

PROPOSED DUAL OCCUPANCY
No. 13 MARSH STREET, MAIDSTONE
FOR: VV CONSTRUCTIONS

CITY OF MARIBYRNONG ADVERTISED PLAN

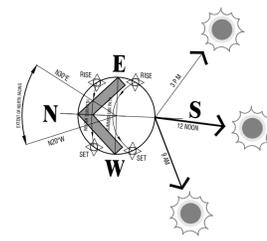
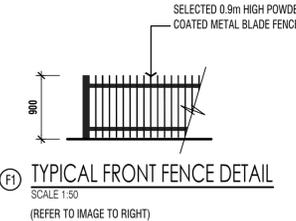
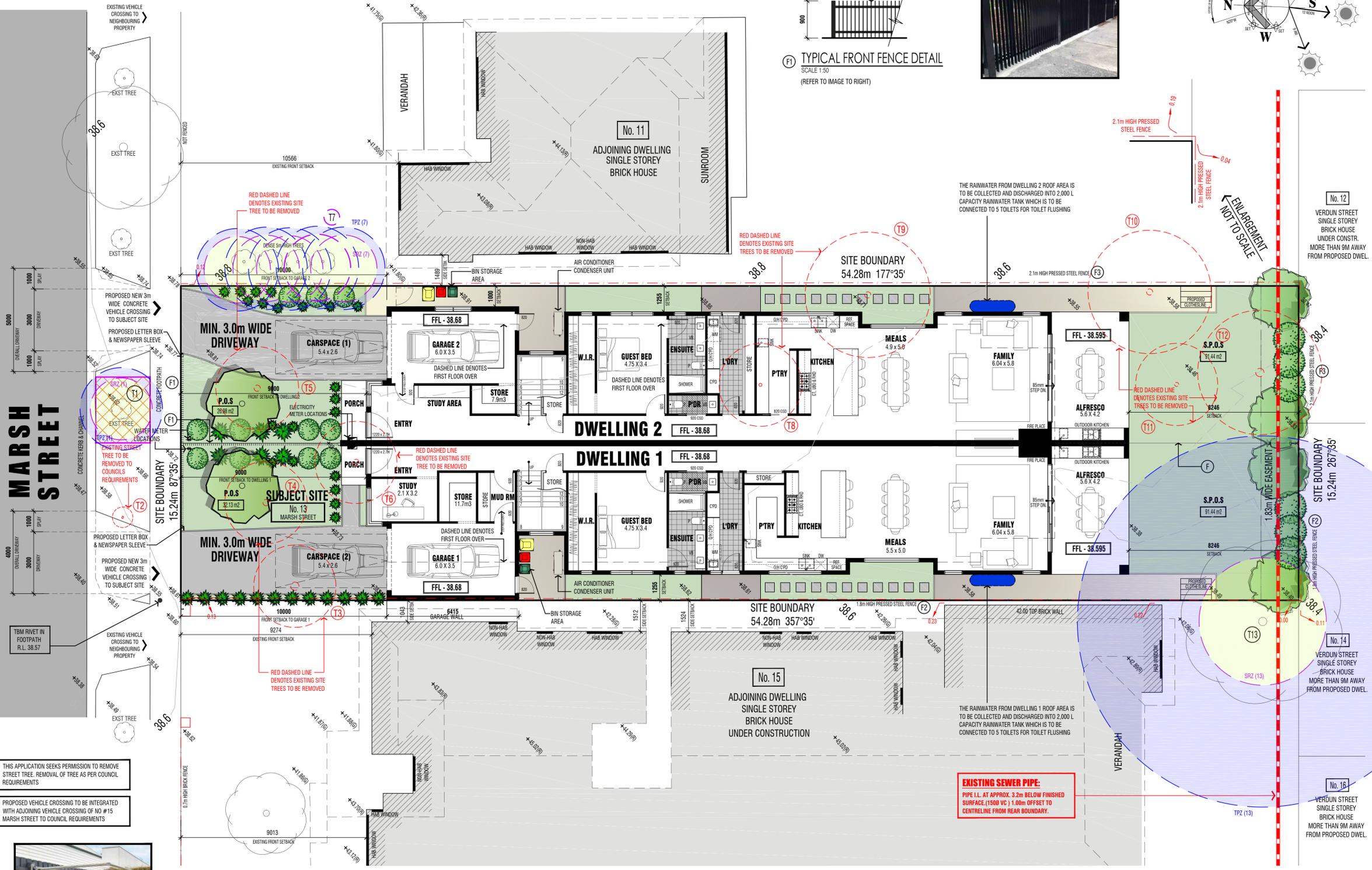
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3D FACADE PERSPECTIVE
(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE

SITE AND GROUND FLOOR PLANS

SCALE 1:100



FLOOR PLANS: LEGEND:

AREAS:

- DWELLING 1**
GROUND FLOOR: 181.58 msq. / 19.55 SQ's
FIRST FLOOR: 179.28 msq. / 19.29 SQ's
GARAGE (1): 29.34 msq. / 3.16 SQ's
ALFRESCO: 23.90 msq. / 2.57 SQ's
PORCH: 2.45 msq. / 0.26 SQ's
TOTAL: 416.55 msq. / 44.84 SQ's
FRONT YARD - P.O.S.: 32.13 msq.
S.P.O.S.: 91.44 msq.
- DWELLING 2**
GROUND FLOOR: 176.17 msq. / 18.96 SQ's
FIRST FLOOR: 179.37 msq. / 19.31 SQ's
GARAGE (2): 27.69 msq. / 2.98 SQ's
ALFRESCO: 23.90 msq. / 2.57 SQ's
PORCH: 3.65 msq. / 0.39 SQ's
TOTAL: 410.78 msq. / 44.21 SQ's
FRONT YARD - P.O.S.: 26.98 msq.
S.P.O.S.: 91.44 msq.
- GARDEN AREA**
SITE AREA: 827.00 msq.
MINIMUM REQUIRED OPEN SPACE FOR SITE 827.00 msq. (35%) - 289.45 msq.
TOTAL SITE OPEN SPACE - (35.07%) - 289.65 MSQ / 35.02%
- STORM RATING AREAS**
DWELLING 1 - ROOF AREA TO WATERTANK
THE RAINWATER FROM DWELLING 1 ROOF AREA OF 236.84msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING
- DWELLING 2 - ROOF AREA TO WATERTANK**
THE RAINWATER FROM DWELLING 2 ROOF AREA OF 230.05msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING

GARDEN AREA

MINIMUM REQUIRED OPEN SPACE FOR SITE 827.00 msq. (35%) - 289.45 msq.
TOTAL SITE OPEN SPACE - (35.07%) - 289.65 MSQ / 35.02%

STORM RATING AREAS

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SURFACE SCHEDULE:

EXPOSED AGGREGATE CONCRETE PAVING	[Grey Box]
GRASS AREA	[Green Box]
LILYDALE TOPPING	[Light Green Box]

LANDSCAPE NOTE:
LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

FENCE NOTE:

(F)	1.8m HIGH TIMBER PAILING FENCE
(F1)	0.9m HIGH SELECTED POWDER COATED METAL BLADE FENCE
(F2)	1.8m HIGH PRESSED STEEL FENCE
(F3)	2.1m HIGH PRESSED STEEL FENCE

VISIBILITY SPLAY NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)
ACCESSWAYS MUST HAVE A CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@ 13 MARSH STREET, MAIDSTONE
for: **WV CONSTRUCTIONS**

DATE: OCT - 2024
DRAWN BY: S. RAMZ
CHECKED BY: D. CERMA (DP-AD-033)
SCALE: 1:100
SHEET NO: 1 OF 4
draftmode designs pty ltd

THIS APPLICATION SEEKS PERMISSION TO REMOVE STREET TREE. REMOVAL OF TREE AS PER COUNCIL REQUIREMENTS

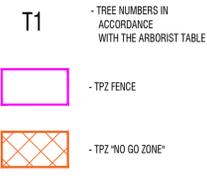
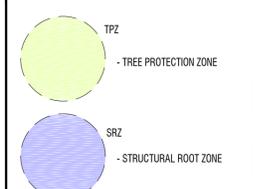
PROPOSED VEHICLE CROSSING TO BE INTEGRATED WITH ADJOINING VEHICLE CROSSING OF NO #15 MARSH STREET TO COUNCIL REQUIREMENTS



RETRACTABLE CLOTHES LINE DETAIL
SCALE 1:50

PROTECTIVE FENCING:
FENCING SHOULD BE ERECTED BEFORE ANY MACHINERY OR MATERIALS ARE BROUGHT ONTO THE SITE AND BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION. ONCE ERECTED, PROTECTIVE FENCING MUST NOT BE REMOVED OR ALTERED WITHOUT APPROVAL BY THE PROJECT ARBORIST. THE TPZ SHOULD BE SECURED TO RESTRICT ACCESS.

LANDSCAPE LEGEND:



TREE PROTECTION DURING CONSTRUCTION

THE FOLLOWING ARE GUIDELINES THAT MUST BE IMPLEMENTED DURING EXCAVATION, CONSTRUCTION AND LANDSCAPING TO MINIMISE THE IMPACT OF WORKS ON RETAINED TREES.

THE RETAINED TREE PROTECTION ZONE (TPZ) OF ALL RETAINED TREES IS FENCED AND CLEARLY MARKED AT ALL TIMES. FENCING SHOULD GENERALLY BE COMPLIANT WITH THE SPECIFICATIONS AS CONTAINED WITHIN SECTION 4.4 OF AS4970 AND WHERE FENCING IS NOT PRACTICABLE SUITABLY GROUND PROTECTION IS INSTALLED. THIS FENCE WILL DETER THE PLACEMENT OF BUILDING MATERIALS, ENTRY OF HEAVY EQUIPMENT AND VEHICLES AND ALSO THE ENTRY OF WORKERS AND/OR THE PUBLIC INTO THE TPZ.

IF REQUIRED THE CONSULTANT ARBORIST IS TO BE ON-SITE TO SUPERVISE EXCAVATION WORKS AROUND ANY RETAINED TREES WHERE THE TPZ WILL BE ENCROACHED.

NO PERSONS, VEHICLES OR MACHINERY TO ENTER THE TPZ WITHOUT THE CONSENT OF THE CONSULTING ARBORIST OR SITE MANAGER.

ANY UNDERGROUND SERVICE INSTALLATIONS WITHIN THE TPZ SHOULD BE BORED AND UTILITY AUTHORITIES SHOULD COMMON TRENCH WHERE POSSIBLE.

