINDOWS/DOORS

HAB. HABITABLE ROOM WINDOWS WITHIN 9m OF SITE
(REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)

N/H WIN. NON-HABITABLE ROOM WINDOWS WITHIN 9m OF SITE
(REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)

SOLAR ACCESS

K POTENTIAL DAYLIGHT ALONG NORTH SIDE OF SITE

WALLS ON BOUNDARY

L1 3.05m HIGH WALL ON BOUNDARY

LAND USE AND DENSITY RESPONDS TO:

Q * LOCATION WITHIN ESTABLISHED RESIDENTIAL AREA

* LACK OF MANAGEABLE INFRASTRUCTURE CONSTRAINTS

* ACCESSIBILITY TO PUBLIC TRANSPORT, LOCAL SHOPS,
RESERVES & SCHOOLS

* SITE DIMENSION & AREA

R MATERIALS, COLOURS & TEXTURES ARE SELECTED
TO HIGHLIGHT THE ARCHITECTURAL FORMS & REFLECT THE
BUILDINGS ADJACENT

LANDSCAPING

S1 LANDSCAPING PROVIDED TO REINFORCE THE PRESENTATION OF
EACH RESIDENCE TO THE STREET

S2 LANDSCAPING PROVIDED TO MAINTAIN PRIVACY BOTH WITHIN &
