


PLANNING PERMIT	
Permit No.:	TP62/2023(1)
Planning Scheme:	Maribyrnong Planning Scheme
Responsible Authority:	City of Maribyrnong
	

Address of the land: 2-8 Hampstead Road MAIDSTONE

The permit allows: Use and development of the land for the purpose of a childcare centre and display of business identification signage

The following conditions apply to this permit:

1. Before the use and/or development start(s), amended plans must be submitted to the satisfaction of the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and provided in a digital format (where possible). The plans must be generally in accordance with the considered plans but modified to show:-
 - (a) The setback of the building wall adjacent to Hampstead Road and Mitchell Street to be increased so that the entire development including eaves is contained within the property boundaries. Eave overhang may be appropriate with the written consent from the relevant public land managers for each 'road'.
 - (b) A landscape plan to the satisfaction of the Responsible Authority (refer to condition 30 below).
 - (c) All service meters (electricity, water and gas) and similar (fire hydrant and telecommunications) shown on all relevant plans. The design of any structure required to accommodate services must be integrated into the development, must be easily accessible to service authorities, and must not be sited in a standalone location or 'stacked'.
 - (d) A notation on the plan referring to each of the Environmentally Sustainable Design measures in accordance with Condition 7 below.
 - (e) A notation on the plan referring to the acoustic protection measures in accordance with Conditions 21-23 below.
 - (f) A notation on the plan referring to the air quality measures in accordance with Conditions 24-25 below.
 - (g) Visibility splays for each driveway with a notation indicating all vegetation and structures are to be less than 1 metre in height within 2.5 metres of the front boundary and for 2 metres along the front boundary.
 - (h) The proposed crossover at the title boundary widened from 6.8 metres wide to 7.7 metres to satisfy Ramp requirements under AS2890.1.2004 Table 2.2.
 - (i) Amended plan/s with a notation to show the increased road width including a section of ramp gradient against length and vertical clearance of basements to be provided with more details.
 - (j) Amended plan/s with a notation illustrating parking spaces with sufficient clearance along the wall boundary (eg. min 500mm away from wall) and the wheel stop should be placed where car space starts.
 - (k) Accessible parking space/s provided in accordance with AS2890.6.2009.
 - (l) Amended plans with a notation showing the redundant portion of crossover at Mitchell Street and all redundant crossovers in Hampstead Road to be removed, and the affected street assets (full-height concrete kerb & channel, asphalt footpath)

must be reinstated to the standards & satisfaction of Council and Head, Department of Transport where appropriate.

- (m) Amended plans showing a minimum clearance of 2100mm from the ground surface level to the bottom of the proposed advertising sign for clear sight distance.
- (n) Notation on the plans stating all business signage is to be installed to not create obstructions or site line obstructions for motorists. This includes blocks to existing traffic signs.

General Conditions

- 2. The use and development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority. This does not apply to any exemption specified in Clause 62 of the Maribyrnong Planning Scheme (MPS). *NOTE: This does not obviate the need for a permit where one is required.*
- 3. Once the development has started, it must be continued and completed to the satisfaction of the Responsible Authority.
- 4. Any poles, service pits or other structures/features on the footpath required to be relocated to facilitate the development must be done so at the cost of the applicant and subject to the relevant authority's consent.
- 5. Any external lighting must be designed, baffled and located so as to prevent any adverse effect on adjoining land to the satisfaction of the Responsible Authority.

Environmentally Sustainable Design Conditions

- 6. The Sustainability Management Plan prepared by Frater Consulting Services dated 17/02/2023 and plans updated to include the following changes:

Water 1.1 Water Efficient Fixtures

- a. The SDA needs to have clear statements that a dishwasher with a minimum 5 Star WELS rating will be included as part of the fit-out to reflect what is in the BESS assessment.

Rainwater Tank Reuse

- b. Plans need to indicate rainwater tank size and connection to toilet flushing as proposed in the SMP and BESS assessment.

Water 3.1 Water Efficient Landscaping

- c. To claim the Water 3.1 Water Efficient Landscaping BESS credit, indicate on plans water efficient irrigation, connection of irrigation system to rainwater tank or water efficient plant selection including drought-tolerant turf/lawn.

Stormwater Management

- d. Area considered permeable looks to include some paved areas. These permeable paving must be clearly indicated on plans and landscape plans and details of these areas that demonstrate permeability must be provided as part of the submission. The proposed raingarden to be clearly annotated on landscape plans. The raingardens with a minimum width of 600mm and a minimum setback of 300mm from building footings whilst maintaining suitable pedestrian access.

IEQ 1.4 Daylight access – Non-residential

- e. Areas that staff spend most of their day work hours in need to be included in daylight calculations.

Transport 2.1 Electric Vehicle Infrastructure

f. To claim the Transport 2.1 Electric Vehicle Infrastructure BESS credit, the location of the electric vehicle charging point in the development must be shown with a note or associated legend item saying "minimum 32A dedicated circuit from switchboard to carspace".

Urban Ecology 2.1 Vegetation

g. The Urban Ecology 2.1 Vegetation BESS credit must include only turfed or planting areas and cannot include other landscaping elements such as hard paving/pavers (including permeable paving), loose pavers/stepping stones aggregate/pebbles, synthetic grass, decks, pool, RW tanks, storage sheds etc. This area must be demarcated on landscape plan accurately and entry in BESS must be updated accordingly.

Urban Cooling

h. For the non-visible flat roofs and exposed concrete driveway, specify light coloured or reflective finishes / materials (Solar Reflective Index >50 or Solar Absorptance<0.6) to help mitigate the urban heat island effect. This must be reflected on plans.

Building Materials

i. Concrete to be specified with recycled aggregate where appropriate and recycled water used in the manufacture.

The project needs to meet the minimum 50% overall score and minimums in Energy (50%), Water (50%), IEQ (50%) and Stormwater (100%) categories in BESS to demonstrate best practice in sustainable design. Should any category fall short of the minimum targets, adjustments will need to be made to demonstrate that the project meets the BESS minimums.

Construction Management Plan

7. Prior to any works commencing on the land a "Construction Management Plan" (CMP) must be prepared to the satisfaction of the Responsible Authority, detailing how the owner will manage the environmental and construction issues associated with the development. The "Construction Management Plan" when approved will form part of the permit and must be implemented to the satisfaction of the Responsible Authority. The CMP must address:-

- the contact name and phone number(s) of the site manager,
- bulk excavation,
- management of the construction site,
- land disturbance,
- hours of construction, including program/duration of works
- noise,
- control of dust,
- public safety,
- traffic management (Traffic Management Plan),
- construction vehicle road routes,
- largest vehicle expected to the site,
- soiling and cleaning of roadways,
- discharge of any polluted water,
- security fencing, disposal of site waste and any potentially contaminated materials,
- crane locations during construction,
- location of site offices, and onsite staff parking,
- redirection of any above or underground services,
- site lighting during any night works.

Environmental Audit

8. Before the use commences or before the construction or carrying out of buildings and works in association with a sensitive use (with the exception of demolition, excavation, buildings and works required by the Environment Protection Authority or an environmental auditor appointed under the Environment Protection Act 2017 to make the site suitable for use, or buildings and works reasonably required by environmental auditor appointed under the Environment Protect Act 2017 to undertake a preliminary risk screen assessment or environmental audit):
- a) A preliminary risk screen assessment statement in accordance with the Environment Protection Act 2017 must be issued stating that an environmental audit is not required for the use or the proposed use; or
 - b) An environmental audit statement under Part 8.3 of the Environment Protection Act 2017 must be issued stating that the land is suitable for the use or proposed use.

Where an environmental audit statement is provided all of the recommendations of the statement must be complied with to the satisfaction of the Responsible Authority.

Before the development is occupied, written confirmation from an environmental auditor appointed under the Environment Protection Act 2017 must be provided to the satisfaction of the Responsible Authority confirming:

- c) That the recommendations of the statement have been implemented; and
- d) Whether there are ongoing recommendations on the statement that require significant ongoing maintenance and/or monitoring.

If written advice submitted in accordance with the above requirement indicates that there are ongoing recommendations on the Statement requiring significant ongoing maintenance and/or monitoring, these arrangements must be complied with at all times.

Use Conditions

9. The use may operate only between the hours of:-
- 6.30 a.m. and 6.30 p.m. Monday to Friday
- except with the written permission of the Responsible Authority.
10. No more than 184 children are allowed on the premises at any one time including for consultation.
11. The use and/or development must be managed so that the amenity of the area is not detrimentally affected, through the:
- a. Transport of materials, goods or commodities to or from the land.
 - b. Appearance of any building, works or materials.
 - c. Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.
 - d. Harbourage and/or presence of vermin.

All to the satisfaction of the Responsible Authority.

Car Parking Conditions

12. No fewer than 40 car spaces must be provided on the land, including spaces clearly marked for use by disabled persons and staff.
13. Before the use and/or occupation of the development starts, the area(s) set aside for the parking of vehicles and access lanes as shown on the endorsed plans must be to the satisfaction of the Responsible Authority and be:-
 - (a) constructed
 - (b) properly formed to such levels that they can be used in accordance with the plans
 - (c) surfaced with an all weather seal coat
 - (d) drained
 - (e) line marked to indicate each car space and all access lanes
 - (f) clearly marked to show the direction of traffic along access lanes and driveways

Car spaces, access lanes and driveways must be kept available for these purposes at all times.

Engineering Conditions

14. Vehicular crossing(s) must be constructed and/or modified to the road to suit the proposed driveway(s) to the satisfaction of the Responsible Authority.
15. Prior to the commencement of the use all disused or redundant vehicle crossings must be removed and the area reinstated with either/or footpath, naturestrip, kerb and channel to the satisfaction of the Responsible Authority and the Head, Department of Transport.
16. The site must be drained to the satisfaction of the Responsible Authority. Storm water run-off from the site must not cause any adverse impact to the public, any adjoining site or Council asset. Stormwater from all paved area has to be drained to underground storm water system. Any cut, fill or structure must not adversely affect the natural storm water runoff from and to adjoining properties.
17. The site must be drained to the satisfaction of the Responsible Authority and is subject to any requirements, conditions and subsequent approval from VicRoads. Stormwater run-off from the site must not cause any adverse impact to the public, any adjoining site or Council asset. Stormwater from all paved area has to be drained to underground stormwater system. Any cut, fill or structure must not adversely affect the natural stormwater runoff from and to adjoining properties.
18. No polluted and/or sediment laden runoff is to be discharged directly or indirectly into Council's drains or watercourses during and after development.
19. Prior to the commencement of any works on the site and/or subdivision of the land, the owner must submit for approval to the Responsible Authority drainage plans to the requirements outlined in the Stormwater Discharge Permit.
20. Any service relocation associated with the works must be approved by the Service Authorities and at the owner's cost.

Amenity and Noise Conditions

21. The use and/or development must be managed so that the amenity of the area is not detrimentally affected, through the:-
 - (a) Transport of materials, goods or commodities to or from the land.

- (b) Appearance of any building, works or materials.
- (c) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.

All to the satisfaction of the Responsible Authority.

- 22. Prior to the occupation of the use, the acoustic measures shown on the endorsed plans (including acoustic fencing and screening) and recommendations in the acoustic report prepared by Renzo Town & Associates dated 06 April 2023 (endorsed to form part of this permit) must be implemented to the satisfaction of the Responsible Authority.
- 23. Noise levels emanating from the premises must not exceed noise levels as determined by the EPA Victoria Publication Noise Limit and Assessment Protocol 1826.4, or result in unreasonable and aggravated noise as defined by Part 5.3 of the *Environment Protection Regulation 2021*, or other equivalent policy to the satisfaction of the Responsible Authority.

Air Quality Conditions

- 24. Once the development is complete and within six months, and again at two years after the commencement of the use, air quality monitoring must be undertaken by a suitably qualified person. Monitoring must document, over a period of not less than one month during the proposed operating hours of the centre, the following;
 - a. PM10;
 - b. PM2.5;
 - c. Oxides of nitrogen;
 - d. Carbon monoxide; and
 - e. Sulfur dioxide.

The report must be provided to the Responsible Authority, including any collected data, in its raw form (i.e. excel format, not summarised). The results of this monitoring must also inform the preparation of an Air Quality Management Plan (refer condition below) if required by the Responsible Authority.

- 25. As a result of the outcomes of the air quality testing (as required by conditions 25), an Air Quality Management Plan may be required by the Responsible Authority. This plan must be provided within 2 months of the submission of the air quality report (or an extended period agreed with Council), completed by a suitably qualified air quality assessment practitioner and must have regard to the results of the air quality assessment undertaken as part of condition 24. When approved, the plan will be endorsed and will then form part of the permit. All activities forming part of the use must comply with the endorsed management plan. The management plan must be provided in digital format and have regard to the following matters:
 - a. The methodology used for the protection of staff and children from air pollution in the local area through external air monitoring and internal filtration of air when the external pollutants exceed the regulations.
 - b. A review of the policy and regulations addressing air pollution, currently the State Environment Protection Policy (Ambient Air Quality) and National Environment Protection Council (Ambient Air Quality) Measure (NEPM).
 - c. The installation of an approved Air Quality Monitoring system, which must have an internal display in a prominent location which signals to staff when air quality levels drop to unacceptable levels.
 - d. The monitoring of air pollutants according to EPA regulations.
 - e. The installation of an internal air filtration system with a HEPA filter or equivalent for all externally drawn air.
 - f. Detail whether further testing/monitoring is required.

Waste Management Conditions

26. Prior to the occupation of the use, the waste management measures shown on the endorsed plans and recommendations in the waste management plan prepared by Traffix Group dated February 2023 must be implemented to the satisfaction of the Responsible Authority.
27. Waste collection and deliveries must only occur between the hours of 6.30pm to 8pm Monday to Sunday to the satisfaction of the Responsible Authority.
28. Provision must be made on the land for the storage and collection of garbage and other solid waste. This area must be graded and drained and screened from public view to the satisfaction of the Responsible Authority.