NO FUEL, OIL DUMPS OR CHEMICALS SHALL BE ALLOWED IN OR STORED ON THE TPZ AND THE SERVICING AND RE-FUELLING OF EQUIPMENT AND VEHICLES SHOULD BE CARRIED OUT AWAY FROM THE ROOT ZONES.

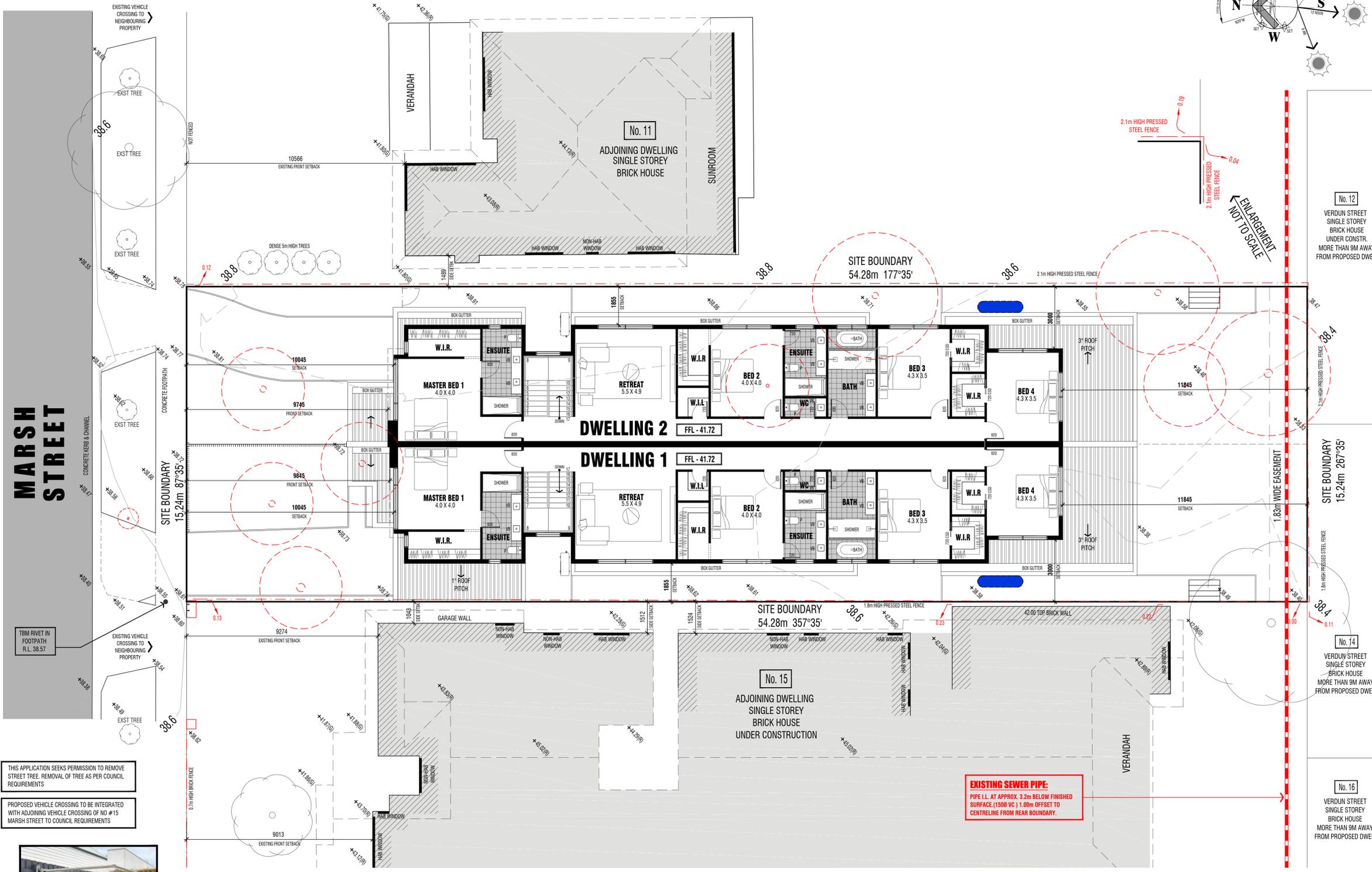
NO STORAGE OF MATERIAL, EQUIPMENT OR TEMPORARY BUILDING SHOULD TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.

NOTHING WHATSOEVER SHOULD BE ATTACHED TO ANY OTHER INCLUDING TEMPORARY SERVICES WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE.

SUPPLEMENTARY WATERING SHOULD BE PROVIDED TO ALL TREES THROUGH ANY DRY PERIODS DURING AND AFTER THE CONSTRUCTION PROCESS. TESTING WITH A SOIL PROBE IN A NUMBER OF LOCATIONS AROUND THE TREE WILL HELP ASCERTAIN SOIL MOISTURE LEVELS AND REQUIREMENTS TO IRRIGATE. WATER NEEDS TO BE APPLIED SLOWLY TO AVOID RUNOFF. A DAILY WATERING WITH 5 LITRES OF WATER FOR EVERY 30 MM OF TRUNK CALIPER MAY PROVIDE THE MOST EVEN SOIL MOISTURE LEVEL FOR ROOTS (WATSON & HEMELICK, 1997). IRRIGATION SHOULD WET THE ENTIRE ROOT ZONE AND BE ALLOWED TO DRY OUT PRIOR TO ANOTHER APPLICATION. WATERING SHOULD CONTINUE FROM NOVEMBER UNTIL APRIL.

SITE AND FIRST FLOOR PLANS

SCALE 1:100



FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1
GROUND FLOOR: 181.58 msq / 19.55 SQ's
FIRST FLOOR: 179.28 msq / 19.29 SQ's
GARAGE (1): 29.34 msq / 3.16 SQ's
ALFRESCO: 23.90 msq / 2.57 SQ's
PORCH: 2.45 msq / 0.26 SQ's
TOTAL: 416.55 msq / 44.84 SQ's
FRONT YARD - P.O.S.: 32.13 msq
S.P.O.S.: 91.44 msq

DWELLING 2
GROUND FLOOR: 176.17 msq / 18.96 SQ's
FIRST FLOOR: 179.37 msq / 19.31 SQ's
GARAGE (2): 27.69 msq / 2.98 SQ's
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PORCH: 3.65 msq / 0.39 SQ's
TOTAL: 410.78 msq / 44.21 SQ's
FRONT YARD - P.O.S.: 26.98 msq
S.P.O.S.: 91.44 msq

SITE AREA: 827.00 msq.
% LAND COVERAGE WITH O/H: 468.68 msq / 56.67 %
(INCLUDES EXTERNAL STORAGE SHED AREAS)
% PERMEABILITY: 290.02 msq / 35.07 %
DRIVEWAYS & PATHS: 65.75 msq.

GARDEN AREA
SITE AREA: 827.00 msq.
MINIMUM REQUIRED OPEN SPACE FOR SITE 827.00 msq (35%) - 289.45 msq.
TOTAL SITE OPEN SPACE - (35.07%) - 289.65 MSQ / 35.02%

STORM RATING AREAS

DWELLING 1 - ROOF AREA TO WATERTANK
THE RAINWATER FROM DWELLING 1 ROOF AREA OF 236.84msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING

DWELLING 2 - ROOF AREA TO WATERTANK
THE RAINWATER FROM DWELLING 2 ROOF AREA OF 230.05msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING

LANDSCAPE NOTE:
LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

- FENCE NOTE:**
- (F) 1.8m HIGH TIMBER PAILING FENCE
 - (F1) 0.9m HIGH SELECTED POWDER COATED METAL BLADE FENCE
 - (F2) 1.8m HIGH PRESSED STEEL FENCE
 - (F3) 2.1m HIGH PRESSED STEEL FENCE

VISIBILITY SPLAY NOTE: (IN ACCORDANCE WITH CLAUSE 52.06-9)
ACCESSWAYS MUST HAVE A CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE, TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@: 13 MARSH STREET, MAIDSTONE
for: WV CONSTRUCTIONS

DATE: OCT-2024	DRAWN BY: S. RAMZ	CHECKED BY: D. CERINA (DP-AD-833)	SCALE: 1:100	DRAWN BY: 2
draftmode designs pty ltd				4

THIS APPLICATION SEEKS PERMISSION TO REMOVE STREET TREE. REMOVAL OF TREE AS PER COUNCIL REQUIREMENTS

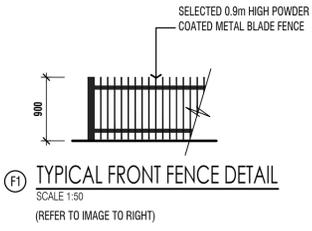
PROPOSED VEHICLE CROSSING TO BE INTEGRATED WITH ADJOINING VEHICLE CROSSING OF NO #15 MARSH STREET TO COUNCIL REQUIREMENTS



RETRACTABLE CLOTHES LINE: CLOTHES LINE TO BE FITTED IN FRONT OF BOUNDARY FENCE.

RETRACTABLE CLOTHES LINE DETAIL
SCALE 1:50

EXISTING SEWER PIPE:
PIPE I.L. AT APPROX. 3.2m BELOW FINISHED SURFACE (1500 VC) 1.00m OFFSET TO CENTRELINE FROM REAR BOUNDARY.