BEYOND THE DEVELOPMENT

T CREATE PRIVATE NORTH FACING COURTYARDS, MAINTAIN
SUFFICIENT DIMENSIONS TO ENABLE PLANTING OF LARGER
SHADE TREES

SYMBOLS

EXISTING STREET CROSSING

SS STREET SIGN

EP ELECTRICAL POLE

E ELECTRICAL PIT

LP ELECTRICAL POLE WITH LIGHT POLE

HD HOUSE DRAIN

TP TELSTRA PIT

F.H. FIRE HYDRANT

PIT

SW STORMWATER

PROPOSED DUAL OCCUPANCY

@: 13 MARSH STREET,
MAIDSTONE

for: **VV CONSTRUCTIONS**

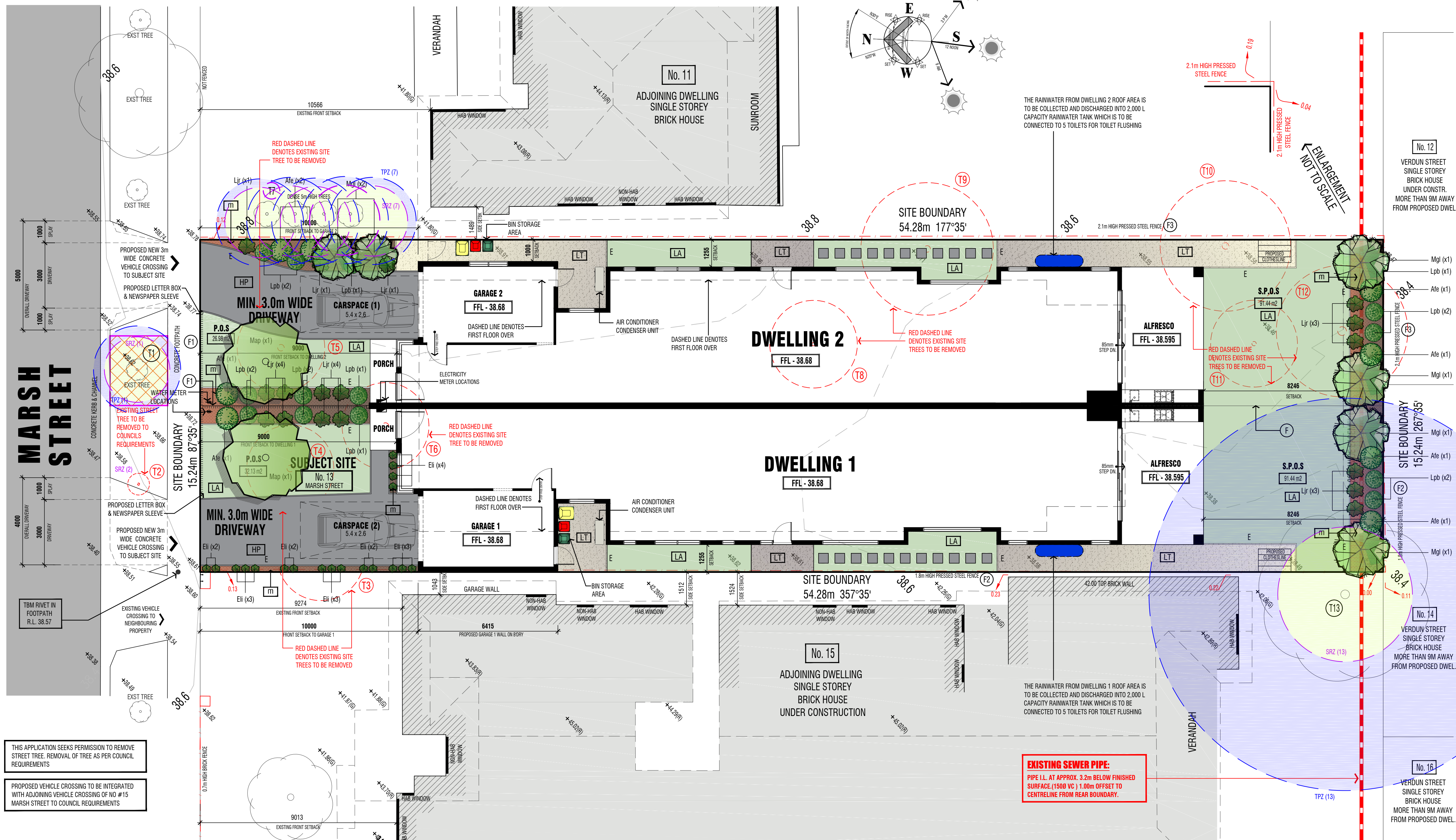
Draftmode designs pty ltd

D2

2

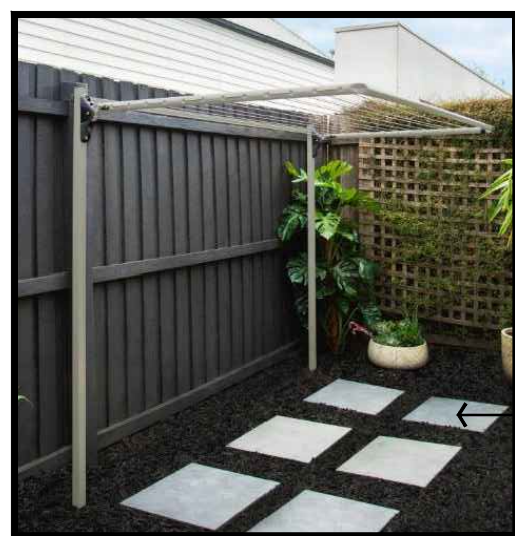
SITE AND GROUND FLOOR PLANS

SCALE 1:100



THIS APPLICATION SEEKS PERMISSION TO REMOVE STREET TREE. REMOVAL OF TREE AS PER COUNCIL REQUIREMENTS

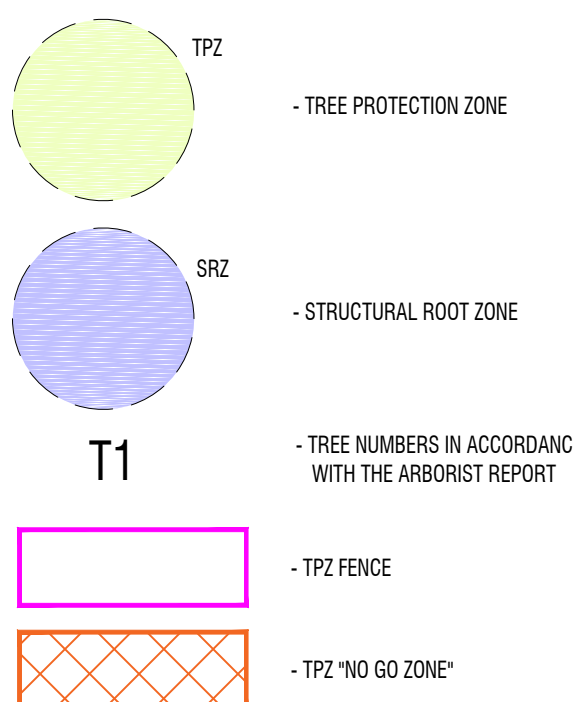
PROPOSED VEHICLE CROSSING TO BE INTEGRATED WITH ADJOINING VEHICLE CROSSING OF NO #15 MARSH STREET TO COUNCIL REQUIREMENTS