Landscape Conditions

29. Concurrent with the submission of plans for endorsement, a landscape plan must be submitted and be to the satisfaction of the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must be drawn to scale with dimensions and provided in digital format (where possible). The landscaping plan must be generally in accordance with the landscape concept plan dated 23/05/2023 prepared by Keystone Alliance Pty Ltd, except that the plan must show:

The plan must show: _

- (a) The location of all existing vegetation to be retained and/or removed;
- (b) The location of buildings and trees on neighbouring properties within 3 metres of the boundary;
- (c) Details of surface finishes of pathways and driveways;
- (d) A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant;
- (e) A mixture of appropriate planting as approved under the National Quality Standard for Childhood education

Before the occupation of the development starts or by such later date as is approved by the Responsible Authority in writing, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the Responsible Authority.

The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, this includes the replacement of any dead, diseased or damaged plants.

Street Tree Protection Conditions

30. Concurrent with the submission of plans for endorsement, an updated Aboricultural Construction Impact Assessment must be submitted and approved by the Responsible Authority. The Assessment must be amended to provide for non-destructive digging with a preference for hydro-excavation within Tree Protection Zones.
31. Before the development starts (including any demolition works), tree protection measures in accordance with the approved Aboricultural Construction Impact Assessment must be in place where required. The tree protection measures must remain in place until construction and installation of services is completed or as required by the Assessment.

32. Before the development commences, a bond equal to the combined amenity value of the street trees or an amount otherwise specified by Council must be paid to Council's Parks and Open Space department. The bond will be held for a period of 6 months after the certificate of occupancy has been issued and will be released pending a final inspection. If any tree is damaged or goes into decline within the 6 month period the bond amount will be retained to recover the loss of amenity and establishment of new trees. All works to remove the tree(s) must be undertaken by the Responsible Authority at the cost of the developer.

Signage Conditions

33. The location and details of the sign(s), including those of the supporting structure, as shown on the endorsed plans, must not be altered without the written consent of the Responsible Authority.
34. The sign(s) must not be illuminated by external or internal light except with the written consent of the Responsible Authority.
35. The sign(s) must be constructed and maintained to the satisfaction of the Responsible Authority.

Department of Transport Conditions 36-38

36. Prior to the release of a Statement of Compliance, all disused or redundant vehicle crossings at Hampstead Road must be removed, and the area reinstated to kerb and channel to the satisfaction of and at no cost to the Head, Transport for Victoria.
37. The construction of the development must not disrupt bus operations on Hampstead Road and Mitchell Street without the prior written consent of the Head, Transport for Victoria (Department of Transport).
38. Any request for written consent to disrupt bus operations on Hampstead Road and Mitchell Street during construction of the development must be submitted to the Department of Transport not later than 8 weeks prior to the planned disruption and must detail measures that will occur to mitigate the impact of the planned disruption.

Development and Use Expiry

39. This permit will expire if one of the following circumstances applies:
- a) The development is not started within two years of the date of this permit.
 - b) The development is not completed within four years of the date of this permit.
 - c) The use does not start within two years after the completion of the development.
 - d) The use is discontinued for a period of two years.

The Responsible Authority may extend the periods referred to if a request is made in writing before or within 6 months after the permit expiry date, where development/use allowed by the permit has not yet started; and within 12 months after the permit expiry date, where the development allowed by the permit has lawfully started before the permit expires.

Signage Expiry

40. The signage component of the permit expires 15 years from the date of issue. The sign and structures built specifically to support and illuminate the sign must be removed at this time.

41. This signage component of the permit will expire if the sign is not erected within 2 years of the date of this permit. The Responsible Authority may extend the period if a request is made in writing before the permit expires or within 6 months afterwards.

Notes

Department of Transport - The proposed development requires reinstatement of disused crossovers to kerb and channel. Separate approval under the *Road Management Act 2004* for this activity may be required from the Head, Transport for Victoria. Please contact DoT (Roads) prior to commencing any works.

Building Permit - This is not a Building permit. A building permit may also be required. Please contact your building surveyor.

Boundary Fences – This permit (unless otherwise stated) does not give approval for the removal or replacement of any boundary fencing. Under the Fences Act 1968 the property owner and the neighbour are equally responsible for any dividing fence. More information on boundary fencing can be obtained at <http://disputes.vic.gov.au/fences>

A **Stormwater Discharge Permit** is required from MCC Operations and Maintenance and is subject to any requirements, conditions and subsequent approval from VicRoads.

The owner shall be responsible for the loss of value or damage to Council's assets as a result of the development. Reinstatement or modification of the asset to Applicant.

A Council officer will contact the owner/builder to arrange a **Street Asset Protection Permit**, and advise of the associated Bond required to be lodged prior to commencement of work.

Note: If using a private building surveyor, a **Section 80 Form** must be supplied to Council's Building Surveyor to initiate the above process.

Works Within Road Reserves (WWRR) consent from the Responsible Authority is required for any work or excavation within the road reserve.

Any work within the road reservation must be carried out to the satisfaction of the Responsible Authority.

Materials are not to be stored on the road reserve without Responsible Authority approval.

Protection of Council's street trees shall be in accordance with Council's Street Tree Policy and Protocol.

A **Vehicle Crossing Permit** is required from the Responsible Authority for any new crossing prior to the commencement of works. Vehicle crossing(s) shall be constructed in accordance with the Responsible Authority's Standard Drawings, Specification and Vehicle Crossing Policy.

Date Issued

Signature for the Responsible Authority

16 February 2024

A handwritten signature in black ink, appearing to be 'Sang', is written over the red stamp area.

Date of expiry: 16 February 2026
(if development has not commenced)

IMPORTANT INFORMATION ABOUT THIS PERMIT

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the Planning and Environment Act 1987.)

WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or

- if no date is specified, from:

- (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
- (ii) the date on which it was issued, in any other case.

WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if:
 - the development or any stage of it does not start within the time specified in the permit; or
 - the development required the certification of a plan of subdivision or consolidation under the Subdivision Act 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
 - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the Subdivision Act 1988.
2. A permit for the use of land expires if;
 - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
 - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if;
 - the development or any stage of it does not start within the time specified in the permit; or
 - the development or any stage of it is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit; or
 - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
 - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A (2) of the Planning and Environment Act 1987, or to any combination of use, development or any of those circumstances requires the certification of a plan under the Subdivision Act 1988, unless the permit contains a different provision;
 - the use or development of any stage is to be taken to have started when the plan is certified; and
 - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

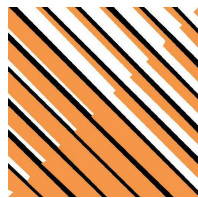
WHAT ABOUT APPEALS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case, no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued unless a Notice of Decision to Grant a Permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on an Application for Review form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- An application for review must also be served on the Responsible Authority.
- Details about application for review and the fees payable can be obtained from Victorian Civil and Administrative Tribunal.



TP SHEET LIST			
No.	Sheet Name	Revision	Date
TP-A001	FRONT COVER	P2	23.05.23
TP-A002	EXISTING SITE LAYOUT/DEMOLITION PLAN	P1	21.02.23
TP-A003	NEIGHBOURHOOD CHARACTER STUDY	P1	21.02.23
TP-A004	NEIGHBOURHOOD DESIGN RESPONSE	P1	21.02.23
TP-A101	PROPOSED SITE LAYOUT PLAN	P2	23.05.23
TP-A102	PROPOSED BASEMENT FLOOR PLAN	P1	21.02.23
TP-A103	PROPOSED GROUND FLOOR PLAN	P2	23.05.23
TP-A104	PROPOSED FIRST FLOOR PLAN	P2	23.05.23
TP-A105	PROPOSED ROOF PLAN	P2	23.05.23
TP-A201	PROPOSED SECTIONS	P1	21.02.23
TP-A202	PROPOSED SECTIONS	P1	21.02.23
TP-A203	PROPOSED SECTIONS	P1	21.02.23
TP-A301	PROPOSED ELEVATIONS	P2	23.05.23
TP-A302	PROPOSED ELEVATIONS	P2	23.05.23
TP-A303	PROPOSED ELEVATIONS	P2	23.05.23
TP-A401	SHADOW DIAGRAM - 9AM SEPTEMBER EQUINOX	P2	16.06.23
TP-A402	SHADOW DIAGRAM - 12PM SEPTEMBER EQUINOX	P2	16.06.23
TP-A403	SHADOW DIAGRAM - 3PM SEPTEMBER EQUINOX	P2	16.06.23
TP-A404	SHADOW DIAGRAM - 10AM SEPTEMBER EQUINOX	P2	16.06.23
TP-A405	SHADOW DIAGRAM - 11AM SEPTEMBER EQUINOX	P2	16.06.23
TP-A406	SHADOW DIAGRAM - 1PM SEPTEMBER EQUINOX	P2	16.06.23
TP-A407	SHADOW DIAGRAM - 2PM SEPTEMBER EQUINOX	P2	16.06.23
TP-A501	3D IMAGE 01	P1	21.02.23
TP-A502	3D IMAGE 02	P1	21.02.23
TP-A503	3D IMAGE 03	P1	21.02.23
TP-A504	3D IMAGE 04	P1	21.02.23
TP-A601	FENCE DETAILS	P1	21.02.23

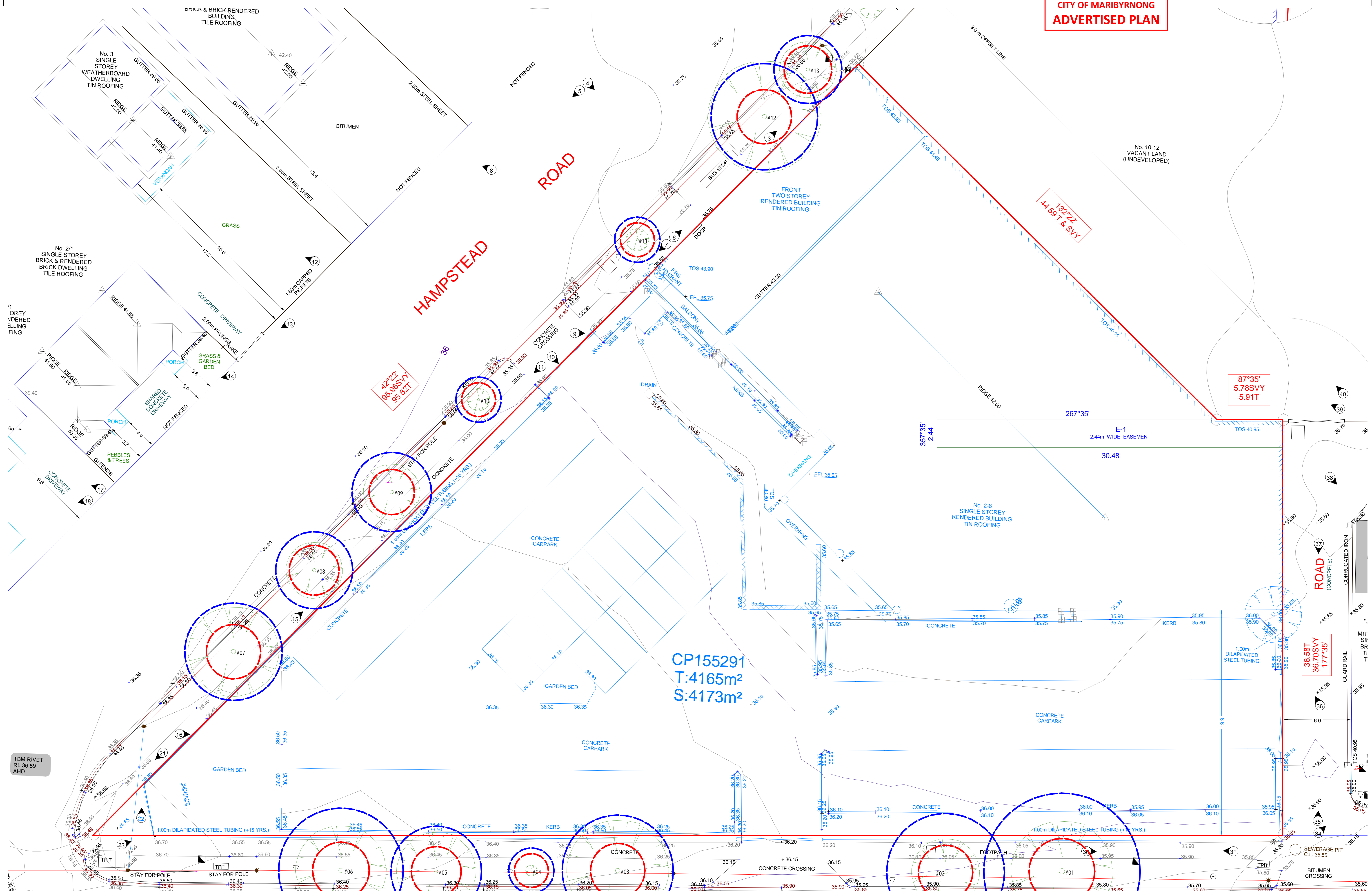
PROPOSED CHILDCARE FACILITY,
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012



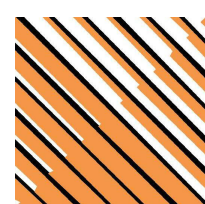
ISSUE	DESCRIPTION	DATE
P1	ISSUED FOR TOWN PLANNING	21.02.23
P2	ISSUED FOR TOWN PLANNING - RFI RESPONSE	23.05.23

ISSUED FOR
TOWN PLANNING
PURPOSES ONLY

CITY OF MARIBYRNONG
ADVERTISED PLAN



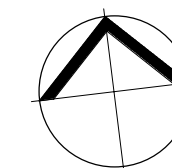
These plans, designs and specifications and the copyright therein are the property of The Ellis Group Architects Pty Ltd and must not be reproduced or copied wholly or in part without the written permission of The Ellis Group Architects Pty Ltd. All dimensions and levels to be checked on the job before commencing any work or shop drawings. Do not scale drawings.