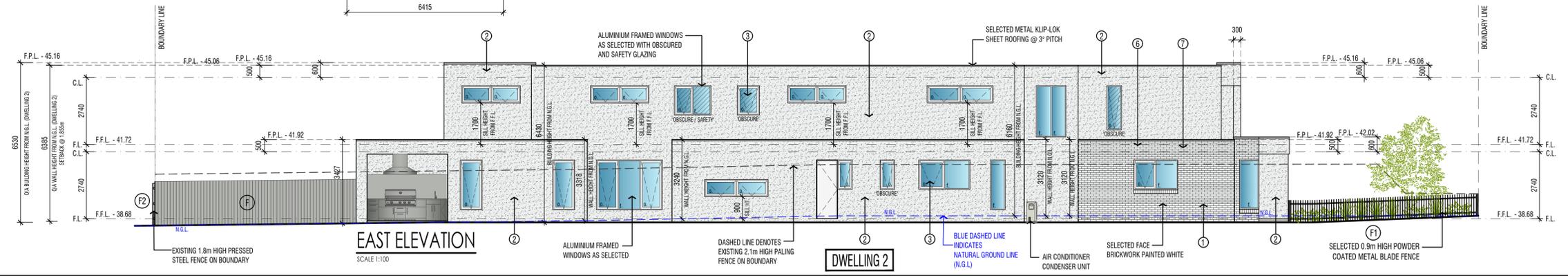
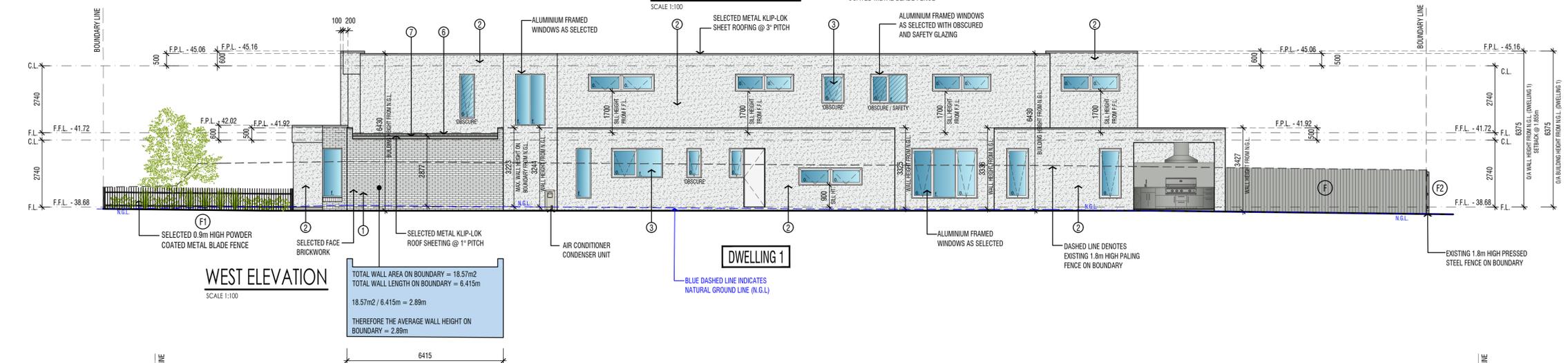
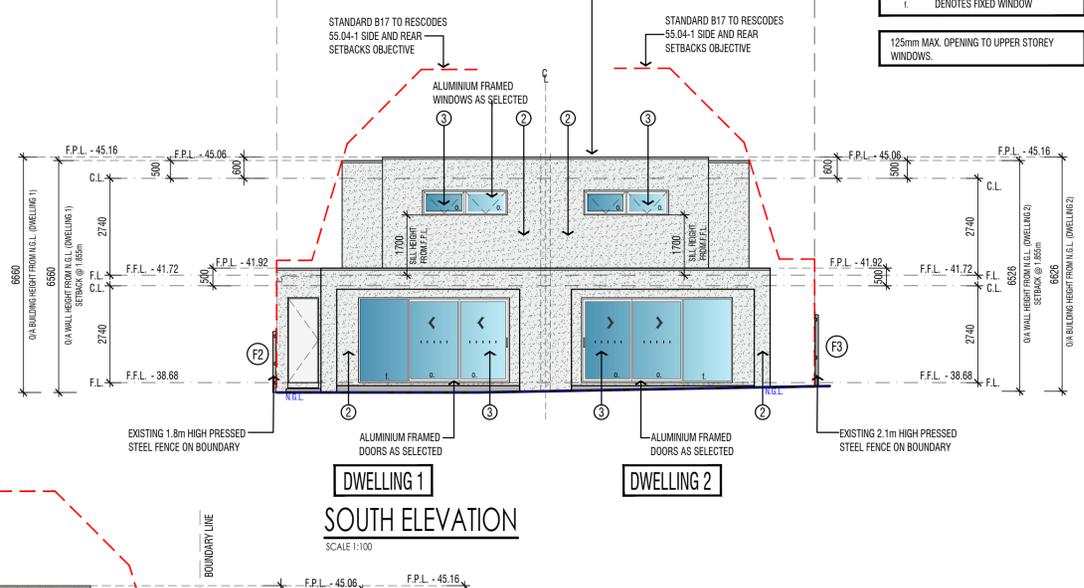
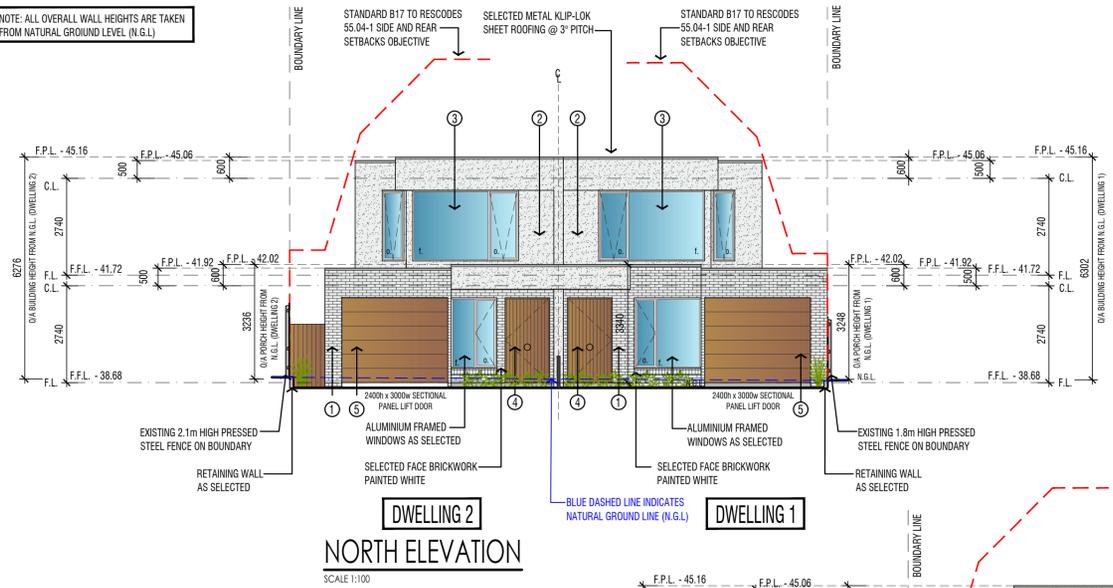


PROPOSED ELEVATIONS AND COLOUR & MATERIAL SCHEDULE

SCALE 1:100

NOTE: ALL OVERALL WALL HEIGHTS ARE TAKEN FROM NATURAL GROUND LEVEL (N.G.L.)

LEGEND:
 N.G.L. DENOTES NATURAL GROUND LINES
 a DENOTES OPENABLE WINDOW
 f DENOTES FIXED WINDOW
 125mm MAX. OPENING TO UPPER STOREY WINDOWS.



MATERIALS LEGEND

- 1 BRICKWORK: WHITE
- 2 RENDER / PAINT - MASTER WALL: WHITE
- 3 WINDOWS/DOORS: WHITE
- 4 ENTRY DOORS: TIMBER
- 5 GARAGE DOORS: TIMBER
- 6 ROOF SHEETING: COLORBOND SHALE GREY
- 7 FASCIA AND GUTTERS: COLORBOND SHALE GREY

LANDSCAPE NOTE:
 LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

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REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

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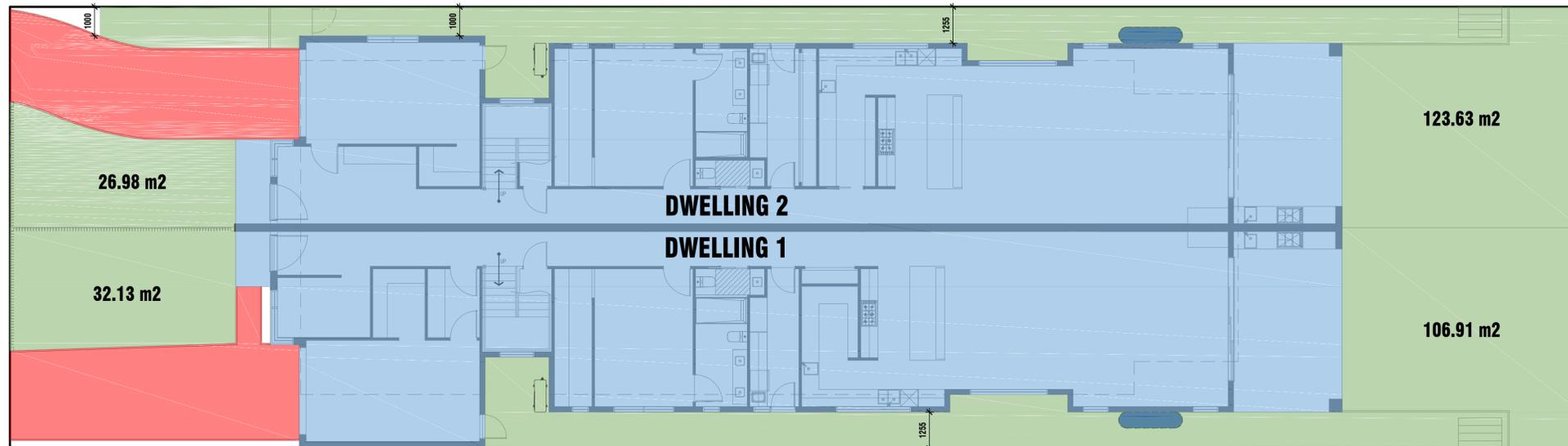
@ 13 MARSH STREET, MAIDSTONE
 for: **VV CONSTRUCTIONS**

draftmode designs pty ltd
 A - 28 Thomas Street, Airport West 3042
 P - 9 330 3434
 E - enquiries@draftmode.com.au

DATE: OCT - 2024
 DRAWN BY: S. RAMZ
 CHECKED BY: D. GERRA (DP-AD-833)
 SCALE: 1:100
 SHEET: 3 OF 4

GARDEN AREA AND STORMWATER ASSESSMENT PLANS

SCALE 1:100



GARDEN AREA AND STORMWATER ASSESSMENT PLAN LEGENDS:

GARDEN AREA LEGEND:

- GARDEN AREA (MINIMUM 1m WIDE)
- PROPOSED FLOOR PLANS (NOT CALCULATED INTO GARDEN AREA)
- DRIVEWAY (NOT CALCULATED INTO GARDEN AREA)

GARDEN AREA

SITE AREA: 827.00 msq.
MINIMUM REQUIRED OPEN SPACE FOR SITE 827.00 msq. (35%) - 289.45 msq.
TOTAL SITE OPEN SPACE - (35.07%) - 289.65 msq / 35.02%

GARDEN ASSESSMENT PLAN

SCALE 1:100

Melbourne Water STORM Rating Report

TransactionID: 0
Municipality: MARIBYRNONG
Rainfall Station: MARIBYRNONG
Address: 13 Marsh Street