RETRACTABLE CLOTHES LINE DETAIL

SCALE 1:50

LANDSCAPE LEGEND:



TREE PROTECTION DURING CONSTRUCTION

THE FOLLOWING ARE GUIDELINES THAT MUST BE IMPLEMENTED DURING EXCAVATION, CONSTRUCTION AND LANDSCAPING TO MINIMISE THE IMPACT OF WORKS ON RETAINED TREES.

THE RETAINED TREE PROTECTION ZONE (TPZ) OF ALL RETAINED TREES IS FENCED AND CLEARLY MARKED AT ALL TIMES. FENCING SHOULD GENERALLY BE COMPLIANT WITH THE SPECIFICATIONS AS CONTAINED WITHIN SECTION 4.4 OF AS4970 AND WHERE FENCING IS NOT PRACTICABLE SUITABLE GROUND PROTECTION IS INSTALLED. THIS FENCE WILL DETER THE PLACEMENT OF BUILDING MATERIALS, ENTRY OF HEAVY EQUIPMENT AND VEHICLES AND ALSO THE ENTRY OF WORKERS AND/OR THE PUBLIC INTO THE TPZ.

IF REQUIRED THE CONSULTANT ARBORIST IS TO BE ON-SITE TO SUPERVISE EXCAVATION WORKS AROUND ANY RETAINED TREES WHERE THE TPZ WILL BE ENCROACHED.

NO PERSONS, VEHICLES OR MACHINERY TO ENTER THE TPZ WITHOUT THE CONSENT OF THE CONSULTING ARBORIST OR SITE MANAGER.

ANY UNDERGROUND SERVICE INSTALLATIONS WITHIN THE TPZ SHOULD BE BORED AND UTILITY AUTHORITIES SHOULD COMMON TRENCH WHERE POSSIBLE.

NO FUEL, OIL DUMPS OR CHEMICALS SHALL BE ALLOWED IN OR STORED ON THE TPZ AND THE SERVICING AND RE-FUELLING OF EQUIPMENT AND VEHICLES SHOULD BE CARRIED OUT AWAY FROM THE ROOT ZONES.

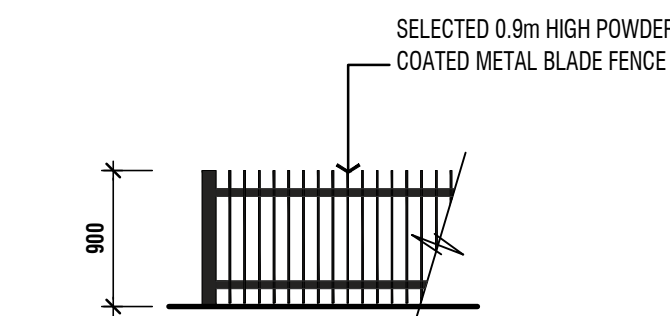
NO STORAGE OF MATERIAL, EQUIPMENT OR TEMPORARY BUILDING SHOULD TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.

NOTHING WHATSOEVER SHOULD BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE.

SUPPLEMENTARY WATERING SHOULD BE PROVIDED TO ALL TREES THROUGH ANY DRY PERIODS DURING AND AFTER THE CONSTRUCTION PROCESS. TESTING WITH A SOIL PROBE IN A NUMBER OF LOCATIONS AROUND THE TREE WILL HELP ASCERTAIN SOIL MOISTURE LEVELS AND REQUIREMENTS TO IRRIGATE. WATER NEEDS TO BE APPLIED SLOWLY TO AVOID RUNOFF. A DAILY WATERING WITH 5 LITRES OF WATER FOR EVERY 30 MM OF TRUNK CIRCUMFERENCE MAY PROVIDE THE MOST EVEN SOIL MOISTURE LEVEL FOR ROOTS (WATSON & HAMELICK, 1997). IRRIGATION SHOULD WET THE ENTIRE ROOT ZONE AND BE ALLOWED TO DRY OUT PRIOR TO ANOTHER APPLICATION. WATERING SHOULD CONTINUE FROM NOVEMBER UNTIL APRIL.