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ISSUE	DESCRIPTION	DATE
P1	ISSUED FOR TOWN PLANNING	21.02.23

ISSUED FOR
TOWN PLANNING
PURPOSES ONLY



PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
EXISTING SITE LAYOUT/DEMOLITION PLAN

Date. 21.02.23 Drawn. TM
Job No. 3130 Scale@A11 : 150

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TP-A002 P1

E-1 DENOTES 2.44m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP52737 IN FAVOUR OF LOTS SHOWN ON LP52737.
COVENANT DETAILS :
NIL.

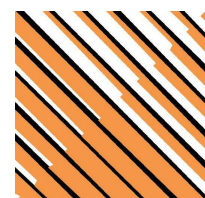
CITY OF MARIBYRNONG
ADVERTISED PLAN

NOTES:

- THERE ARE NO TREES ON THE SUBJECT SITE TO BE REMOVED.
- A.H.D REFERENCED IS DETERMINED BY THE ACCOMPANYING LICENSED SURVEY.
- THE LOCATION OF FEATURES ON ADJOINING LOTS ARE APPROXIMATE ONLY.
- ALL DIMENSIONS ARE IN METRES.
- ROADWAYS ARE CONSTRUCTED.
- THE SITE IS CURRENTLY A DISUSED SUPERMAKET AND ASSOCIATED CAR PARK.
- MEDIUM SIZED DEVELOPMENT SITE 4,172m².
- RE-USE ANY EXISTING SERVICE CONNECTIONS.

LOCAL AMENITIES, LANDMARKS & POINTS OF INTEREST

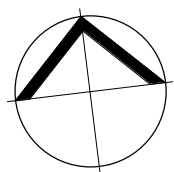
- | | |
|-----------------------------------|-------|
| • MEDWAY GOLF CLUB | 600m |
| • HIGHPOINT SHOPPING CENTRE | 1900m |
| • ST MARGARET'S PRIMARY SCHOOL | 3100m |
| • SCOVELL RESERVE PLAYGROUND | 900m |
| • FOOTSCRAY NORTH PRIMARY SCHOOL | 1500m |
| • VICTORIA UNIVERSITY - FOOTSCRAY | 2900m |
| • DOBSON RESERVE | 1000m |
| • CHRIST THE KING PRIMARY SCHOOL | 1300m |
| • FOOTSCRAY WEST PRIMARY SCHOOL | 2000m |
| • CHISLON RESERVE | 700m |
| • BRAYBROOK COLLEGE | 2500m |
| • VICTORIA UNIVERSITY - SUNSHINE | 3000m |



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P1	ISSUED FOR TOWN PLANNING	21.02.23

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PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
NEIGHBOURHOOD CHARACTER STUDY

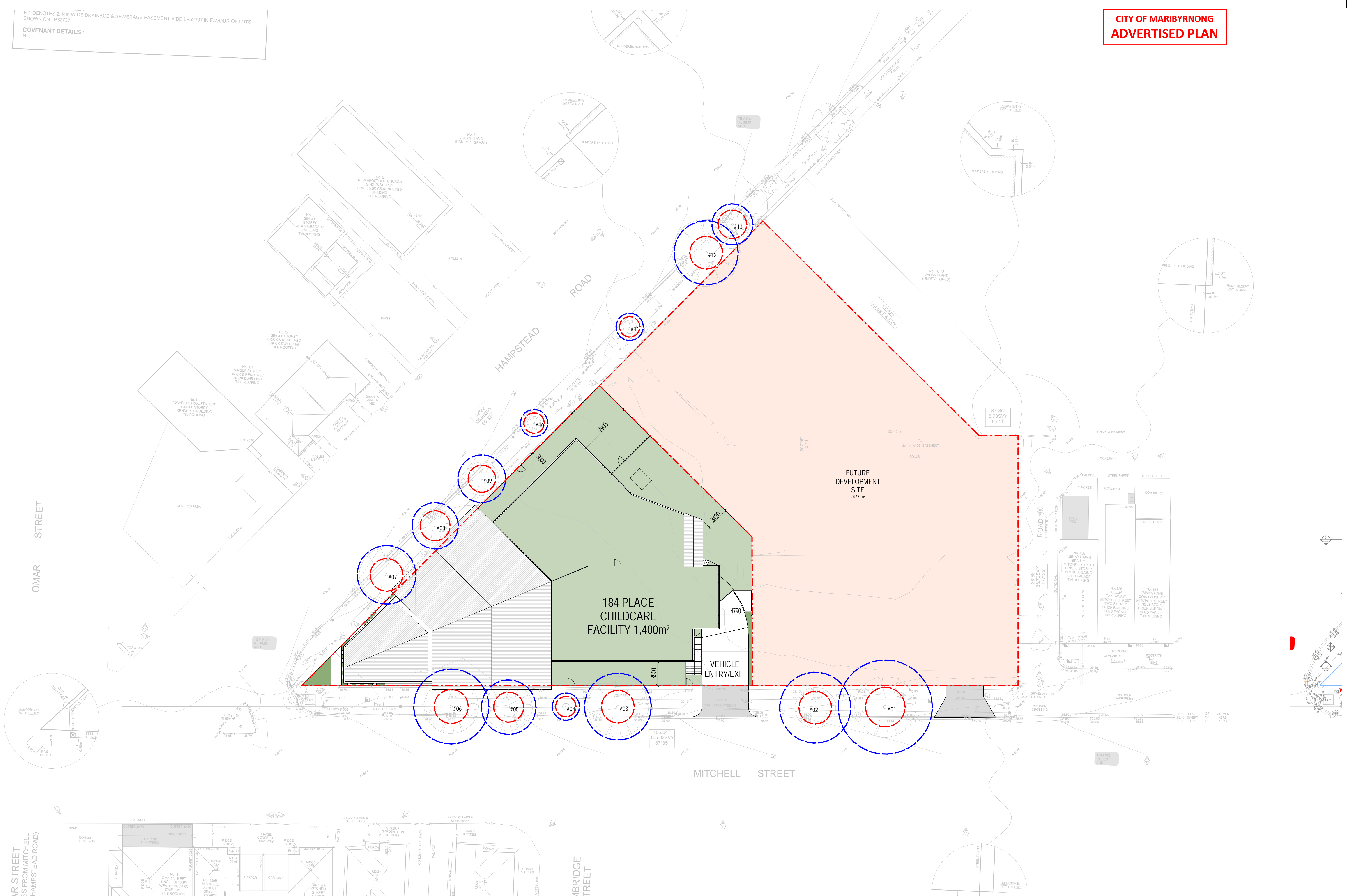
Date. 21.02.23 Drawn. TM
Job No. 3130 Scale@A11 : 250

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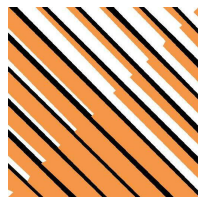
TP-A003 P1

E-1 DENOTES 2.44m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP52737 IN FAVOUR OF LOTS SHOWN ON LP52737.
COVENANT DETAILS :
NIL.

CITY OF MARIBYRNONG
ADVERTISED PLAN



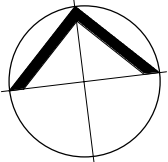
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PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
NEIGHBOURHOOD DESIGN RESPONSE

Date. 21.02.23 Drawn. TM
Job No. 3130 Scale@A11 : 250

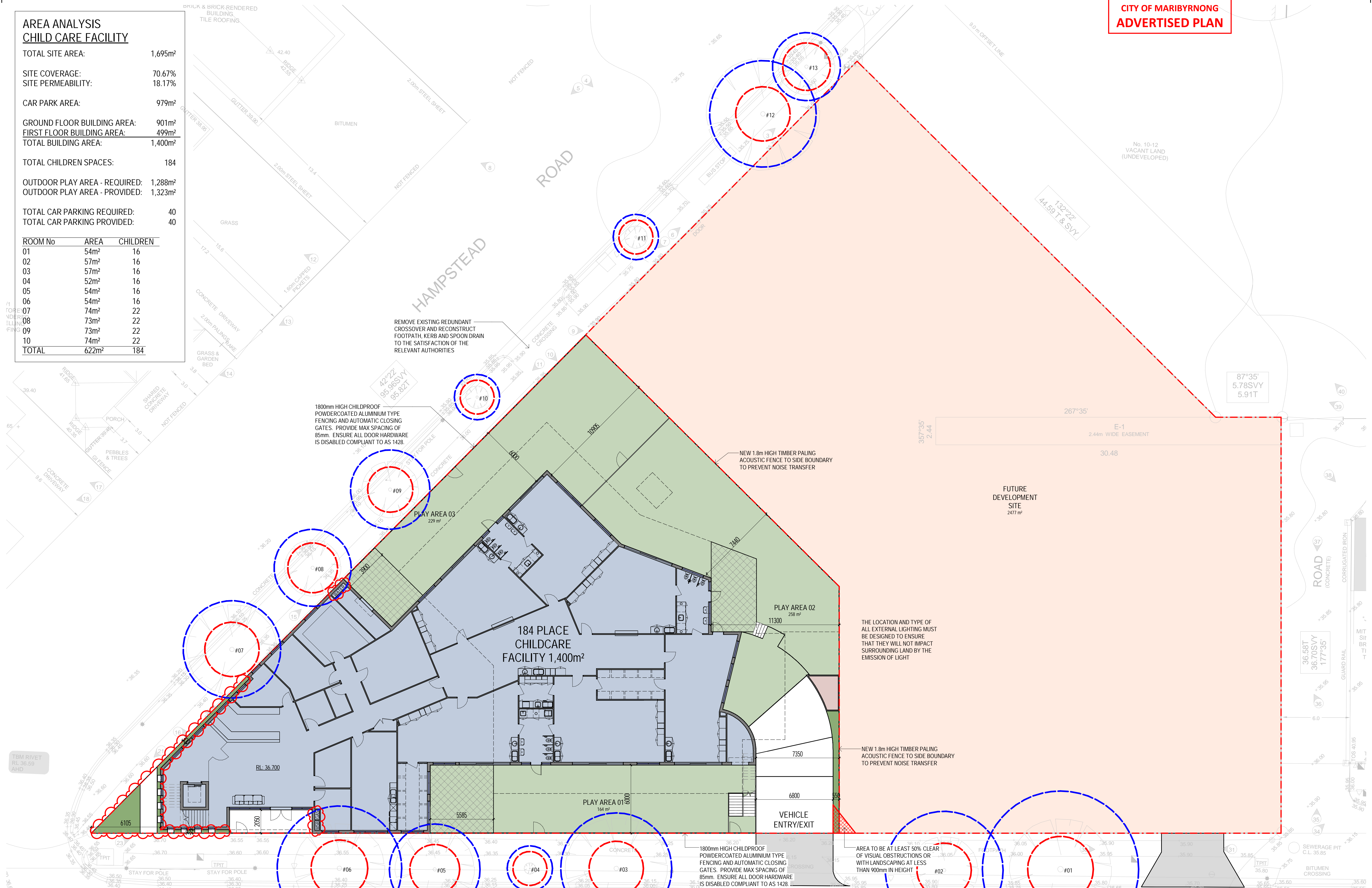
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TP-A004 P1

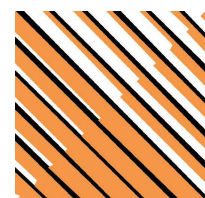
AREA ANALYSIS
CHILD CARE FACILITY

TOTAL SITE AREA:	1,695m ²
SITE COVERAGE:	70.67%
SITE PERMEABILITY:	18.17%
CAR PARK AREA:	979m ²
GROUND FLOOR BUILDING AREA:	901m ²
FIRST FLOOR BUILDING AREA:	499m ²
TOTAL BUILDING AREA:	1,400m ²
TOTAL CHILDREN SPACES:	184
OUTDOOR PLAY AREA - REQUIRED:	1,288m ²
OUTDOOR PLAY AREA - PROVIDED:	1,323m ²
TOTAL CAR PARKING REQUIRED:	40
TOTAL CAR PARKING PROVIDED:	40

ROOM No	AREA	CHILDREN
01	54m ²	16
02	57m ²	16
03	57m ²	16
04	52m ²	16
05	54m ²	16
06	54m ²	16
07	74m ²	22
08	73m ²	22
09	73m ²	22
10	74m ²	22
TOTAL	622m ²	184



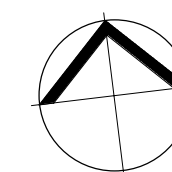
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PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
PROPOSED SITE LAYOUT PLAN

Date: 23.05.23 Drawn: TM
Job No. 3130 Scale@A11 : 150
C:\Users\Hui\Documents\3130 Central TP_somaCBWPH1.rvt

TOTAL SITE AREA:	1,695m²
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09	73m ²	22
10	74m ²	22
TOTAL	622m ²	184