Maidstone VIC 3012
Assessor: Daniel Grima
Development Type: Residential - Multiunit
Allotment Site (m2): 827.00
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 1 TREATED TO WTANK	236.84	Rainwater Tank	3,000.00	5	99.20	87.00
DWELLING 2 TREATED TO WTANK	230.05	Rainwater Tank	3,000.00	5	100.00	87.00

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 230.05msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING



STORMWATER ASSESSMENT LEGEND:

- TREATED ROOF AREA TO WATERTANK
- UNTREATED ROOF AREA, DRIVEWAY & COMMON DRIVEWAY
- TREATED ROOF AREA TO R/GARDEN
- PERMEABLE DRIVEWAY (WATERPAVE DRIVE/TEC OR SIMILAR)
- 3000l RAIN WATER TANKS
- 100mm RAINGARDEN

STORM RATING AREAS

DWELLING 1 - ROOF AREA TO WATERTANK

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STORMWATER ASSESSMENT PLAN

SCALE 1:100

THE RAINWATER FROM DWELLING 2 ROOF AREA OF 230.05msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 4 TOILETS FOR TOILET FLUSHING

REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@: 13 MARSH STREET, MAIDSTONE

for: **VV CONSTRUCTIONS**

DRAWN BY: S. RAMZ	CHECKED BY: D. GRIMA (DR-AD583)	DATE: OCT - 2024	SCALE: 1:100	SHEET NO: 4
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MATERIALS LEGEND

- ① BRICKWORK: WHITE
- ② RENDER / PAINT - MASTER WALL: WHITE
- ③ WINDOWS/DOORS: WHITE
- ④ ENTRY DOORS: TIMBER
- ⑤ GARAGE DOORS: TIMBER
- ⑥ ROOF SHEETING: COLORBOND SHALE GREY
- ⑦ FASCIA AND GUTTERS: COLORBOND SHALE GREY



3D FACADE PERSPECTIVE ⑤
(3D PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY)
NOT TO SCALE



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MAIDSTONE
for: VV CONSTRUCTIONS

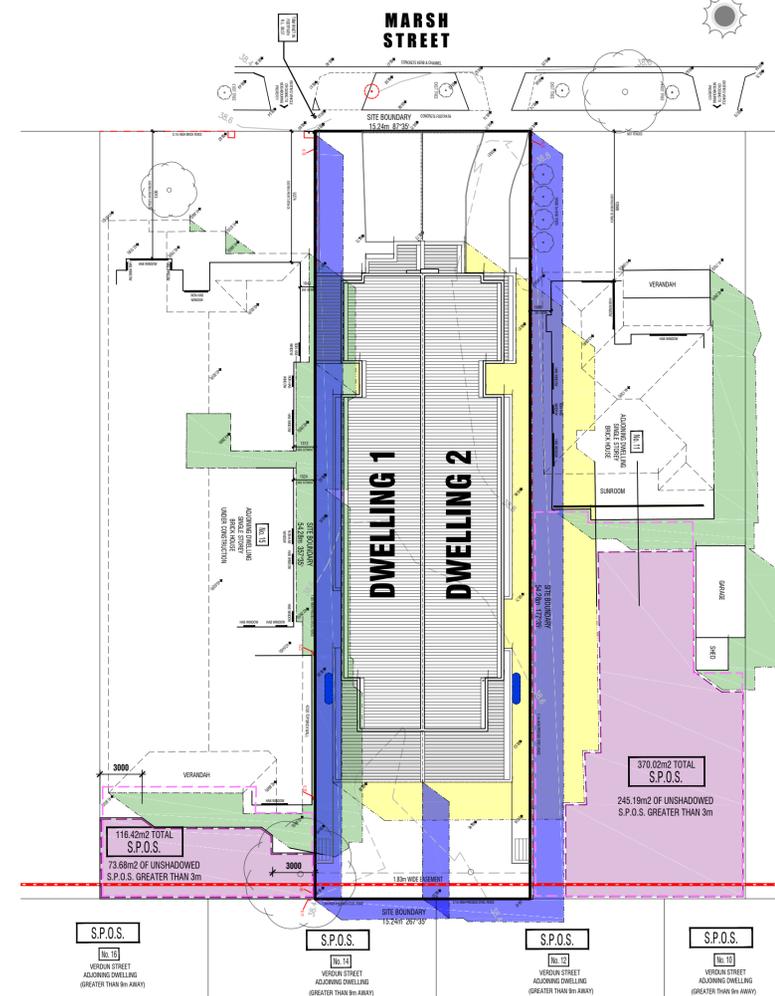
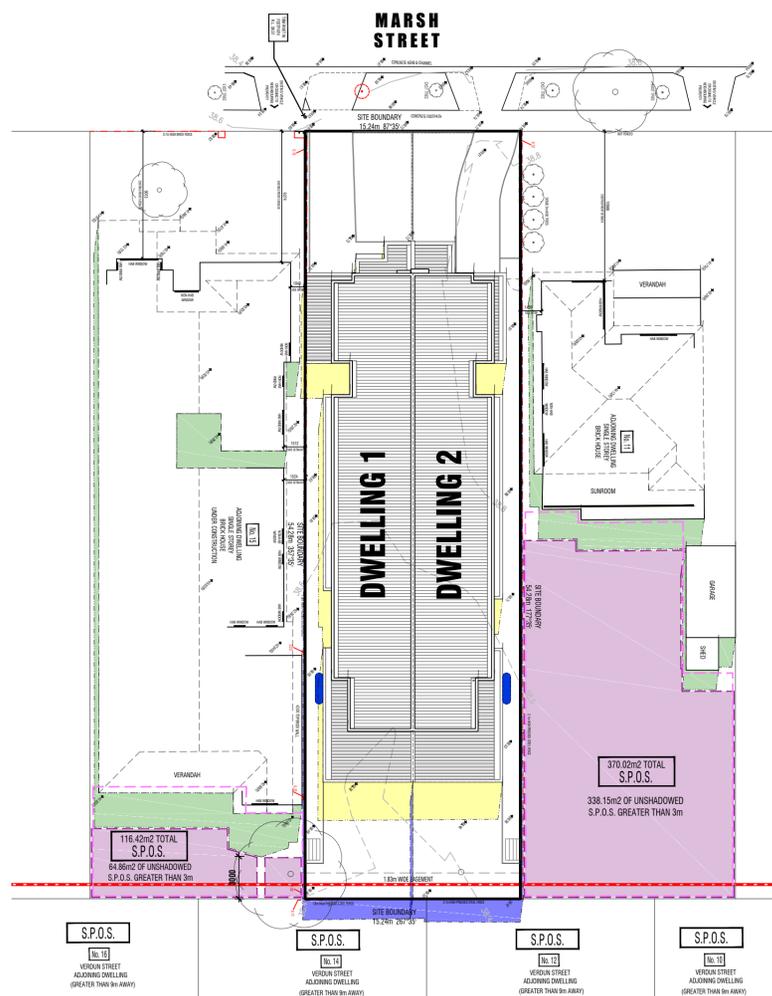
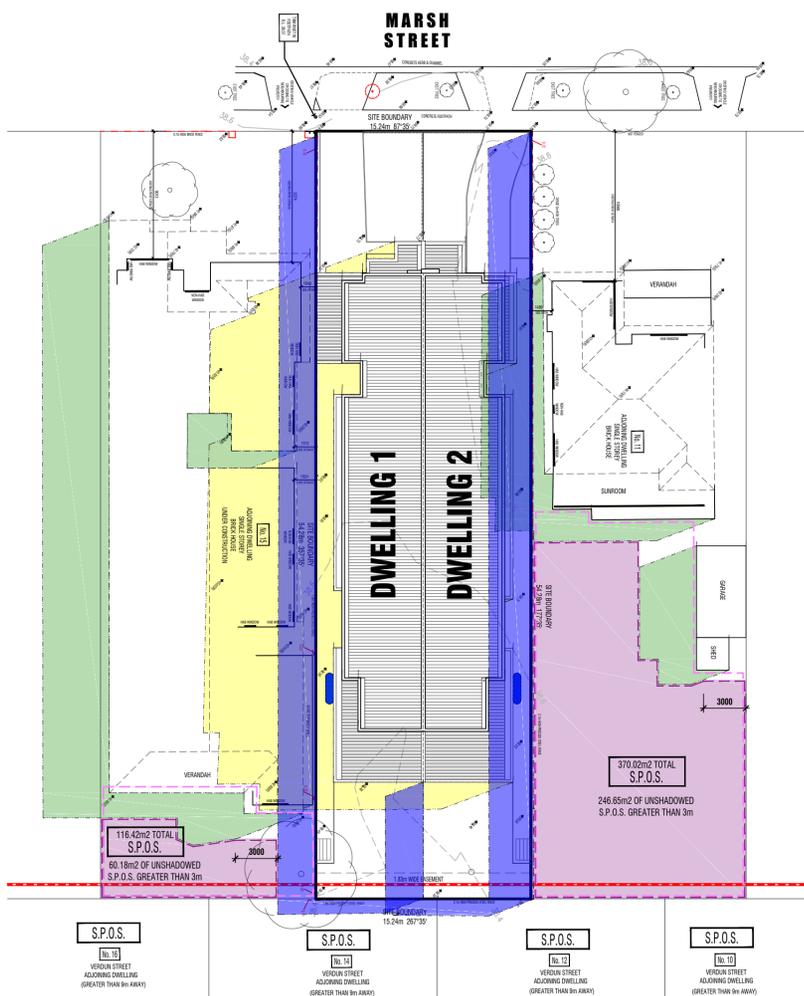
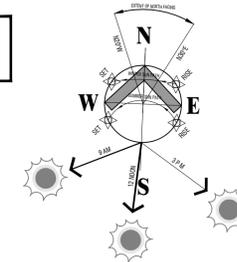
DRAWN BY: S. RAMIZ	DATE: OCT - 2024	DESIGNED BY: D. GERMA (DR-AD/83)	SCALE: NOT TO SCALE	P1
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draftmode designs Pty Ltd
 A - 28 Thomas Street, Airport West 3042
 P - 9 300 3434
 E - enquiries@draftmode.com.au

STREETSCAPE & SHADOW DIAGRAMS

SCALE 1:250

SHADOW DIAGRAMS
DISPLAYED @ 22nd SEPTEMBER
EQUINOX DATUM



9am Shadow Diagrams

SCALE 1:250

* NO ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ALL ADJOINING NEIGHBOURS S.P.O.S. @ 9am.