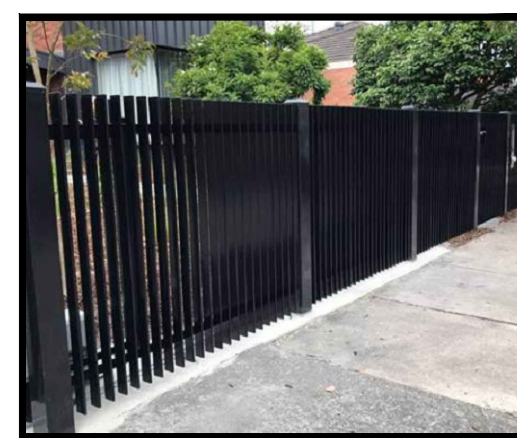
PROTECTIVE FENCING:

FENCING SHOULD BE ERRECTED BEFORE ANY MACHINERY OR MATERIALS ARE BROUGHT ONTO THE SITE AND BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION. ONCE ERRECTED, PROTECTIVE FENCING MUST NOT BE REMOVED OR ALTERED WITHOUT APPROVAL BY THE PROJECT ARBORIST. THE TPZ SHOULD BE SECURED TO RESTRICT ACCESS.



TYPICAL FRONT FENCE DETAIL

SCALE 1:50
(REFER TO IMAGE TO RIGHT)



FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1

GROUND FLOOR: 181.58 msq / 19.55 SQ's
FIRST FLOOR: 179.28 msq / 19.29 SQ's
GARAGE (1): 29.34 msq / 3.16 SQ's
ALFRESCO: 23.90 msq / 2.57 SQ's
PORCH: 2.45 msq / 0.26 SQ's

TOTAL: 416.55 msq / 44.84 SQ's

FRONT YARD - P.O.S.: 32.13 msq.
S.P.O.S.: 91.44 msq.

DWELLING 2

GROUND FLOOR: 176.17 msq / 18.96 SQ's
FIRST FLOOR: 179.37 msq / 19.31 SQ's
GARAGE (2): 27.69 msq / 2.98 SQ's
ALFRESCO: 23.90 msq / 2.57 SQ's
PORCH: 3.65 msq / 0.39 SQ's

TOTAL: 410.78 msq / 44.21 SQ's

FRONT YARD - P.O.S.: 26.98 msq.
S.P.O.S.: 91.44 msq.

SITE AREA: 827.00 msq.

% LAND COVERAGE WITH O/H: 468.68 msq / 56.67 %
(INCLUDES EXTERNAL STORAGE SHED AREAS)
% PERMEABILITY: 290.02 msq / 35.07 %
DRIVEWAYS & PATHS: 65.75 msq.

GARDEN AREA

SITE AREA: 827.00 msq.
MINIMUM REQUIRED OPEN SPACE FOR SITE 827.00 msq. (35%) - 289.45 msq.
TOTAL SITE OPEN SPACE - (35.07%) - 289.65 MSQ / 35.02%

STORM RATING AREAS

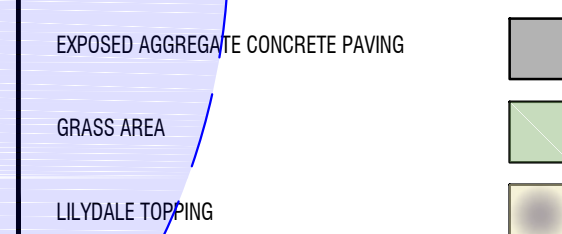
DWELLING 1 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 1 ROOF AREA OF 236.84msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING

DWELLING 2 - ROOF AREA TO WATERTANK

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 230.05msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING

SURFACE SCHEDULE:



LANDSCAPE NOTE:

LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

FENCE NOTE:

- (F) 1.8m HIGH TIMBER PAILING FENCE
- (F1) 0.9m HIGH SELECTED POWDER COATED METAL BLADE FENCE
- (F2) 1.8m HIGH PRESSED STEEL FENCE
- (F3) 2.1m HIGH PRESSED STEEL FENCE