ESD INITIATIVES

WATER & STORMWATER MANAGEMENT

- 557M² OF ROOF CATCHMENT AREA TO BE DIVERTED TO THE RAINFALL TANK. IF REQUIRED, THE USE OF MECHANICALLY ASSISTED PUMPED OR CHARGED SYSTEM
- 12,000L RAINFALL TANK LOCATED AS SHOWN TO BE CONNECTED TO TOILETS FOR FLUSHING
- PLAY AREA 05 ON THE FIRST FLOOR PLAN AREA TO BE DIVERTED TO A 5m² RAINGARDEN
- USE OF NATIVE OR DROUGHT TOLERANT SPECIES FOR LANDSCAPED AREAS. WATERING WILL NOT BE REQUIRED AFTER AN INITIAL PERIOD WHEN PLANTS ARE GETTING ESTABLISHED. IF IRRIGATION IS REQUIRED, IT WILL BE CONNECTED TO RAINFALL TANKS
- WELLS RATING FOR WATER FITTINGS/FIXTURES (REFER TO REPORT). FIXTURES PROVIDED AS PART OF THE BASE BUILDING WORK HAVE TO BE CHOSEN WITHIN ONE WELLS STAR OF BEST AVAILABLE AT THE TIME OF PURCHASE

ENERGY EFFICIENCY

- COMMITMENT TO EXCEEDING SECTION J ENERGY EFFICIENCY REQUIREMENT OF NCC 2019
- THE MAXIMUM ILLUMINATION POWER DENSITY (W/m²) OF THE DEVELOPMENT TO MEET THE REQUIREMENTS OF NCC 2019
- LIGHTING SENSORS FOR EXTERNAL LIGHTING (MOTION DETECTORS, TIMERS ETC).
- 4KW (16 PANELS) SOLAR PV SYSTEM ON THE ROOF OF THE DEVELOPMENT
- CO₂ SENSORS FOR CAR PARK VENTILATION

INDOOR ENVIRONMENT QUALITY

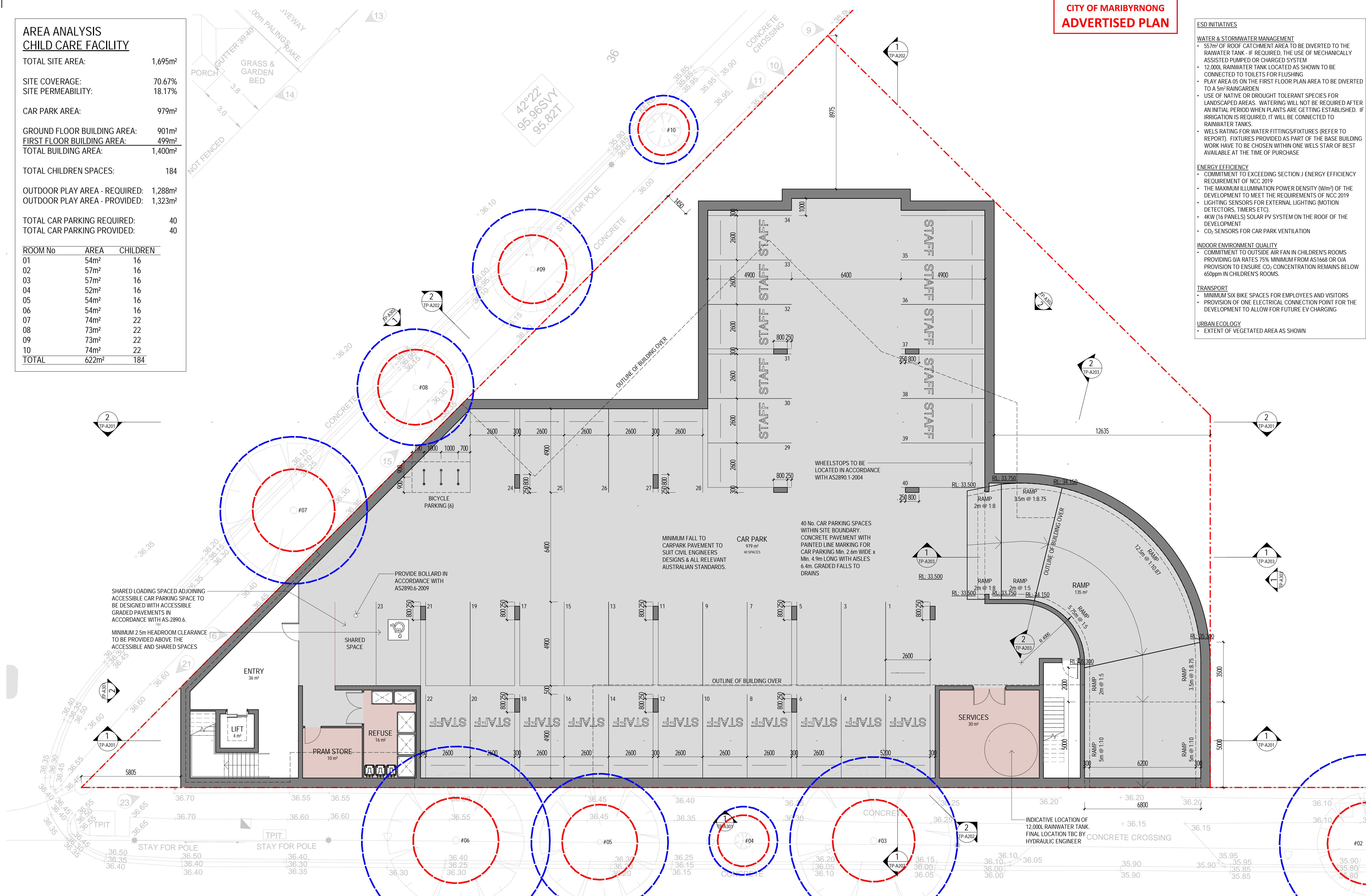
- COMMITMENT TO OUTSIDE AIR FAN IN CHILDREN'S ROOMS PROVIDING: OIA RATES 75% MINIMUM FROM AS1668 OR OIA PROVISION TO ENSURE CO₂ CONCENTRATION REMAINS BELOW 650ppm IN CHILDREN'S ROOMS.

TRANSPORT

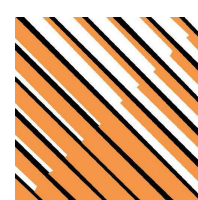
- MINIMUM SIX BIKE SPACES FOR EMPLOYEES AND VISITORS
- PROVISION OF ONE ELECTRICAL CONNECTION POINT FOR THE DEVELOPMENT TO ALLOW FOR FUTURE EV CHARGING

URBAN ECOLOGY

- EXTENT OF VEGETATED AREA AS SHOWN



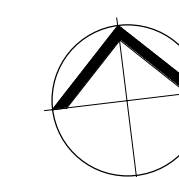
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PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
PROPOSED BASEMENT FLOOR PLAN

Date. 21.02.23 Drawn. TM
Job No. 3130 Scale@A1 1 : 100

TP-A102 P1

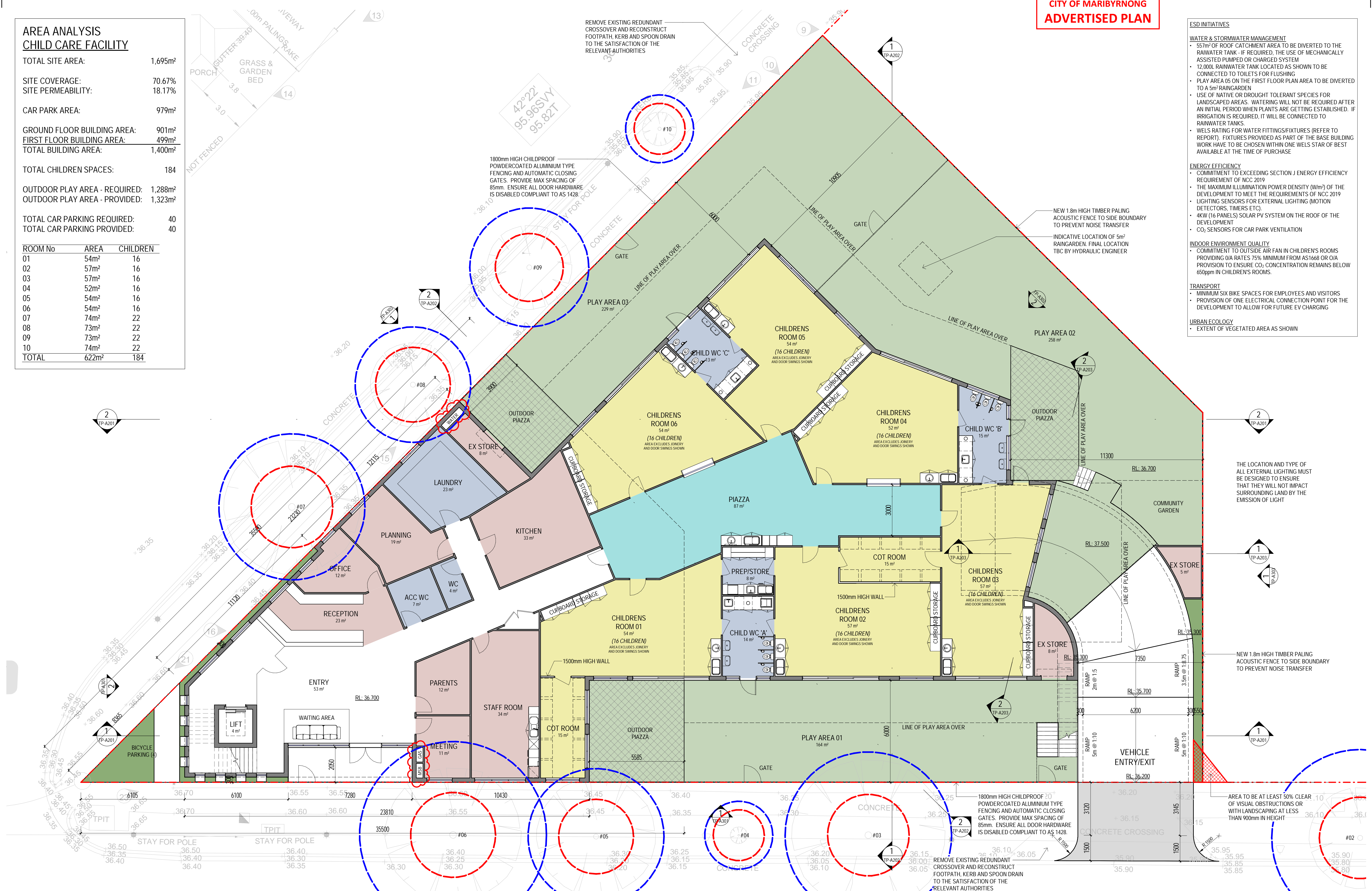
AREA ANALYSIS
CHILD CARE FACILITY

TOTAL SITE AREA:	1,695m ²
SITE COVERAGE:	70.67%
SITE PERMEABILITY:	18.17%
CAR PARK AREA:	979m ²
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TOTAL CHILDREN SPACES:	184
OUTDOOR PLAY AREA - REQUIRED:	1,288m ²
OUTDOOR PLAY AREA - PROVIDED:	1,323m ²
TOTAL CAR PARKING REQUIRED:	40
TOTAL CAR PARKING PROVIDED:	40

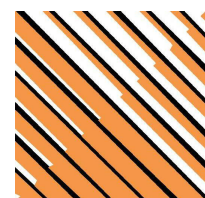
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06	54m ²	16
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09	73m ²	22
10	74m ²	22
TOTAL	622m ²	184

CITY OF MARIBYRNONG
ADVERTISED PLAN

- ESD INITIATIVES**
- WATER & STORMWATER MANAGEMENT**
- 557m² OF ROOF CATCHMENT AREA TO BE DIVERTED TO THE RAINWATER TANK - IF REQUIRED, THE USE OF MECHANICALLY ASSISTED PUMPED OR CHARGED SYSTEM
 - 12,000L RAINWATER TANK LOCATED AS SHOWN TO BE CONNECTED TO TOILETS FOR FLUSHING
 - PLAY AREA 05 ON THE FIRST FLOOR PLAN AREA TO BE DIVERTED TO A 5m² RAINGARDEN
 - USE OF NATIVE OR DROUGHT TOLERANT SPECIES FOR LANDSCAPED AREAS. WATERING WILL NOT BE REQUIRED AFTER AN INITIAL PERIOD WHEN PLANTS ARE GETTING ESTABLISHED. IF IRRIGATION IS REQUIRED, IT WILL BE CONNECTED TO RAINWATER TANKS.
 - WELS RATING FOR WATER FITTINGS/FIXTURES (REFER TO REPORT). FIXTURES PROVIDED AS PART OF THE BASE BUILDING WORK HAVE TO BE CHOSEN WITHIN ONE WELS STAR OF BEST AVAILABLE AT THE TIME OF PURCHASE
- ENERGY EFFICIENCY**
- COMMITMENT TO EXCEEDING SECTION J ENERGY EFFICIENCY REQUIREMENT OF NCC 2019
 - THE MAXIMUM ILLUMINATION POWER DENSITY (W/m²) OF THE DEVELOPMENT TO MEET THE REQUIREMENTS OF NCC 2019
 - LIGHTING SENSORS FOR EXTERNAL LIGHTING (MOTION DETECTORS, TIMERS ETC).
 - 4KW (16 PANELS) SOLAR PV SYSTEM ON THE ROOF OF THE DEVELOPMENT
 - CO₂ SENSORS FOR CAR PARK VENTILATION
- INDOOR ENVIRONMENT QUALITY**
- COMMITMENT TO OUTSIDE AIR FAN IN CHILDREN'S ROOMS PROVIDING O/A RATES 75% MINIMUM FROM AS1668 OR O/A PROVISION TO ENSURE CO₂ CONCENTRATION REMAINS BELOW 650ppm IN CHILDREN'S ROOMS.
- TRANSPORT**
- MINIMUM SIX BIKE SPACES FOR EMPLOYEES AND VISITORS
 - PROVISION OF ONE ELECTRICAL CONNECTION POINT FOR THE DEVELOPMENT TO ALLOW FOR FUTURE EV CHARGING
- URBAN ECOLOGY**
- EXTENT OF VEGETATED AREA AS SHOWN