12 Noon Shadow Diagrams

SCALE 1:250

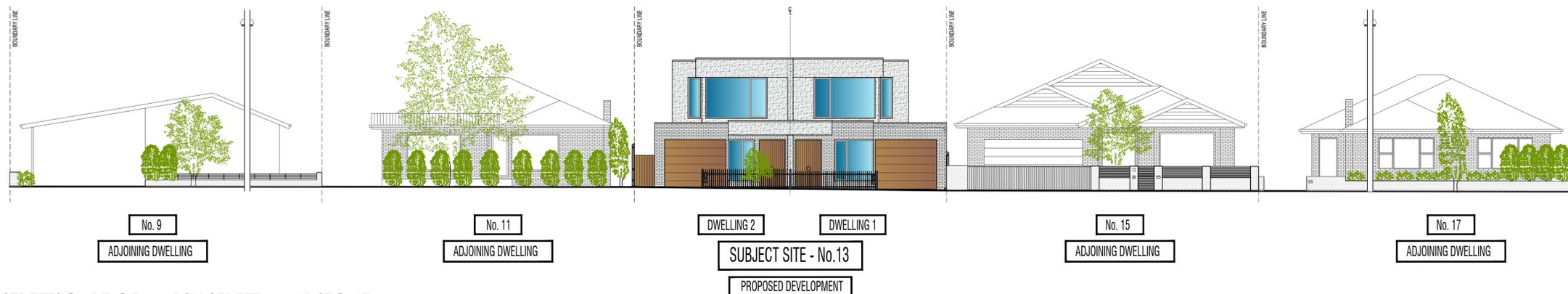
* NO ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ALL ADJOINING NEIGHBOURS S.P.O.S. @ 12 NOON.

3pm Shadow Diagrams

SCALE 1:250

* ADDITIONAL SHADOWS CAST FROM PROPOSED DEVELOPMENT INTO ADJOINING NEIGHBOURS S.P.O.S. AT 13 MARSH STREET, MAIDSTONE @ 3pm, HOWEVER THERE IS STILL 246.65m² UNSHADOWED S.P.O.S. AS SHOWN ABOVE IN PINK HATCH

LEGEND:	
	SHADOW CAST FROM PROPOSED DEVELOPMENT ON SUBJECT SITE
	EXTENT OF SHADOW CAST FROM EXISTING AND PROPOSED FENCES
	EXTENT OF SHADOW CAST FROM ADJOINING NEIGHBOURS & SHEDS
	EXTENT OF OVERALL EXISTING ADJOINING NEIGHBOURS SECLUDED PRIVATE OPEN SPACE
	EXTENT OF AREA THAT REMAINS FREE OF SHADOW AT LEAST 3m WIDE



STREETSCAPE OF MARSH STREET, MAIDSTONE
NOT TO SCALE

REVISED DRAWINGS AS PER COUNCILS FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

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@ 13 MARSH STREET,
MAIDSTONE
for: **VV CONSTRUCTIONS**

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PROJ. NO.	DATE	DRAWN BY	CHECKED BY	SCALE	DRAWN BY
DO2024-24	OCT - 2024	S. RAMZ	D. CERNA (DR-AD-583)	1:250	S1

draftmode designs Pty Ltd
A - 28 Thomas Street, Airport West 3042
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SITE ANALYSIS PLAN

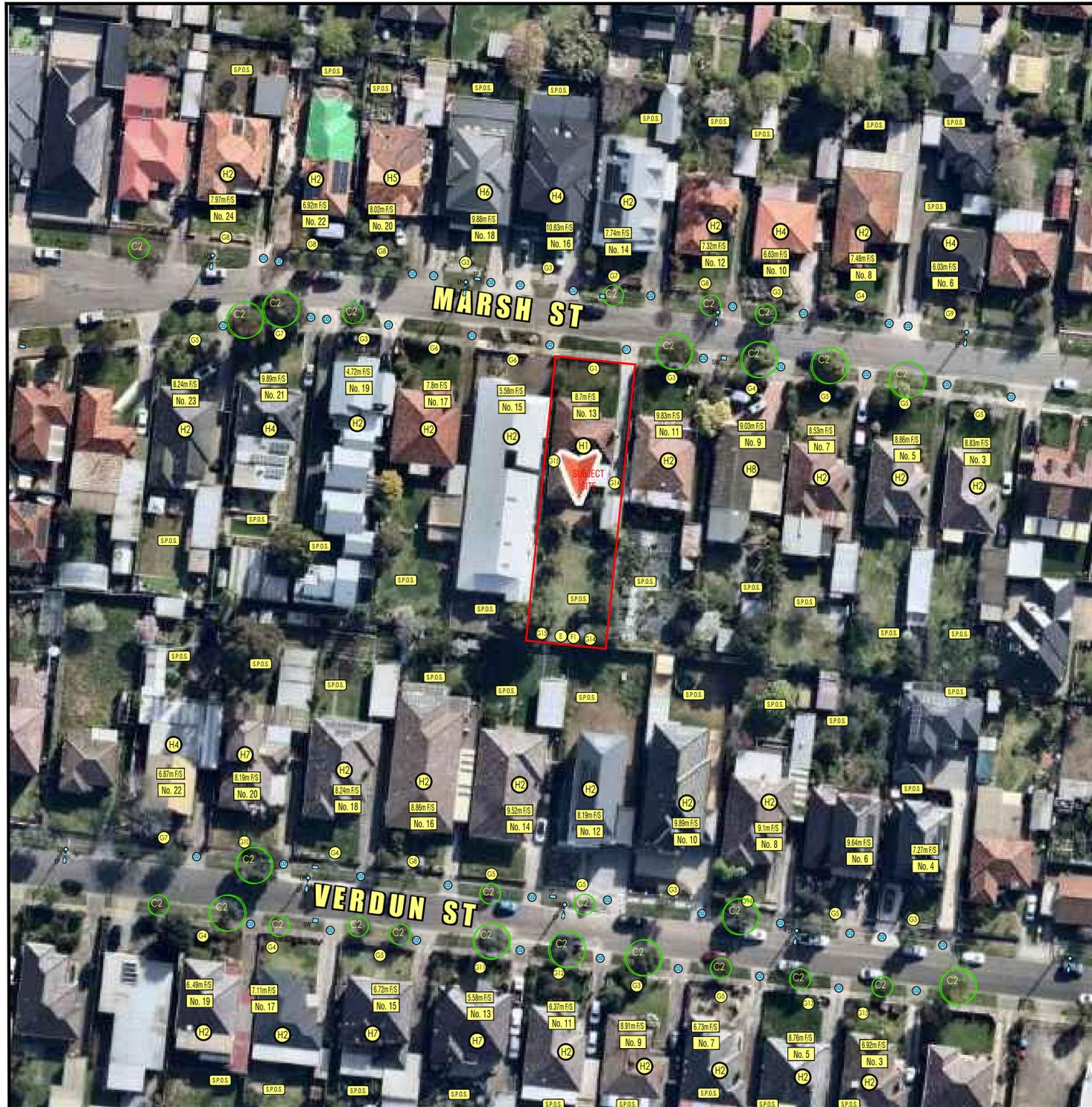
SCALE 1:500



13 MARSH STREET, MAIDSTONE - STREETScape



13 MARSH STREET, MAIDSTONE - (OPPOSITE SIDE) STREETScape



13 MARSH STREET, MAIDSTONE - SUBJECT SITE



No.11 MARSH STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE LEFT)



No.15 MARSH STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE RIGHT)

SITE ANALYSIS PLAN: LEGEND

- ORIENTATION**
A SITE HAS A NORTH TO SOUTH FACING ORIENTATION
- TOPOGRAPHY**
B LAND HAS A DECLINE OF 0.31m FROM NORTH TO SOUTH (REFER TO LEVELS ON PLAN PROVIDED)
- VEGETATION**
C1 EXISTING SITE TREES & SHRUBS TO BE REMOVED
C2 EXISTING STREET TREES & LANDSCAPE
- ACCESS POINTS**
D1 EXISTING PEDESTRIAN AND VEHICLE ACCESS FROM PAPER ROAD AND PAPER ROAD TO SUBJECT SITE
D2 EXISTING STREET CROSSINGS
- DRAINAGE**
E DRAINAGE POINT - NO UNMANAGABLE DRAINAGE CONSTRAINTS. POINT OF DISCHARGE AS PER COUNCIL REQUIREMENTS
- SERVICE**
F1 SITE HAS ACCESS TO INFRASTRUCTURE (SEWER, WATER SUPPLY, GAS & TELEPHONE)
- FENCES & BOUNDARIES**
G1 900m HIGH BRICK FENCE
G2 1.6m HIGH METAL SHEET FENCE
G3 NO FENCE
G4 800m HIGH BRICK FENCE
G5 900m HIGH BRICK FENCE
G6 600m HIGH BRICK FENCE
G7 1.2m HIGH PICKET FENCE
G8 700m HIGH BRICK FENCE
G9 1m HIGH METAL FENCE
G10 1.2m HIGH METAL FENCE
G11 1.2m HIGH BRICK WITH METAL INSERT FENCE
G12 900m HIGH BRICK WITH METAL INSERT FENCE
G13 800m HIGH BRICK WITH METAL INSERT FENCE
G14 2.1m HIGH PRESSED STEEL FENCE
G15 1.8m HIGH PRESSED STEEL FENCE

- LOCATION/USE OF SURROUNDING BUILDINGS**
H1 SINGLE STOREY WEATHERBOARD DWELLING TO BE DEMOLISHED
H2 SINGLE STOREY BRICK VENEER DWELLING
H3 DOUBLE STOREY RENDER WITH WEATHERBOARD UPPER UNITS
H4 SINGLE STOREY WEATHERBOARD DWELLING
H5 DOUBLE STOREY BRICK VENEER WITH WEATHERBOARD UPPER UNITS
H6 DOUBLE STOREY BRICK VENEER WITH LIGHTWEIGHT UPPER UNITS
H7 DOUBLE STOREY BRICK VENEER DWELLING
H8 SINGLE STOREY VERTICAL TIMBER DWELLING

- SECLUDED OPEN SPACE**
SP.O.S. SECLUDED PRIVATE OPEN SPACES OF SURROUNDING DWELLINGS
- HABITABLE ROOM WINDOWS/DOORS**
HAB. HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)
N/H WIN. NON-HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)
- SOLAR ACCESS**
K POTENTIAL DAYLIGHT ALONG NORTH SIDE OF SITE
- WALLS ON BOUNDARY**

LOCALITY GUIDE

MAP REF	NAME	DISTANCE	TYPE
M1	HARRIMON PARK	500m	O1
M2	SCOVELL RESERVE	500m	O2
M3	ROLLING MILL GREEN	600m	O3
M4	BOGENS RESERVE	600m	O4
N1	BUNNINGS	1.5km	P1
N2	HOMEOWNER CENTRE	1.7km	P2
N3	HIGHPOINT SHOPPING CENTRE	1.7km	P3
N4	BRAYBROOK SHOPPING CENTRE	1.7km	P4
O1	PRICHAM ST ROSAMOND RD TRAM STOP	337m	
O2	PIERS ST ROSAMOND RD TRAM STOP 2E	337m	
O3	VAUNERE ST MITCHELL ST TRAM STOP	285m	
O4	FLEMINGTON RACECOURSE STATION	238m	
P1	FOOTSCRAH NORTH PRIMARY SCHOOL	300m	
P2	ST MARGARETS PRIMARY SCHOOL	236m	
P3	HARRISBURG SECONDARY COLLEGE	550m	
P4	CAROLINE CHISHOLM CATHOLIC COLLEGE	3.0km	

NOTE: ALL DIRECTIONAL ARROWS & DISTANCES TAKEN FROM SUBJECT SITE INDICATED BY HOUSE ON MAP BELOW



MAP N.T.S.