VISIBILITY SPY NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)

ACCESSWAYS MUST HAVE A CORNER SPY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD, THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@: 13 MARSH STREET,
MAIDSTONE

for: VV CONSTRUCTIONS

DATE: OCT - 2024
DRAWN BY: E. GARRATT
CHECKED BY: E. GARRATT
SCALE: 1:100
SHEET NO: 1

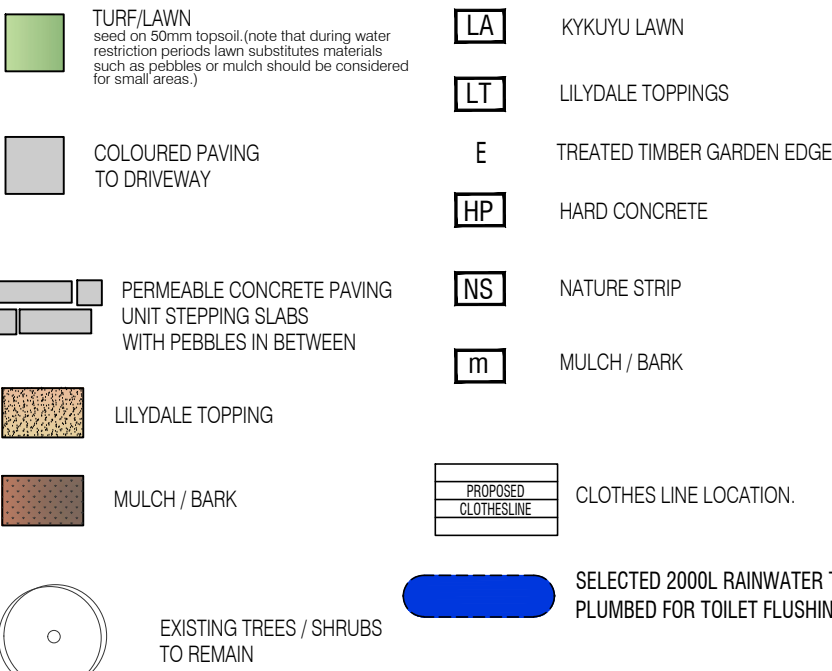
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A: 28 Thomas Street, Airport West 3042
P: 9330 3434
E: enquiries@draftmode.com.au

PLANTING SCHEDULE

RTS

LEGEND



PROPOSED PLANTING TABLE

	ID	Qty	Common Name	Botanical Name	Height x Width (m)	Pot Size (cm)
Trees						
	Map	2	Manchurian Pear	Pyrus Ussuriensis	7.0 x 4.0	2.0m tall at time of planting
	Lit	-	Crepe Myrtle	Lagerstroemia Indica (Tuscarora)	5.0 x 3.0	2.0m tall at time of planting
	Mgl	6	Little Gem	Magnolia Grandiflora "Little Gem"	3.5 x 2.5	25
Shrubs and Groundcovers						
	Ale	8	Dwarf Bower Wattle	Acacia cognata "Fetuccini"	1.0 x 1.0	14
	Orm	-	Twiggy Daisy Bush	Clearia Ramulosa	1.2 x 1.0	14
	Lpb	13	Limonium Perezil Blue	Statice Blue	0.6 x 0.4	14
	Pgi	-	Green Pillar	Pittosporum 'Green Pillar'	3.0 x 1.0	14
	Glp	-	Butterfly Bush	Gaura Lollipop Pink	0.6 x 0.6	14
Grasses						
	Dgr	-	Wild Iris	Diets grandiflora	0.75 x 0.75	14
	Dmo	-	Butterfly Flag	Diplarrena moraea	0.70 x 0.40	14
	Eli	19	Elijah Blue	Festuca 'Elijah Blue' Fescue Grass	0.15 x 0.30	14
	Lol	-	Mat Rush	Lomandra Longifolia	0.70 x 0.70	14
	Ljr	17	Lilyturf	Liriope muscari 'Just Right'	0.50 x 0.50	14
Creepers						
	Pcp	-	Purple Coaral Pea	Hardenbergia Violacea	0.60 x 3.0	14

EASEMENT PLANTING NOTE:

ALL PLANTING IN CLOSE PROXIMITY TO EASEMENTS TO HAVE NON INVASIVE ROOT SYSTEMS.