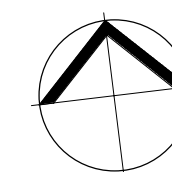
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PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
PROPOSED GROUND FLOOR PLAN

Date: 23.05.23 Drawn: TM
Job No. 3130 Scale@A1 1 : 100

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TP-A103 P2

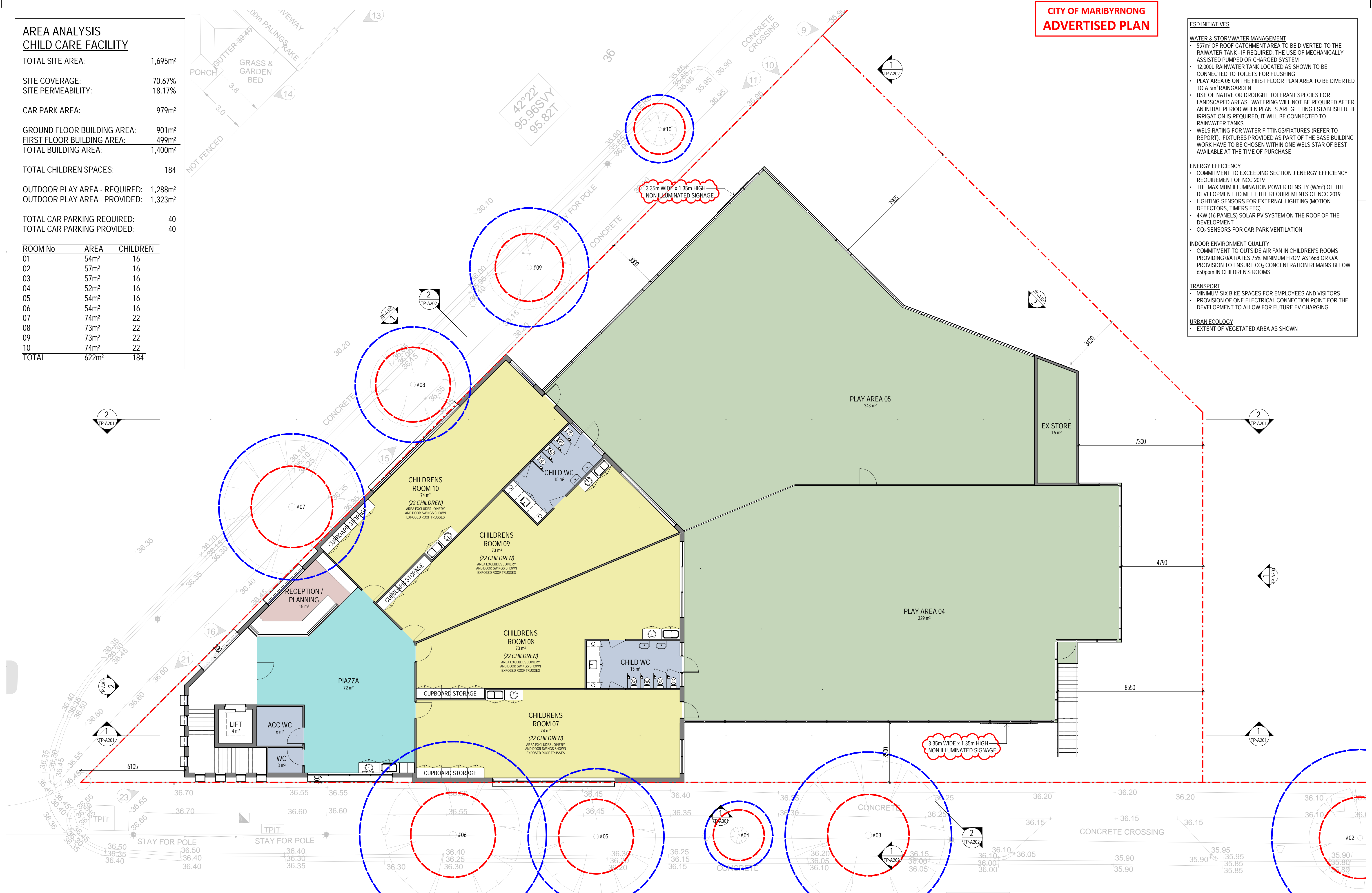
AREA ANALYSIS
CHILD CARE FACILITY

TOTAL SITE AREA:	1,695m ²
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SITE PERMEABILITY:	18.17%
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OUTDOOR PLAY AREA - REQUIRED:	1,288m ²
OUTDOOR PLAY AREA - PROVIDED:	1,323m ²
TOTAL CAR PARKING REQUIRED:	40
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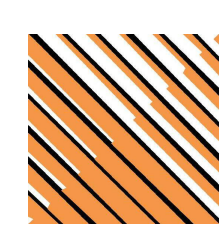
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TOTAL	622m ²	184

CITY OF MARIBYRNONG
ADVERTISED PLAN

- ESD INITIATIVES**
- WATER & STORMWATER MANAGEMENT**
- 557m² OF ROOF CATCHMENT AREA TO BE DIVERTED TO THE RAINWATER TANK - IF REQUIRED, THE USE OF MECHANICALLY ASSISTED PUMPED OR CHARGED SYSTEM
 - 12,000L RAINWATER TANK LOCATED AS SHOWN TO BE CONNECTED TO TOILETS FOR FLUSHING
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 - WELS RATING FOR WATER FITTINGS/FIXTURES (REFER TO REPORT). FIXTURES PROVIDED AS PART OF THE BASE BUILDING WORK HAVE TO BE CHOSEN WITHIN ONE WELS STAR OF BEST AVAILABLE AT THE TIME OF PURCHASE
- ENERGY EFFICIENCY**
- COMMITMENT TO EXCEEDING SECTION J ENERGY EFFICIENCY REQUIREMENT OF NCC 2019
 - THE MAXIMUM ILLUMINATION POWER DENSITY (W/m²) OF THE DEVELOPMENT TO MEET THE REQUIREMENTS OF NCC 2019
 - LIGHTING SENSORS FOR EXTERNAL LIGHTING (MOTION DETECTORS, TIMERS ETC).
 - 4KW (16 PANELS) SOLAR PV SYSTEM ON THE ROOF OF THE DEVELOPMENT
 - CO₂ SENSORS FOR CAR PARK VENTILATION
- INDOOR ENVIRONMENT QUALITY**
- COMMITMENT TO OUTSIDE AIR FAN IN CHILDREN'S ROOMS PROVIDING O/A RATES 75% MINIMUM FROM AS1668 OR O/A PROVISION TO ENSURE CO₂ CONCENTRATION REMAINS BELOW 650ppm IN CHILDREN'S ROOMS.
- TRANSPORT**
- MINIMUM SIX BIKE SPACES FOR EMPLOYEES AND VISITORS
 - PROVISION OF ONE ELECTRICAL CONNECTION POINT FOR THE DEVELOPMENT TO ALLOW FOR FUTURE EV CHARGING
- URBAN ECOLOGY**
- EXTENT OF VEGETATED AREA AS SHOWN



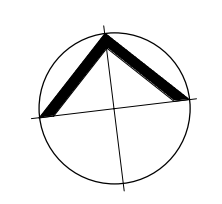
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PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
PROPOSED FIRST FLOOR PLAN
Date: 23.05.23 Drawn: TM
Job No. 3130 Scale@A1 1 : 100
C:\Users\Hui\Documents\3130 Central TP_somaCBWPH.rvt

TP-A104 P2

AREA ANALYSIS
CHILD CARE FACILITY

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CITY OF MARIBYRNONG
ADVERTISED PLAN

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INDOOR ENVIRONMENT QUALITY

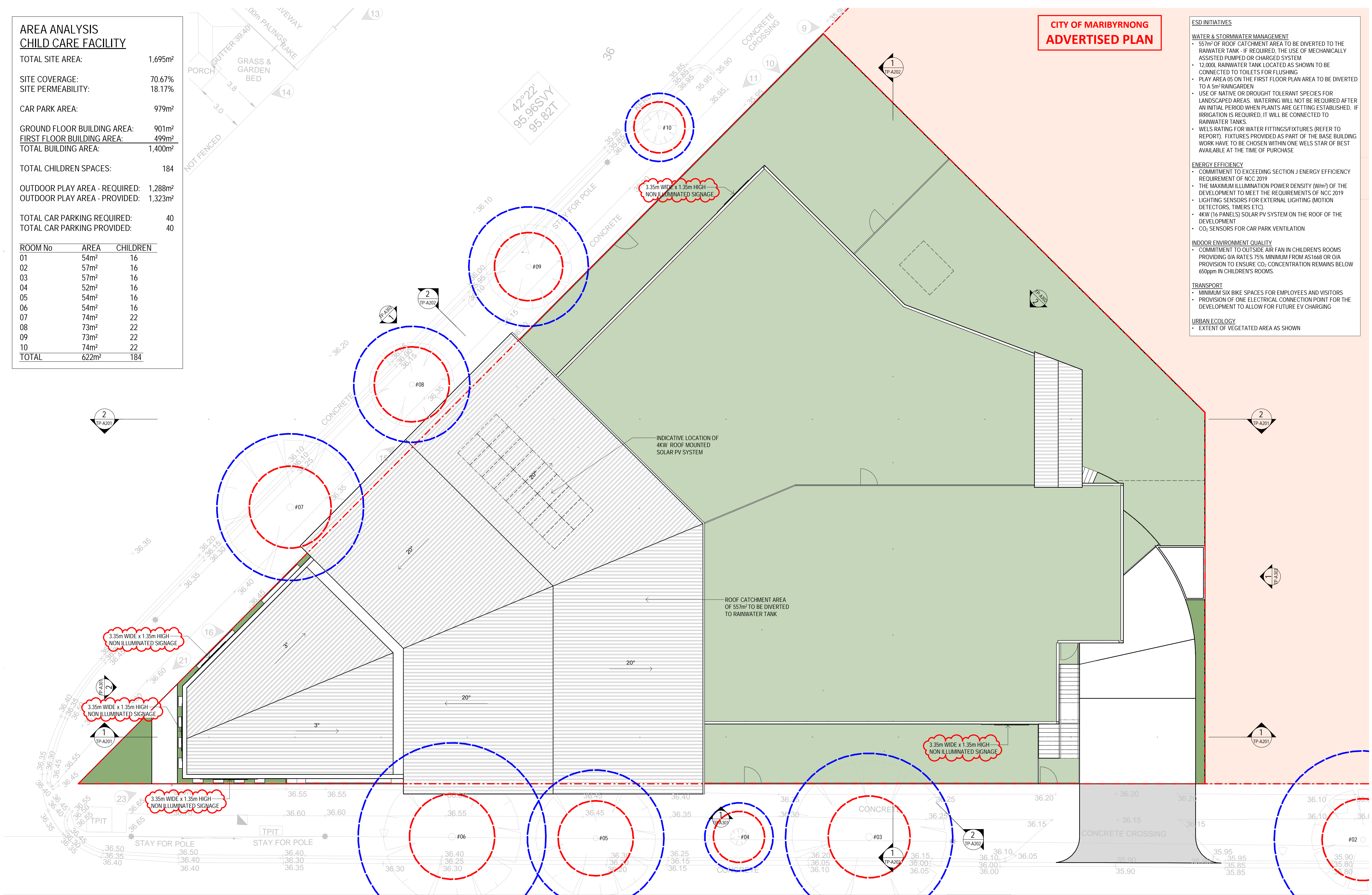
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TRANSPORT

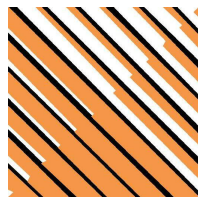
- MINIMUM SIX BIKE SPACES FOR EMPLOYEES AND VISITORS
- PROVISION OF ONE ELECTRICAL CONNECTION POINT FOR THE DEVELOPMENT TO ALLOW FOR FUTURE EV CHARGING

URBAN ECOLOGY

- EXTENT OF VEGETATED AREA AS SHOWN



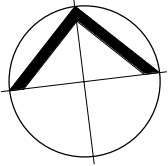
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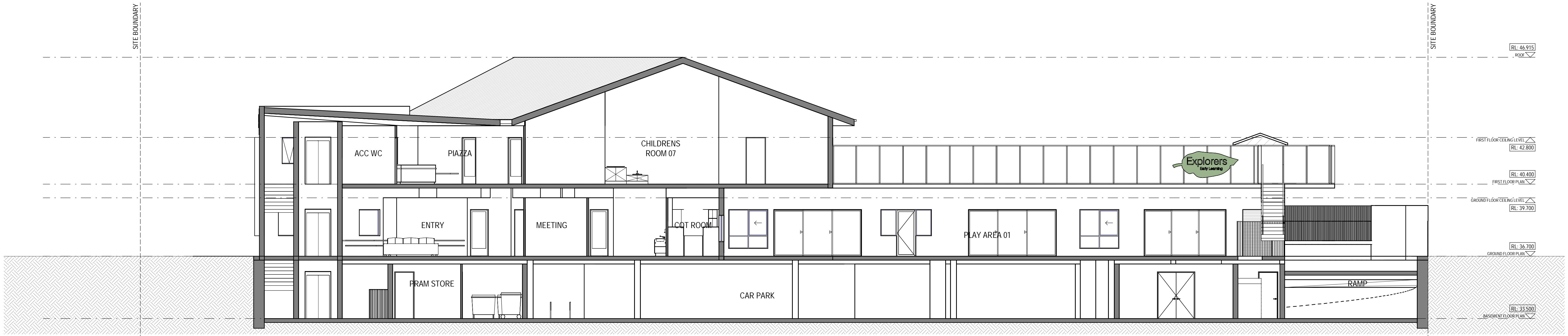


PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
PROPOSED ROOF PLAN

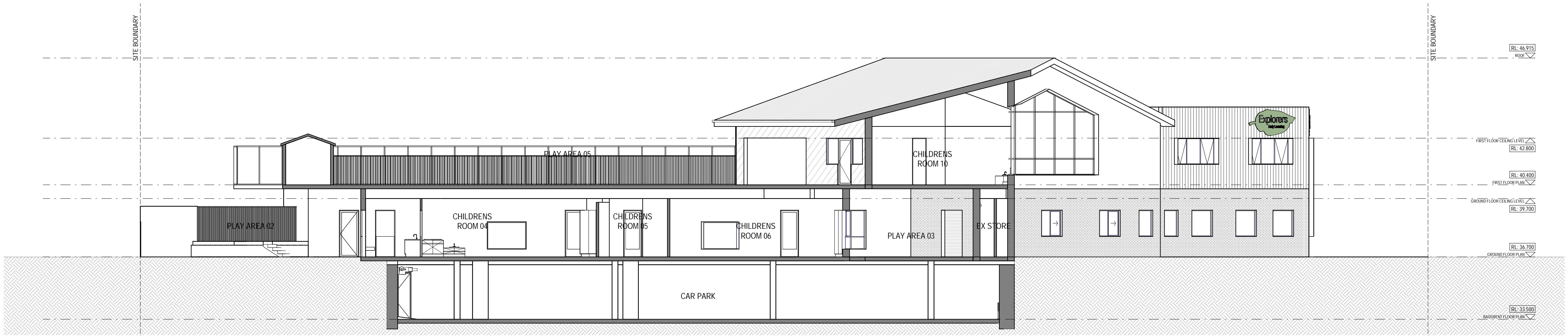
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Job No. 3130 Scale@A1 1 : 100

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TP-A105 P2

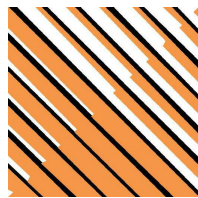


1 SECTION 1
A105 1:100



2 SECTION 2
A105 1:100

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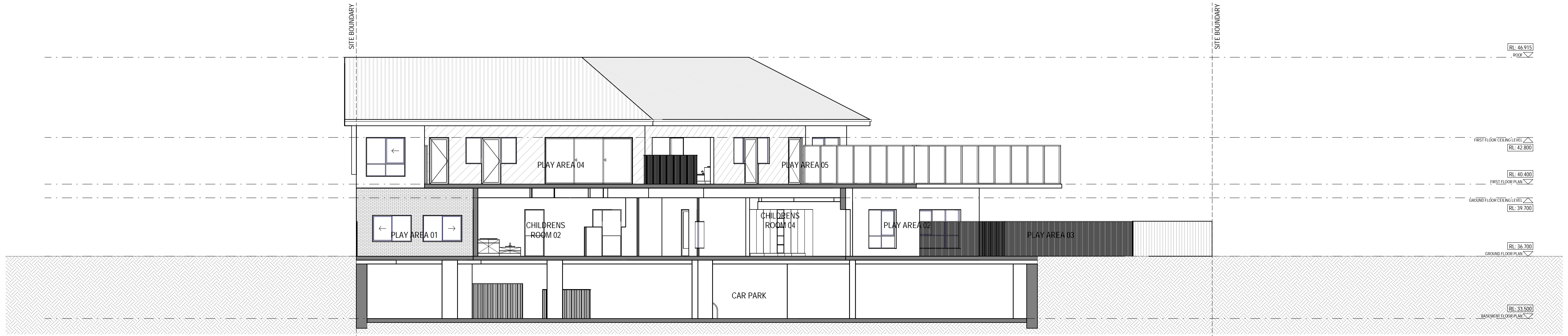
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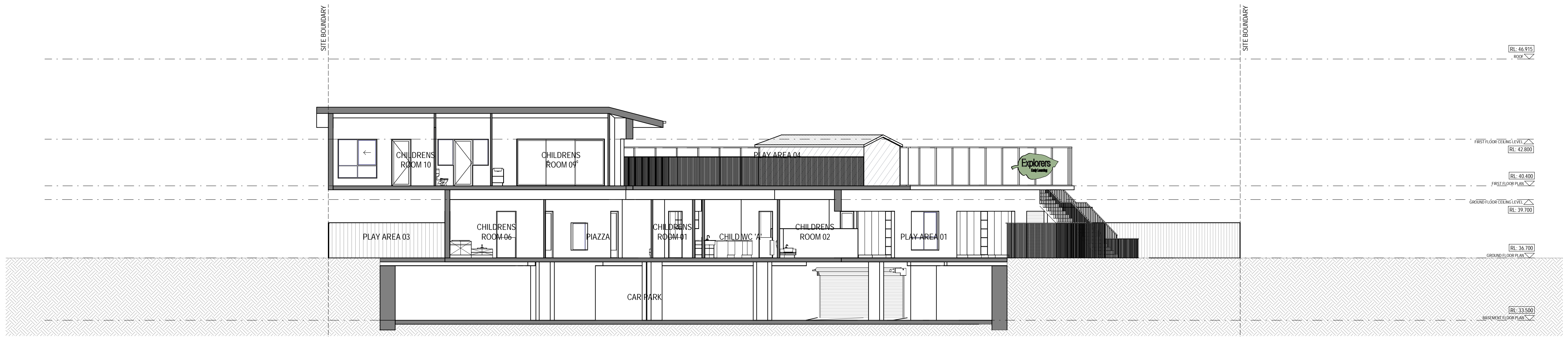
PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
PROPOSED SECTIONS

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TP-A201 P1

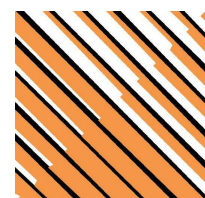


1 SECTION 3
A105/ 1 : 100



2 SECTION 4
A105/ 1 : 100

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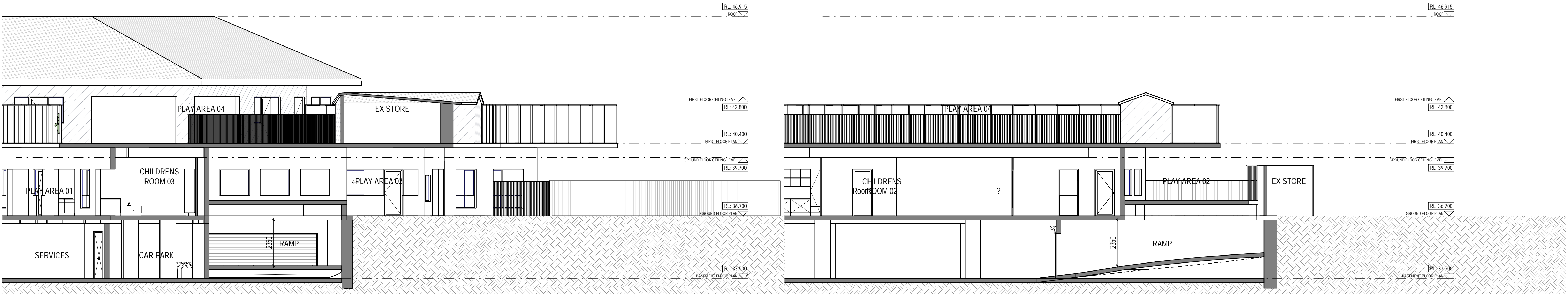


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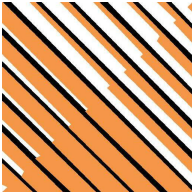
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MAIDSTONE, VIC 3012
PROPOSED SECTIONS
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Job No. 3130 Scale@A1 1 : 100
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2 SECTION 6
A105 1 : 100

1 SECTION 5
A105 1 : 100

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PROPOSED SECTIONS
Date. 21.02.23 Drawn. TM
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1 SOUTH ELEVATION
A105/ 1 : 100

FINISHES SCHEDULE	
1	BRICK LOOK CLADDING - RED TONES
2	STANDING SEAM METAL CLADDING - BLACK
3	LIGHT WEIGHT CLADDING - TIMBER LOOK
4	LIGHT WEIGHT CLADDING - GREY
5	LIGHTWEIGHT CLADDING - BEIGE
6	WINDOW/DOOR FRAMES - BLACK
7	METAL ROOF SHEETING - LIGHT GREY
8	CLEAR GLAZING - 100% TRANSPARENCY
9	PLAY AREA FENCING - 30% TRANSPARENCY



2 WEST ELEVATION
A105/ 1 : 100

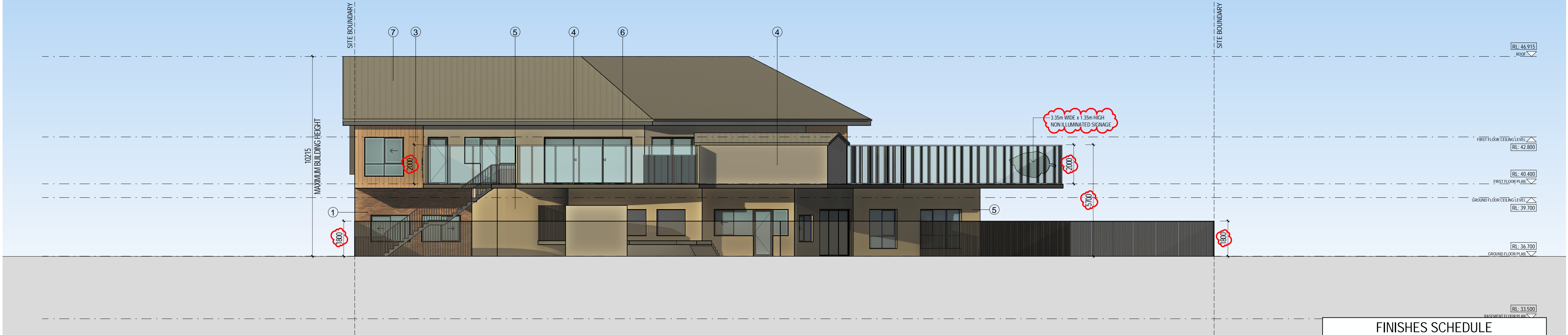


1 NORTH WEST ELEVATION
A105/ 1 : 100

FINISHES SCHEDULE		
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	3	LIGHT WEIGHT CLADDING - TIMBER LOOK
	4	LIGHT WEIGHT CLADDING - GREY
	5	LIGHTWEIGHT CLADDING - BEIGE
	6	WINDOW/DOOR FRAMES - BLACK
	7	METAL ROOF SHEETING - LIGHT GREY
	8	CLEAR GLAZING - 100% TRANSPARENCY
	9	PLAY AREA FENCING - 30% TRANSPARENCY

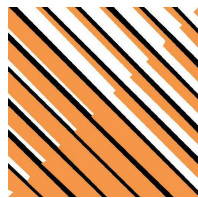


2 NORTH EAST ELEVATION
A105/ 1 : 100



FINISHES SCHEDULE

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3	LIGHT WEIGHT CLADDING - TIMBER LOOK
4	LIGHT WEIGHT CLADDING - GREY
5	LIGHTWEIGHT CLADDING - BEIGE
6	WINDOW/DOOR FRAMES - BLACK
7	METAL ROOF SHEETING - LIGHT GREY
8	CLEAR GLAZING - 100% TRANSPARENCY
9	PLAY AREA FENCING - 30% TRANSPARENCY



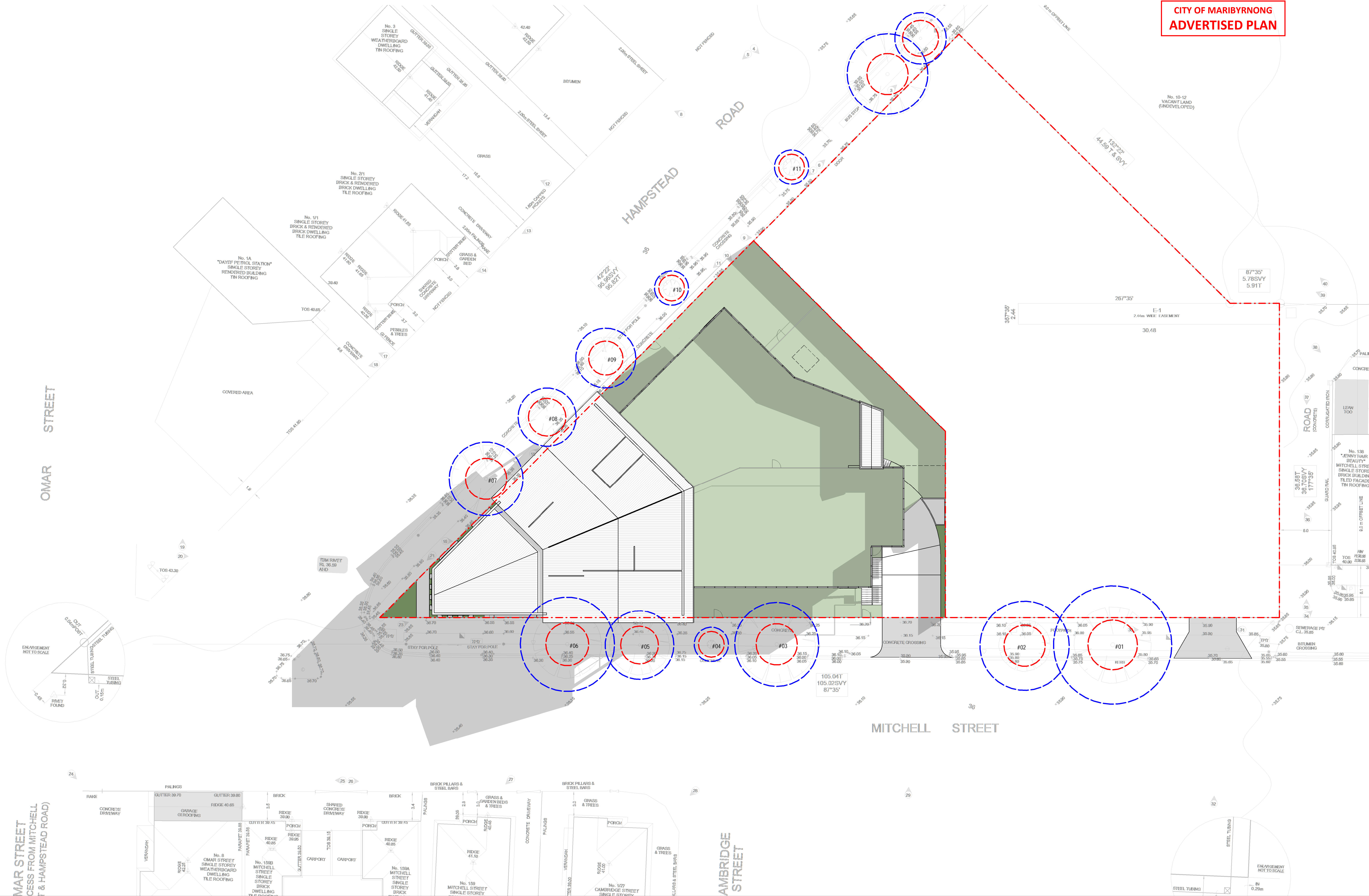
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PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
PROPOSED ELEVATIONS