SYMBOLS

- | | |
|---------------------------------|--------------|
| EXISTING STREET CROSSING | HOUSE DRAIN |
| STREET SIGN | TELSTRA PIT |
| ELECTRICAL POLE | FIRE HYDRANT |
| ELECTRICAL PIT | PIT |
| ELECTRICAL POLE WITH LIGHT POLE | STORMWATER |

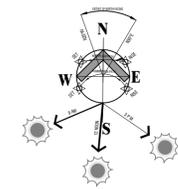
PROPOSED DUAL OCCUPANCY

@: 13 MARSH STREET, MAIDSTONE

for: VV CONSTRUCTIONS

DATE: 02/08/24
DRAWN BY: M. GRIMA
CHECKED BY: M. GRIMA
SCALE: 1:500
SHEET NO: **D1** OF 2

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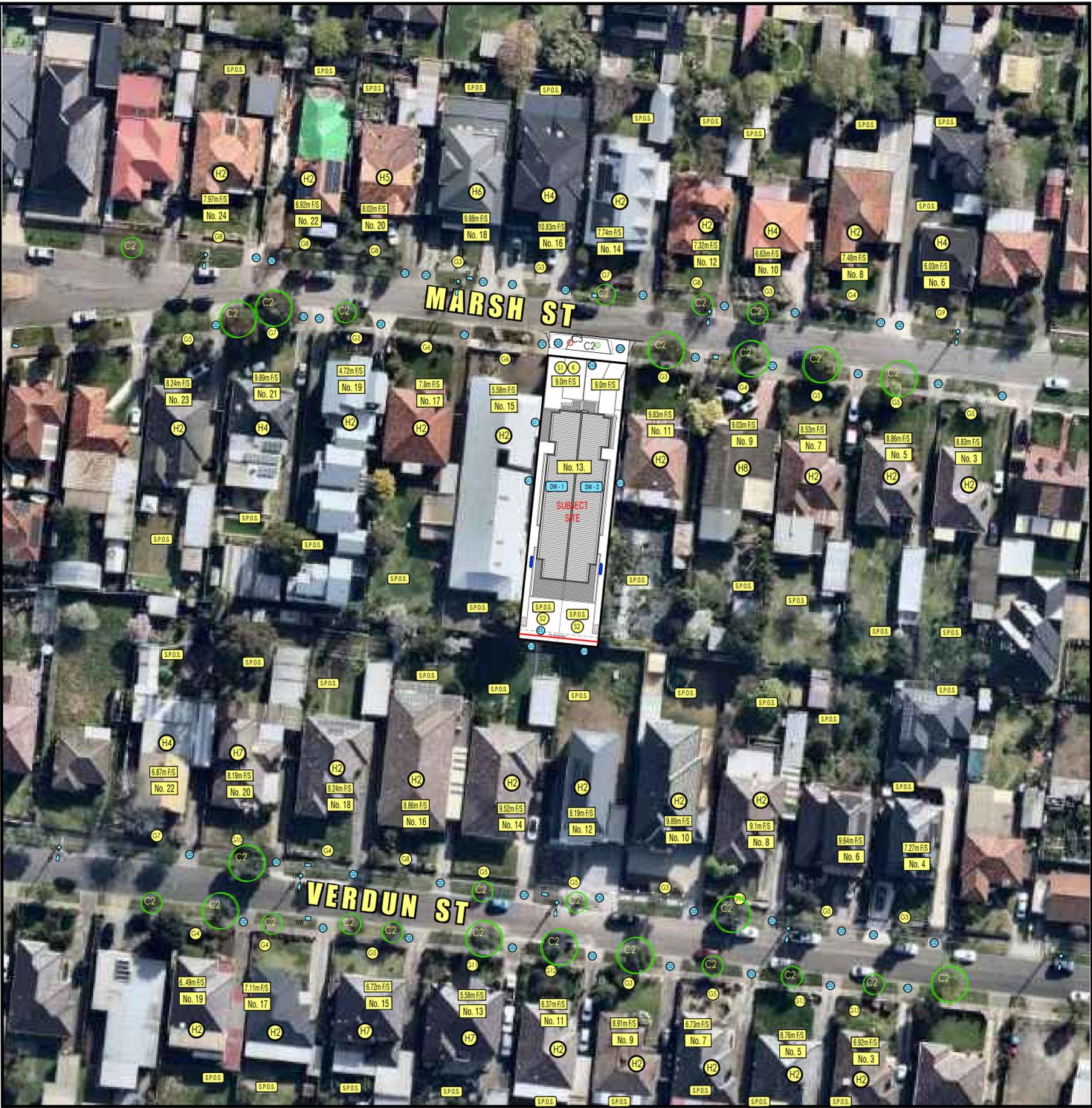
DESIGN RESPONSE PLAN
SCALE 1:500



13 MARSH STREET, MAIDSTONE - STREETScape



13 MARSH STREET, MAIDSTONE - (OPPOSITE SIDE) STREETScape



13 MARSH STREET, MAIDSTONE - SUBJECT SITE



**No.11 MARSH STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE LEFT)**



**No.15 MARSH STREET, MAIDSTONE
ADJOINING NEIGHBOUR (TO THE RIGHT)**

DESIGN RESPONSE PLAN: LEGEND

- ORIENTATION**
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- TOPOGRAPHY**
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C1 EXISTING SITE TREES & SHRUBS TO BE REMOVED
C2 EXISTING STREET TREES & LANDSCAPE
C3 EXISTING STREET TREE TO BE REMOVED
- ACCESS POINTS**
D1 EXISTING PEDESTRIAN AND VEHICLE ACCESS FROM MARSH STREET TO SUBJECT SITE
D2 EXISTING STREET CROSSINGS
D3 PROPOSED PEDESTRIAN AND VEHICLE ACCESS FROM MARSH STREET TO SUBJECT SITE
- DRAINAGE**
E DRAINAGE POINT - NO UNMANAGABLE DRAINAGE CONSTRAINTS. POINT OF DISCHARGE AS PER COUNCIL REQUIREMENTS
- SERVICE**
F1 SITE HAS ACCESS TO INFRASTRUCTURE (SEWER, WATER SUPPLY, GAS & TELEPHONE)
- FENCES & BOUNDARIES**
G1 500mm HIGH BRICK FENCE
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N/H WIN. NON-HABITABLE ROOM WINDOWS WITHIN 9m OF SITE (REFER TO FLOOR PLANS FOR EXACT WINDOW LOCATION)
- SOLAR ACCESS**
K POTENTIAL DAYLIGHT ALONG NORTH SIDE OF SITE
- WALLS ON BOUNDARY**
L1 3.05m HIGH WALL ON BOUNDARY
- LAND USE AND DENSITY RESPONDS TO:**
Q * LOCATION WITHIN ESTABLISHED RESIDENTIAL AREA
* LACK OF MANAGEABLE INFRASTRUCTURE CONSTRAINTS
* ACCESSIBILITY TO PUBLIC TRANSPORT, LOCAL SHOPS, RESERVES & SCHOOLS
* SITE DIMENSION & AREA
R MATERIALS, COLOURS & TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS & REFLECT THE BUILDINGS ADJACENT
- LANDSCAPING**
S1 LANDSCAPING PROVIDED TO REINFORCE THE PRESENTATION OF EACH RESIDENCE TO THE STREET
S2 LANDSCAPING PROVIDED TO MAINTAIN PRIVACY BOTH WITHIN & BEYOND THE DEVELOPMENT
T CREATE PRIVATE NORTH FACING COURTYARDS, MAINTAIN SUFFICIENT DIMENSIONS TO ENABLE PLANTING OF LARGER SHADE TREES

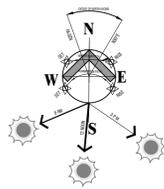
SYMBOLS

	EXISTING STREET CROSSING		HOUSE DRAIN
	STREET SIGN		TELSTRA PIT
	ELECTRICAL POLE		FIRE HYDRANT
	ELECTRICAL PIT		PIT
	ELECTRICAL POLE WITH LIGHT POLE		STORMWATER