ROOT BARRIER NOTE:

ROOT BARRIERS TO BE INSTALLED TO ALL CANOPY TREES IF IT IS TO CAUSE ANY DETRIMENT TO STRUCTURAL INTEGRITY OF PROPOSED AND EXISTING SURROUNDING STRUCTURES

Extend compacted crushed rock to a min. 100mm to allow for the provision of a concrete haunch

50mm layer of washed river sand

500 x 500mm concrete paving units (to be specified)

Proposed garden bed

Sub-grade

CONCRETE PAVING DETAIL

(not to scale)

100mm (min) timber edge

50mm compacted Lilydale Topping laid over 75mm (min) compacted crushed rock base.

800 x 400mm concrete paving units (to be specified)

50mm Washed River Sand

LILYDALE TOPPING DETAIL

(not to scale)

Advanced tree.

3 no. hardwood treated pine stakes 50x50x1500l or to suit tree height.

50mm wide approved canvas ties secured to a stake by flathead galv. nails. Tie located below first fork of trunk of tree.

Mulch around base of tree beyond stakes to form a saucer.

1M long 90mm slotted PVC pipe with separate cap for watering deciduous trees only.

ADVANCED TREE PLANTING DETAIL

(not to scale)

Top of root-ball level with ground

100mm deep approved garden mix soil. Tubestock planted in 150 x 150 x 170mm hole

ADVANCED SHRUB PLANTING DETAIL

(not to scale)

REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@: 13 MARSH STREET, MAIDSTONE

for: VV CONSTRUCTIONS

DWG NO.	DATE	DRAWN BY	CHECKED BY	SCALE	PROJECT NO.
DD208-24	OCT - 2024	E. GRANT/000101	D. GRANT (DP/AC/CS)	1 : 100	L2 or 2

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EXISTING SITE TREES TO BE RETAINED AND REMOVED

EXISTING TREES/ SHRUBS TO BE REMOVED OR RETAINED	Tree #	Botanical Name	Common Name	Height (m)	Width (m) NS- EW	DBH (cm)	DAB (cm)	Vigour	Structure	ULE	Origin	Age Class	Arb. Value	TPZ (m)	SRZ (m)
RETAINED	1	Lagerstroemia indica	Crepe	2	1 x 1	5	8	Good	Good	20+	Exotic	Juvenile	Moderate	2	1.5
REMOVED	2	Lagerstroemia indica	Crepe Myrtle	2	1 x 1	5	8	Good	Good	20+	Exotic	Juvenile	Moderate	2	1.5
REMOVED	3	Nerium Oleander	Oleander	5	4 x 5	Multi Stemmed		Good	Good	20+	Exotic	Mature	Moderate	3	1.5
REMOVED	4	Prunus persica	Nectarine	4	4 x 4	10/8/6/8/8 (18)	27	Good	Good	20+	Exotic	Mature	Moderate	2.16	1.91
REMOVED	5	Pistachio chinensis	Chinese Pistachio	4	4 x 4	23/24 (33)	38	Good	V. Poor	10-20	Exotic	Mature	Moderate	3.96	2.2
REMOVED	6	Lagerstroemia indica	Crepe Myrtle	4	3 x 4	10/10/8/5/5 (18)	30	Good	Fair	20+	Exotic	Mature	Moderate	2.16	2
RETAINED	7	Mespilus germanica	Pomegranate	3	8 x 2	15	18	Good	Good	20+	Exotic	Mature	Moderate	2	1.61
REMOVED	8	Olea europaea	Olive	4	4 x 4	10/8 (13)	20	Good	Good	20+	Exotic	Mature	Moderate	2	1.68
REMOVED	9	Pittosporum undulatum	Sweet Pittosporum	5	4 x 4	17	20	Good	Good	20+	Native	Mature	Moderate	2.04	1.68
REMOVED	10	Agonis flexuosa	Willow Myrtle	5	5 x 6	24/20 (31)	59	Good	Fair	20+	Native	Mature	Moderate	3.72	2.65
REMOVED	11	Pittosporum eugenioides	Variegated Pittosporum	4	3 x 3	5/5/4/3/4/3 (10)	20	Good	Good	20+	Exotic	Mature	Moderate	2	1.68
REMOVED	12	Melaleuca linariifolia	Giant Bracelet Honey Myrtle	5	7 x 5	35	48	Good	Poor	20+	Native	Mature	Moderate	4.2	2.43
RETAINED	13	Cupressus sempervirens	Cypress	11.6	11 x 10	75	85	Good	Good	20+	Exotic	Mature	Moderate	9	3.09