Date. 23.05.23 Drawn. TM
Job No. 3130 Scale@A1 1 : 100

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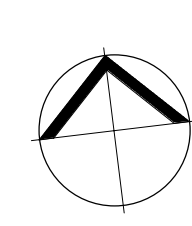
CITY OF MARIBYRNONG
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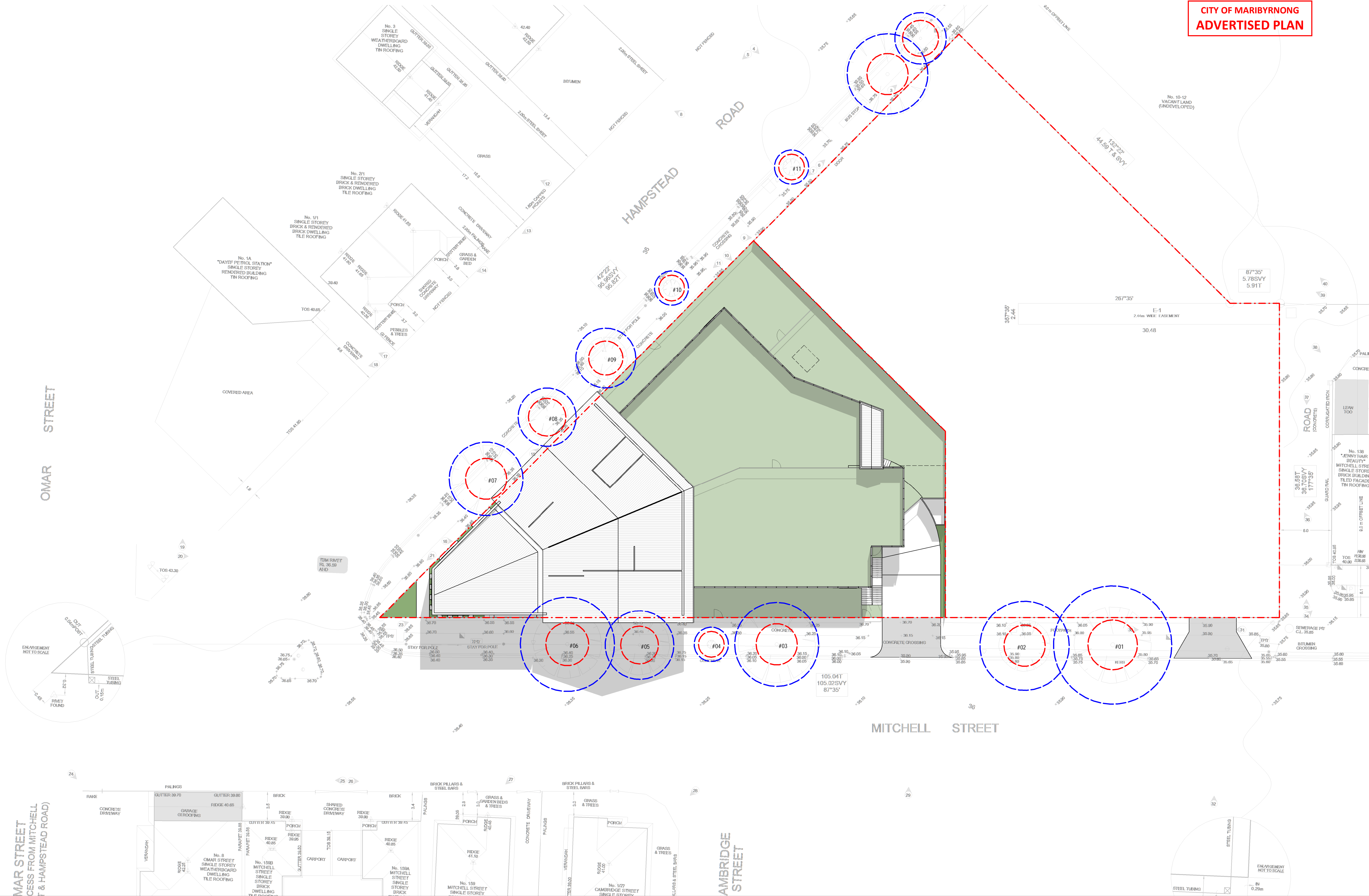
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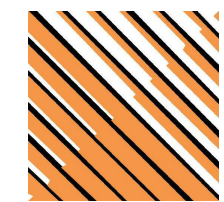
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PROPOSED COMMERCIAL DEVELOPMENT
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MAIDSTONE, VIC 3012
SHADOW DIAGRAM - 9AM SEPTEMBER EQUINOX
Date: 16.06.23 Drawn: TM
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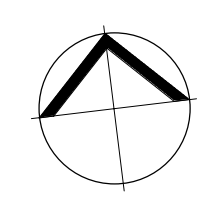
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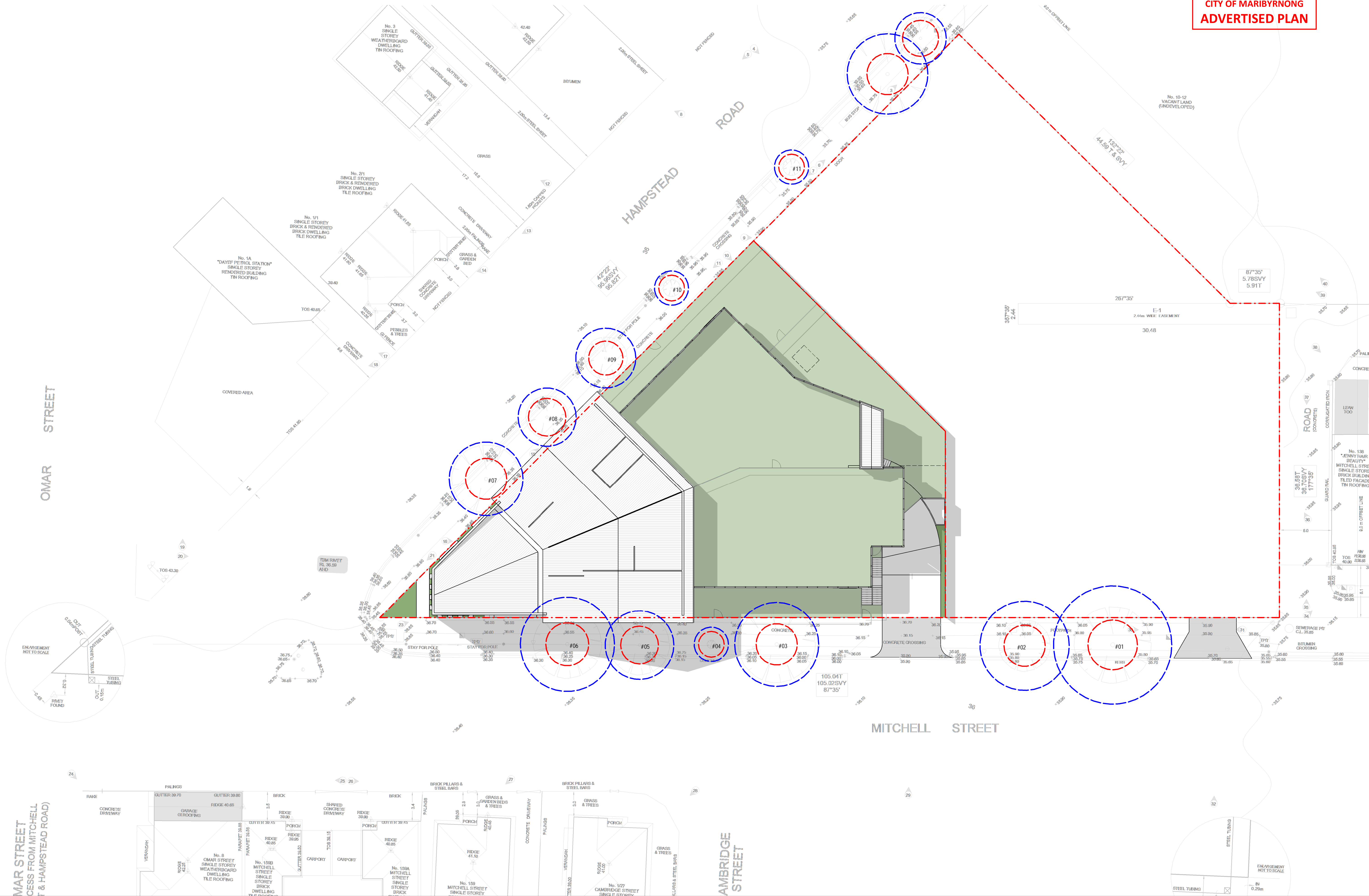
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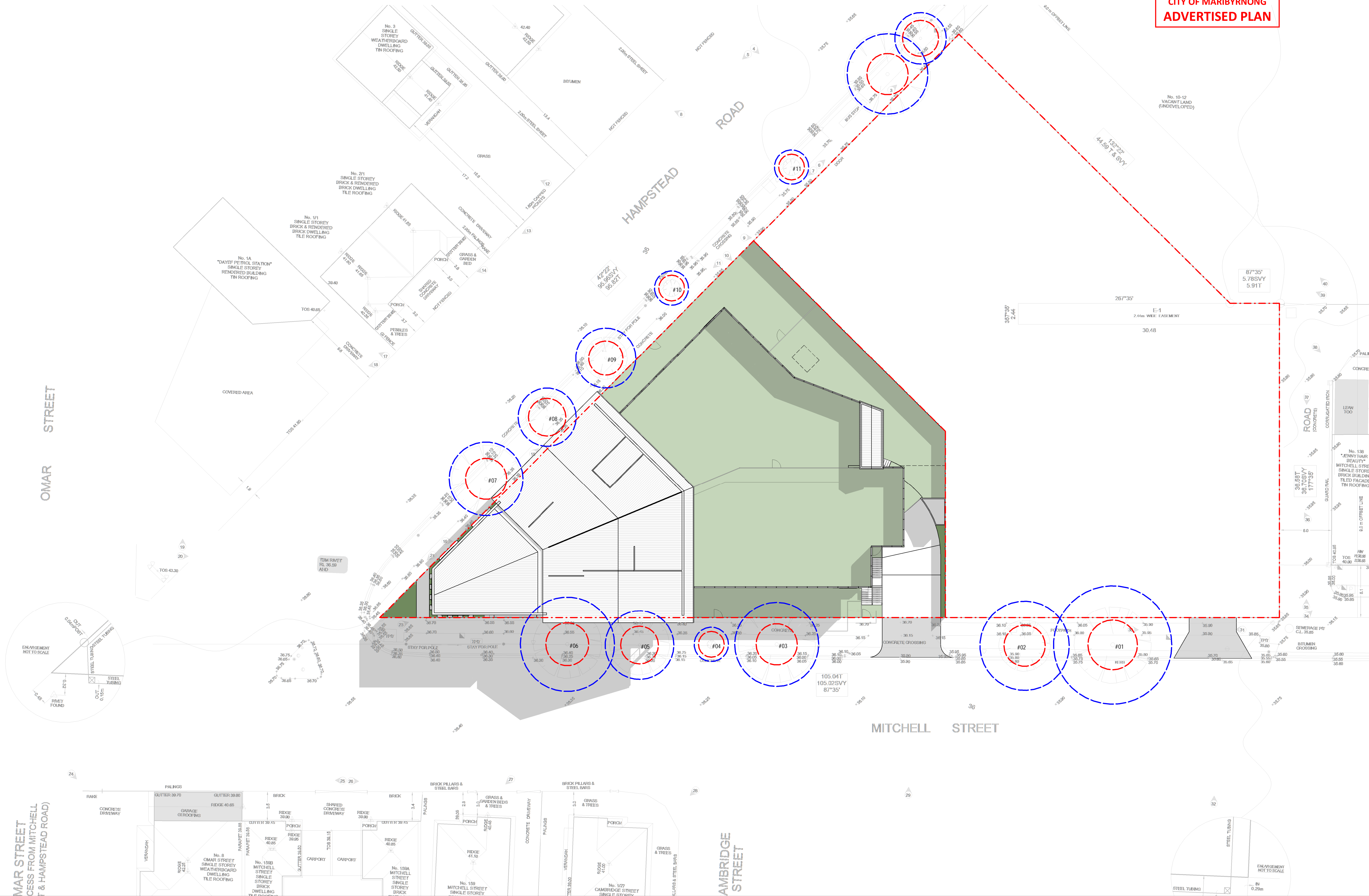
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PROPOSED COMMERCIAL DEVELOPMENT
2-8 HAMPSTEAD ROAD,
MAIDSTONE, VIC 3012
SHADOW DIAGRAM - 12PM SEPTEMBER EQUINOX
Date: 16.06.23 Drawn: TM
Job No. 3130 Scale@A1 1 : 200
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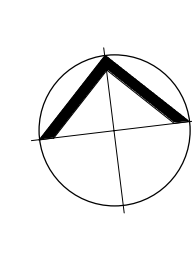