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for: VV CONSTRUCTIONS

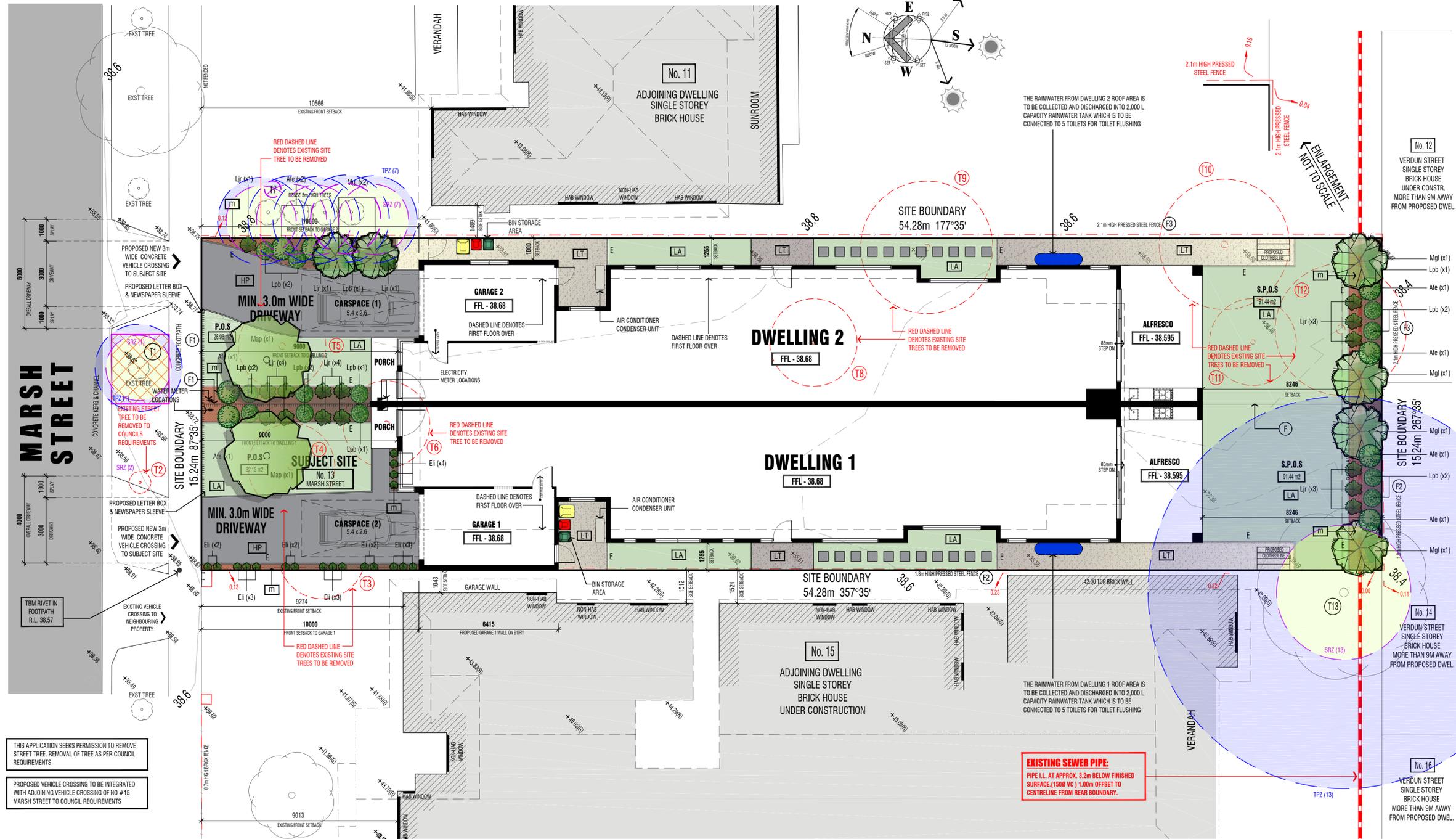
DATE: 01/02/24
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DRAWN BY: M. GRIMA
CHECKED BY: D. GRIMA (DP-ADJUS)
SCALE: 1:500
SHEET NO: **D2** OF 2

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SITE AND GROUND FLOOR PLANS

SCALE 1:100



THIS APPLICATION SEEKS PERMISSION TO REMOVE STREET TREE. REMOVAL OF TREE AS PER COUNCIL REQUIREMENTS

PROPOSED VEHICLE CROSSING TO BE INTEGRATED WITH ADJOINING VEHICLE CROSSING OF NO #15 MARSH STREET TO COUNCIL REQUIREMENTS

FLOOR PLANS: LEGEND:

AREAS:

DWELLING 1

GROUND FLOOR: 181.58 msq / 19.55 SQ's
FIRST FLOOR: 179.28 msq / 19.29 SQ's
GARAGE (1): 29.34 msq / 3.16 SQ's
ALFRESCO: 23.90 msq / 2.57 SQ's
PORCH: 2.45 msq / 0.26 SQ's

TOTAL: 416.55 msq / 44.84 SQ's

FRONT YARD - P.O.S.: 32.13 msq
S.P.O.S.: 91.44 msq

DWELLING 2

GROUND FLOOR: 176.17 msq / 18.96 SQ's
FIRST FLOOR: 179.37 msq / 19.31 SQ's
GARAGE (2): 27.69 msq / 2.98 SQ's
ALFRESCO: 23.90 msq / 2.57 SQ's
PORCH: 3.65 msq / 0.39 SQ's

TOTAL: 410.78 msq / 44.21 SQ's

FRONT YARD - P.O.S.: 26.98 msq
S.P.O.S.: 91.44 msq

SITE AREA: 827.00 msq
% LAND COVERAGE WITH O/H: 468.68 msq / 56.67 %
(INCLUDES EXTERNAL STORAGE SHED AREAS)
% PERMEABILITY: 290.02 msq / 35.07 %
DRIVEWAYS & PATHS: 65.75 msq

GARDEN AREA

SITE AREA: 827.00 msq
MINIMUM REQUIRED OPEN SPACE FOR SITE 827.00 msq (35%) - 289.45 msq
TOTAL SITE OPEN SPACE - (35.07%) - 289.65 MSQ / 35.02%

STORM RATING AREAS

DWELLING 1 - ROOF AREA TO WATERTANK
THE RAINWATER FROM DWELLING 1 ROOF AREA OF 236.84msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING

DWELLING 2 - ROOF AREA TO WATERTANK
THE RAINWATER FROM DWELLING 2 ROOF AREA OF 230.05msq IS TO BE COLLECTED AND DISCHARGED INTO 3,000 L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 5 TOILETS FOR TOILET FLUSHING

SURFACE SCHEDULE:

EXPONED AGGREGATE CONCRETE PAVING	[Grey Box]
GRASS AREA	[Green Box]
LILYDALE TOPPING	[Light Green Box]

LANDSCAPE NOTE:
LANDSCAPING SHOWN ON PLANS ARE FOR PRESENTATION PURPOSES ONLY. REFER TO LANDSCAPE PLAN FOR PLANT SCHEDULE, LAYOUT DETAILS, LAWN AREAS, PAVING AREAS, CONCRETE AREAS AND DECKING.

FENCE NOTE:

(F)	1.8m HIGH TIMBER PAULING FENCE
(F1)	0.9m HIGH SELECTED POWDER COATED METAL BLADE FENCE
(F2)	1.8m HIGH PRESSED STEEL FENCE
(F3)	2.1m HIGH PRESSED STEEL FENCE

VISIBILITY SPLAY NOTE: (IN ACCORDANCE WITH CLAUSE S2.06-9)
ACCESSWAYS MUST HAVE A CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2.0m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS, PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

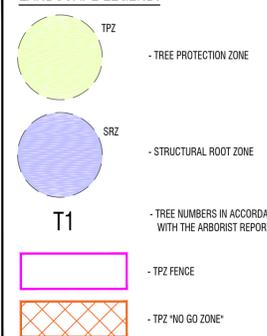
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draftmode designs pty ltd
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Scale: 1:100
Sheet: L1 of 2

LANDSCAPE LEGEND:



TREE PROTECTION DURING CONSTRUCTION

THE FOLLOWING ARE GUIDELINES THAT MUST BE IMPLEMENTED DURING EXCAVATION, CONSTRUCTION AND LANDSCAPING TO MINIMISE THE IMPACT OF WORKS ON RETAINED TREES.

NO FUEL, OIL DUMPS OR CHEMICALS SHALL BE ALLOWED IN OR STORED ON THE TPZ AND THE SERVICING AND RE-FUELLING OF EQUIPMENT AND VEHICLES SHOULD BE CARRIED OUT AWAY FROM THE ROOT ZONES.

NO STORAGE OF MATERIAL, EQUIPMENT OR TEMPORARY BUILDING SHOULD TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.

NOTHING WHATSOEVER SHOULD BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE.

SUPPLEMENTARY WATERING SHOULD BE PROVIDED TO ALL TREES THROUGH ANY DRY PERIODS DURING AND AFTER THE CONSTRUCTION PROCESS. TESTING WITH A SOIL PROBE IN A NUMBER OF LOCATIONS AROUND THE TREE WILL HELP ASCERTAIN SOIL MOISTURE LEVELS AND REQUIREMENTS TO IRRIGATE. WATER NEEDS TO BE APPLIED SLOWLY TO AVOID RUNOFF. A DAILY WATERING WITH 5 LITRES OF WATER FOR EVERY 30 MM OF TRUNK CIRCUMFERENCE MAY PROVIDE THE MOST EVEN SOIL MOISTURE LEVEL FOR ROOTS (WATSON & HAMELICK, 1997). IRRIGATION SHOULD WET THE ENTIRE ROOT ZONE AND BE ALLOWED TO DRY OUT PRIOR TO ANOTHER APPLICATION. WATERING SHOULD CONTINUE FROM NOVEMBER UNTIL APRIL.

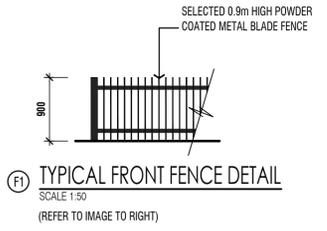
IF REQUIRED THE CONSULTANT ARBORIST IS TO BE ON-SITE TO SUPERVISE EXCAVATION WORKS AROUND ANY RETAINED TREES WHERE THE TPZ WILL BE ENCROACHED.

NO PERSONS, VEHICLES OR MACHINERY TO ENTER THE TPZ WITHOUT THE CONSENT OF THE CONSULTING ARBORIST OR SITE MANAGER.

ANY UNDERGROUND SERVICE INSTALLATIONS WITHIN THE TPZ SHOULD BE BORED AND UTILITY AUTHORITIES SHOULD COMMON TRENCH WHERE POSSIBLE.

PROTECTIVE FENCING:

FENCING SHOULD BE ERRECTED BEFORE ANY MACHINERY OR MATERIALS ARE BROUGHT ONTO THE SITE AND BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION. ONCE ERRECTED, PROTECTIVE FENCING MUST NOT BE REMOVED OR ALTERED WITHOUT APPROVAL BY THE PROJECT ARBORIST. THE TPZ SHOULD BE SECURED TO RESTRICT ACCESS.



RETRACTABLE CLOTHES LINE
SCALE 1:50
CLOTHES LINE TO BE FITTED IN FRONT OF BOUNDARY FENCE.