TREE PLANTING NOTES

Dig a shallow, broad planting hole that is up to 3 times the width of the root ball but only as deep as the root ball. The soil under the root ball must not be excavated if it has been dug or disturbed then compact it (with your feet) so that it can support the root ball. Identify the trunk flare - the point where roots and trunk meet should be just visible at the surface, if it is buried by potting mix or site soil or mulch then remove any such material. Carefully remove the container and examine the roots, if there are circling roots then prune or remove them. Place the tree at the proper height, do not plant too deeply. It is better to plant a tree a little higher rather than deeper than the natural ground level. If there is a slope then it should be no deeper than the lower slope. Lift the tree by the root ball not by the trunk. Straighten the tree in the hole before backfilling with the excavated site soil, view the tree from several directions to check it is straight. Fill the hole gently but firmly with site soil- fill the hole about one third full, then water and gently but firmly pack the soil around the base of the root ball. Then fill hole. Fertiliser use is not recommended. Stake if necessary- if the tree is properly grown in the nursery and properly planted it will not need staking for support but it can assist with mower damage or very windy conditions. Ties should be loose to allow movement to stimulate the growth of supporting roots. Stakes should be removed after one year. Mulch the base of the tree-organic mulch such as pine bark can help to retain moisture and suppress weed growth. Do not cover the root ball or trunk with mulch. Provide follow up care-water once a week if there is no rain and more frequently if temperature exceeds 30c. The first few weeks and the first Spring-Summer-Autumn are vital.

LANDSCAPE NOTES

- THIS PLAN IS BASED ON GROUND FLOOR PLAN.
- PLANNING: 1504-2010 BY CIVILIT M.O.D.E.
- Contractor shall note that the required location & dimensions of works may not exactly correspond with existing conditions.
- Contractor shall use figured dimensions in preference to scale & shall verify all dimensions on site before commencement of works.
- Contractor shall verify the location of all services, gas, electrical, water, sewage & telephone before commencement of works.
- The landscape area is to be cleared of all weeds. Grass is to be spread over the area at the rate of 1.5kg/m² & then the area is to be relayed.
- All plants are to be healthy, disease-free specimens. Obsolete or similar slow release fertiliser to be applied to all plants. Thoroughly water in all plants. Stake and fill all canopy trees.
- Provide timber edging or similar between lawn, garden areas and gravel paths. All garden beds are to be mulched with 100mm minimum depth of wood chip mulch.
- There are to be three watered once per week until established. Mulch is to be renewed twelve months after planting. In the event of plant dying it is to be replaced.
- An in-ground irrigation system to be provided throughout landscaped areas, to be determined on site.

THIS PLAN IS FOR PLANNING PURPOSES ONLY AND NOT FOR CONSTRUCTION. Refer to Architects plans for existing structures and services to

PAVING: Paving units shall be 500mm x 400mm concrete units (to be specified), laid over a base of 100mm compacted crushed rock and 50mm washed river sand. Allow 5mm joints between paving units and crush-fill with 'precast' paving compound or similar approved.

All paving shall be to a grade of approximately 1% to aid surface drainage towards garden beds and away from house.

GARDEN BEDS: All garden beds shall be dug over to a depth of 500mm. A standard garden mix from an approved supplier containing topsoil and compost shall be incorporated to garden beds shall match paving finished levels.

LILYDALE TOPPING: Lilydale Topping shall be laid according to manufacturer's instructions and in locations shown on the drawings. Refer TO Detail. Refer Architects Plans for indication of levels. Confirm levels prior of construction.

MULCH: Spread an approved Eucalyptus mulch to a minimum depth of 100mm to all finished garden beds.