PLANTING SCHEDULE

LEGEND

- TURFLAWN (used on 50mm typical probe that during water restriction periods lawn substitute materials such as pebbles or mulch should be considered for small areas)
- COLOURED PAVING TO DRIVEWAY
- PERMEABLE CONCRETE PAVING UNIT STEPPING SLABS WITH PEBBLES IN BETWEEN
- LILYDALE TOPPING
- MULCH / BARK
- EXISTING TREES / SHRUBS TO REMAIN
- SELECTED 2000L RAINWATER TANK PLUMBED FOR TOILET FLUSHING
- KYUKUJU LAWN
- LILYDALE TOPPINGS
- TREATED TIMBER GARDEN EDGE
- HARD CONCRETE
- NATURE STRIP
- MULCH / BARK
- CLOTHES LINE LOCATION



EXISTING SITE TREES TO BE RETAINED AND REMOVED

EXISTING TREES/ SHRUBS TO BE REMOVED OR RETAINED	Tree #	Botanical Name	Common Name	Height (m)	Width (m) NS-EW	DBH (cm)	DAB (cm)	Vigour	Structure	ULE	Origin	Age Class	Arb. Value	TPZ (m)	SRZ (m)
RETAINED	1	<i>Lagerstroemia indica</i>	Crepe	2	1 x 1	5	8	Good	Good	20+	Exotic	Juvenile	Moderate	2	1.5
REMOVED	2	<i>Lagerstroemia indica</i>	Crepe Myrtle	2	1 x 1	5	8	Good	Good	20+	Exotic	Juvenile	Moderate	2	1.5
REMOVED	3	<i>Nerium Oleander</i>	Oleander	5	4 x 5	Multi Stemmed		Good	Good	20+	Exotic	Mature	Moderate	3	1.5
REMOVED	4	<i>Prunus persica</i>	Nectarine	4	4 x 4	10/8/6/8/8 (18)	27	Good	Good	20+	Exotic	Mature	Moderate	2.16	1.91
REMOVED	5	<i>Pistachio chinensis</i>	Chinese Pistachio	4	4 x 4	23/24 (33)	38	Good	V. Poor	10-20	Exotic	Mature	Moderate	3.96	2.2
REMOVED	6	<i>Lagerstroemia indica</i>	Crepe Myrtle	4	3 x 4	10/10/8/5/5 (18)	30	Good	Fair	20+	Exotic	Mature	Moderate	2.16	2
RETAINED	7	<i>Mespilus germanica</i>	Pomegranate	3	8 x 2	15	18	Good	Good	20+	Exotic	Mature	Moderate	2	1.61
REMOVED	8	<i>Olea europaea</i>	Olive	4	4 x 4	10/8 (13)	20	Good	Good	20+	Exotic	Mature	Moderate	2	1.68
REMOVED	9	<i>Pittosporum undulatum</i>	Sweet Pittosporum	5	4 x 4	17	20	Good	Good	20+	Native	Mature	Moderate	2.04	1.68
REMOVED	10	<i>Agonis flexuosa</i>	Willow Myrtle	5	5 x 6	24/20 (31)	59	Good	Fair	20+	Native	Mature	Moderate	3.72	2.65
REMOVED	11	<i>Pittosporum eugenioides</i>	Variegated Pittosporum	4	3 x 3	5/5/4/3/4/3 (10)	20	Good	Good	20+	Exotic	Mature	Moderate	2	1.68
REMOVED	12	<i>Melaleuca lamarifolia</i>	Giant Bracelet Honey Myrtle	5	7 x 5	35	48	Good	Poor	20+	Native	Mature	Moderate	4.2	2.43
RETAINED	13	<i>Cupressus sempervirens</i>	Cypress	11.6	11 x 10	75	85	Good	Good	20+	Exotic	Mature	Moderate	9	3.09

PROPOSED PLANTING TABLE

	ID	Qty	Common Name	Botanical Name	Height x Width (m)	Pot Size (cm)
Trees						
	Map	2	Manchurian Pear	<i>Pyrus Ussuriensis</i>	7.0 x 4.0	2.0m tall at time of planting
	Lit	-	Crepe Myrtle	<i>Lagerstroemia Indica (Tuscarora)</i>	5.0 x 3.0	2.0m tall at time of planting
	Mgl	6	Little Gem	<i>Magnolia Grandiflora "Little Gem"</i>	3.5 x 2.5	25
Shrubs and Groundcovers						
	Ate	8	Dwarf Bower Wattle	<i>Acacia cognata "Fettuccini"</i>	1.0 x 1.0	14
	Om	-	Twiggy Daisy Bush	<i>Clearia Ramulosa</i>	1.2 x 1.0	14
	Lpb	13	Limonium Perezill Blue	<i>Statice Blue</i>	0.6 x 0.4	14
	Pgi	-	Green Pillar	<i>Pittosporum "Green Pillar"</i>	3.0 x 1.0	14
	Glp	-	Butterfly Bush	<i>Gaura Lillipop Pink</i>	0.6 x 0.6	14
Grasses						
	Dgr	-	Wild Iris	<i>Diets grandiflora</i>	0.75 x 0.75	14
	Dmo	-	Butterfly Flag	<i>Diplarrena moraea</i>	0.70 x 0.40	14
	Eli	19	Elijah Blue	<i>Festuca "Elijah Blue" Fescue Grass</i>	0.15 x 0.30	14
	Lol	-	Mat Rush	<i>Lomandra Longifolia</i>	0.70 x 0.70	14
	Llr	17	Lilyturf	<i>Liriope muscari "Just Right"</i>	0.50 x 0.50	14
Creepers						
	Pcp	-	Purple Coaral Pea	<i>Hardenbergia Violacea</i>	0.60 x 3.0	14

TREE PLANTING NOTES

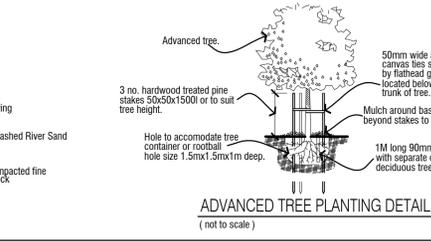
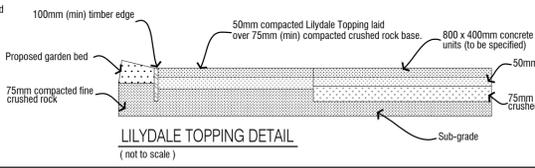
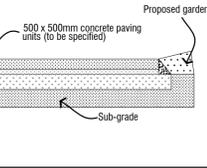
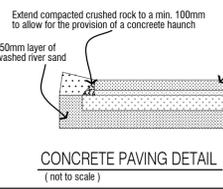
Dig a shallow, broad planting hole that is up to 3 times the width of the root ball but only as deep as the root ball. The soil under the root ball must not be excavated if it has been dug or disturbed then compact it (with your feet) so that it can support the root ball. Identify the trunk flare - the point where roots and trunk meet should be just visible at the surface, if it is buried by potting mix or site soil or mulch then remove any such material. Carefully remove the container and examine the roots, if there are circling roots then prune or remove them. Place the tree at the proper height, do not plant too deeply. It is better to plant a tree a little higher rather than deeper than the natural ground level. If there is a slope then it should be no deeper than the lower slope. Lift the tree by the root ball not by the trunk. Straighten the tree in the hole before backfilling with the excavated site soil, view the tree from several directions to check it is straight. Fill the hole gently but firmly with site soil - fill the hole about one third full, then water and gently but firmly pack the soil around the base of the root ball. Then fill hole. Fertiliser use is not recommended. Stake if necessary - if the tree is properly grown in the nursery and properly planted it will not need staking for support but it can assist with mower damage or very windy conditions. Ties should be loose to allow movement to stimulate the growth of supporting roots. Stakes should be removed after one year. Mulch the base of the tree - organic mulch such as pine bark can help to retain moisture and suppress weed growth. Do not cover the root ball or trunk with mulch. Provide follow up care - water once a week if there is no rain and more frequently if temperature exceeds 30c. The first few weeks and the first Spring-Summer-Autumn are vital.

LANDSCAPE NOTES

- THIS PLAN IS BASED ON GROUND/FLOOR PLAN PLANNING UNDER 200 BY 200 METRE CODE.
 - Contractor shall note that the required location & dimensions of works may not exactly correspond with existing conditions.
 - Contractor shall use figured dimensions in preference to scale & shall verify all dimensions on site before commencement of works.
 - Contractor shall verify the location of all services, gas, electrical, water, sewage & telephone before commencement of works.
 - The landscape area to be developed shall be prepared & prepared to be sprayed over the area at the end of 14 days & then the area to be sprayed.
 - All plants are to be healthy, disease-free specimens. Concrete or similar slow release fertilizer to be applied to all plants. Thoroughly water in plants. Stake and seal all canopy trees.
 - Provide timber (split edge) or similar between lawn, garden areas and gravel paths. All path/parade beds are to be finished with 100mm maximum depth of wood chip mulch.
 - Plants with 1.5m or more retained once work is finished. Mulch to be removed twelve months after planting. In the event of plant dying it is to be replaced.
 - An in-ground irrigation system to be provided throughout landscaped areas to be determined on site.
- THIS PLAN IS FOR PLANNING PURPOSES ONLY AND NOT FOR CONSTRUCTION. Refer to Architects plans for existing structures and services to.
- PAVING**
Paving shall be 800mm x 400mm concrete units (to be specified) laid over a base of 100mm compacted crushed rock and 50mm washed river sand. Allow 5mm joints between paving units and brush fill with jointlock paving compound or similar approved.
- All paving shall be to a grade of approximately 1% to aid surface drainage towards garden beds and away from house.
- GARDEN BEDS**
All garden beds shall be dug over to a depth of 300mm. A standard garden mix from an approved supplier containing topsoil and compost shall be incorporated to garden beds shall meet paving finished levels.
- LILYDALE TOPPING**
Lilydale Topping shall be laid according to manufacturers instructions and in locations shown on the drawings. Refer TO Detail Refer Architects Plans to indicate of levels. Confirm levels prior to construction.
- MULCH**
Spread an approved Eucalyptus mulch to a minimum depth of 100mm to all finished garden beds.

EASEMENT PLANTING NOTE:
ALL PLANTING IN CLOSE PROXIMITY TO EASEMENTS TO HAVE NON INVASIVE ROOT SYSTEMS.

ROOT BARRIER NOTE:
ROOT BARRIERS TO BE INSTALLED TO ALL CANOPY TREES IF IT IS TO CAUSE ANY DETRIMENT TO STRUCTURAL INTEGRITY OF PROPOSED AND EXISTING SURROUNDING STRUCTURES



REVISED DRAWINGS AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 10 JANUARY 2025 - FEB 25

PROPOSED DUAL OCCUPANCY

@: 13 MARSH STREET, MAIDSTONE
for: **VV CONSTRUCTIONS**

DATE: OCT - 2024
DRAWN BY: E. CHRISTODOULOU
CHECKED BY: J. COOPER (EP-ADCS)

SCALE: 1:100
SHEET: 2 OF 2

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