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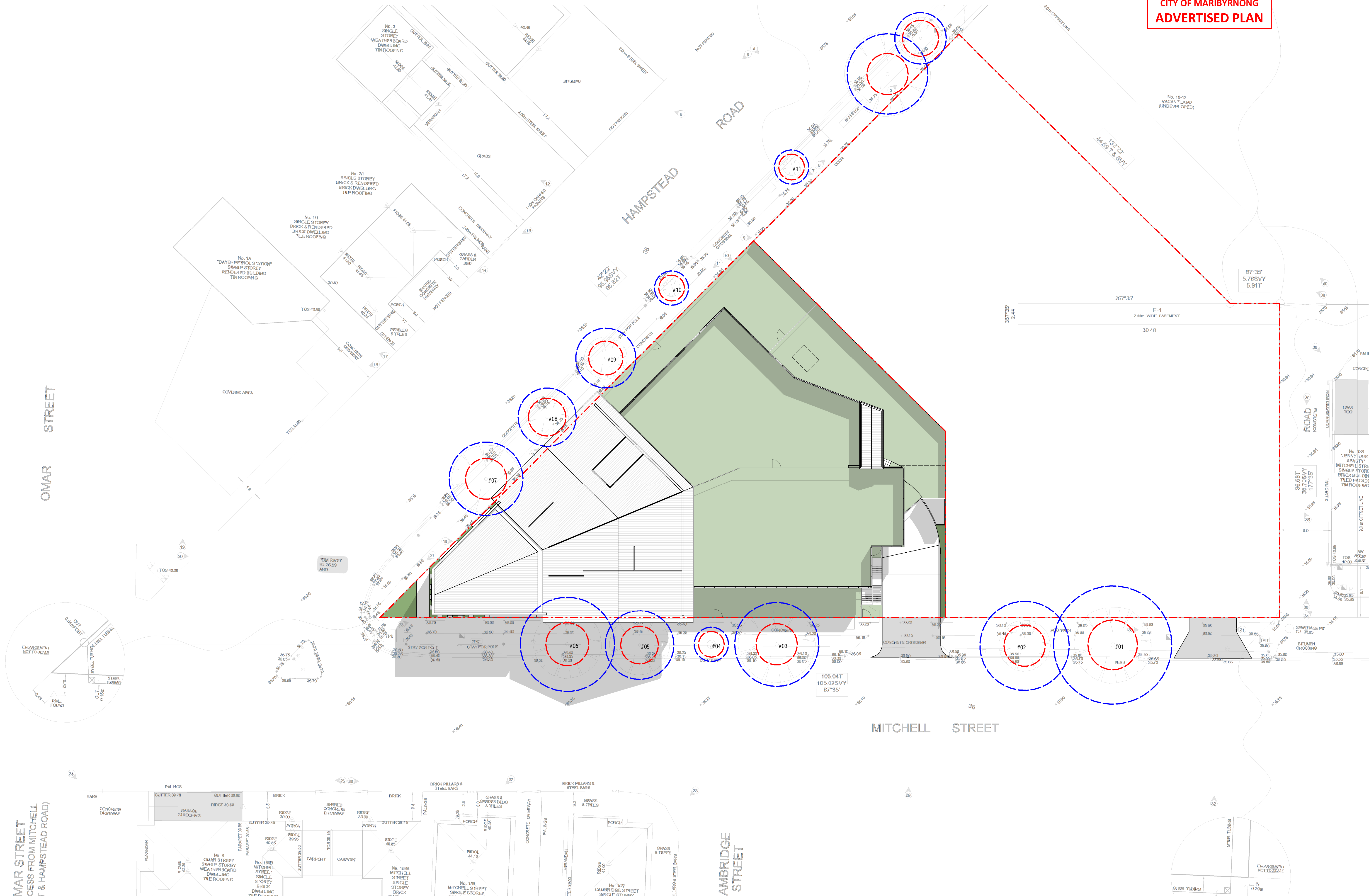
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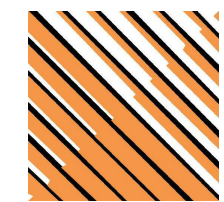
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SHADOW DIAGRAM - 10AM SEPTEMBER EQUINOX
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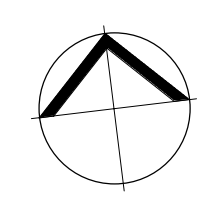
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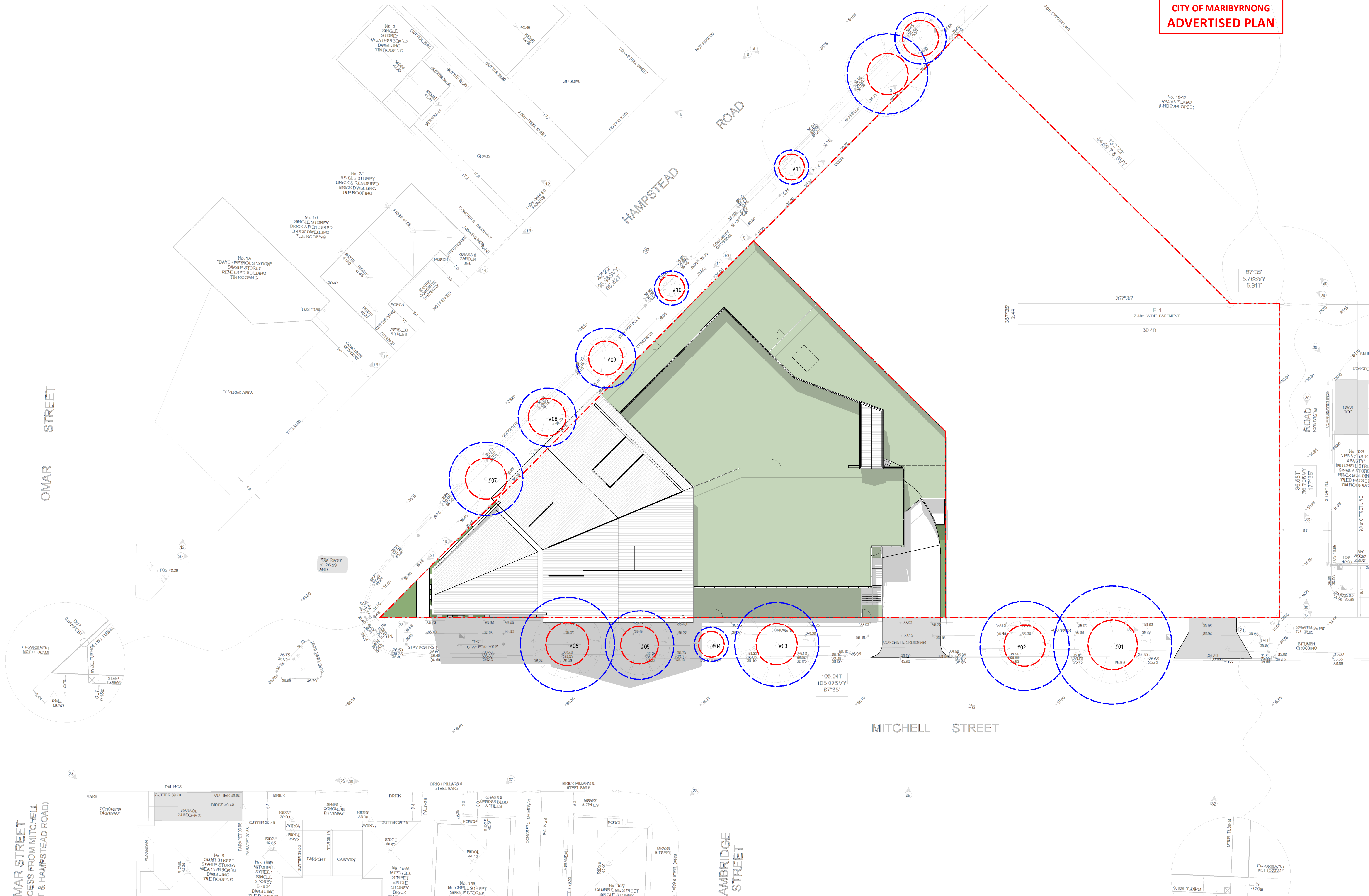
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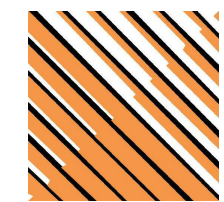
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SHADOW DIAGRAM - 11AM SEPTEMBER EQUINOX
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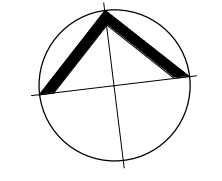
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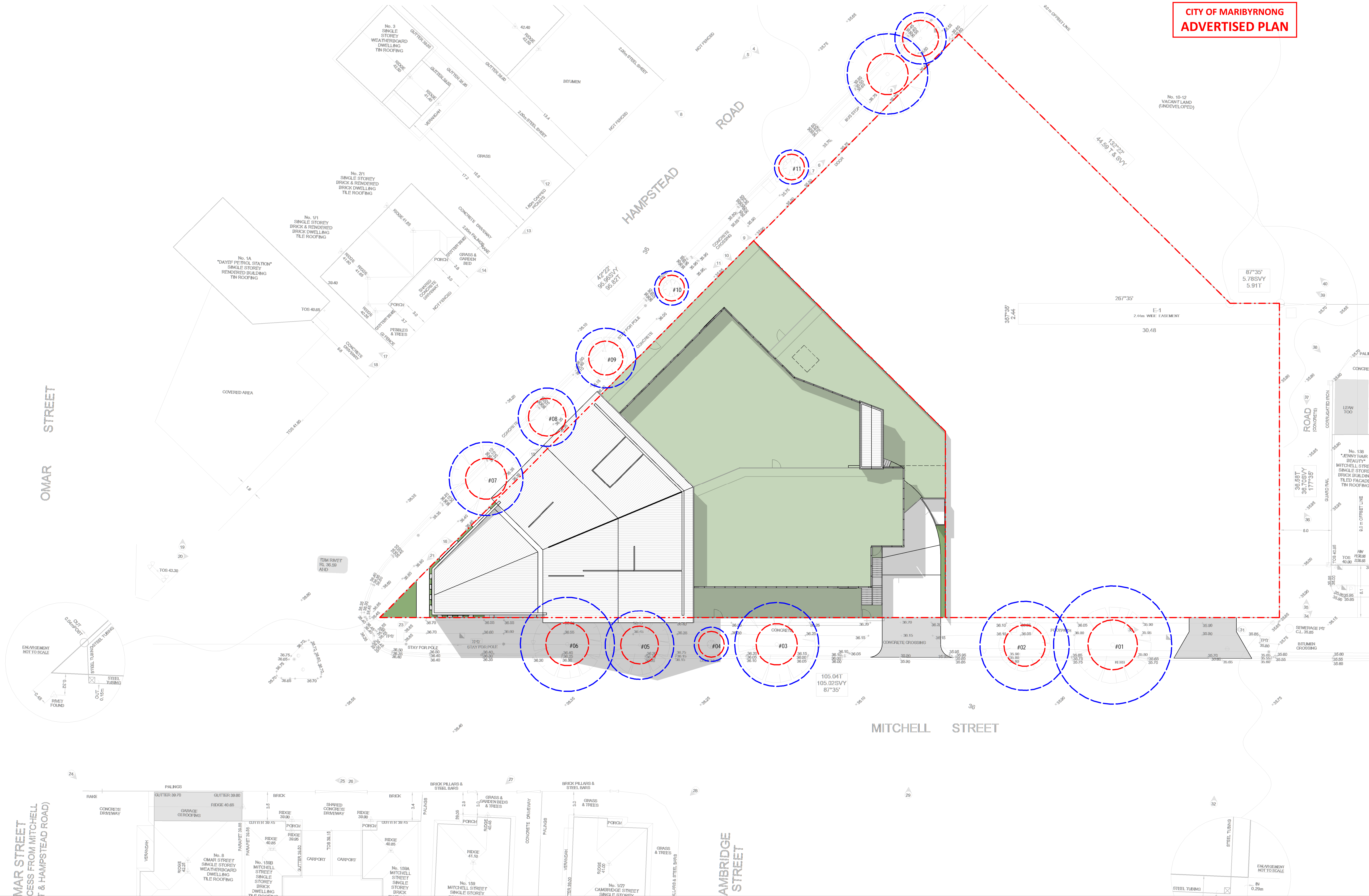
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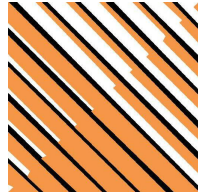
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SHADOW DIAGRAM - 1PM SEPTEMBER EQUINOX
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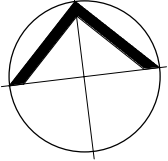
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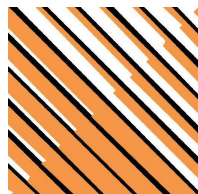
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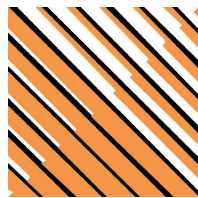


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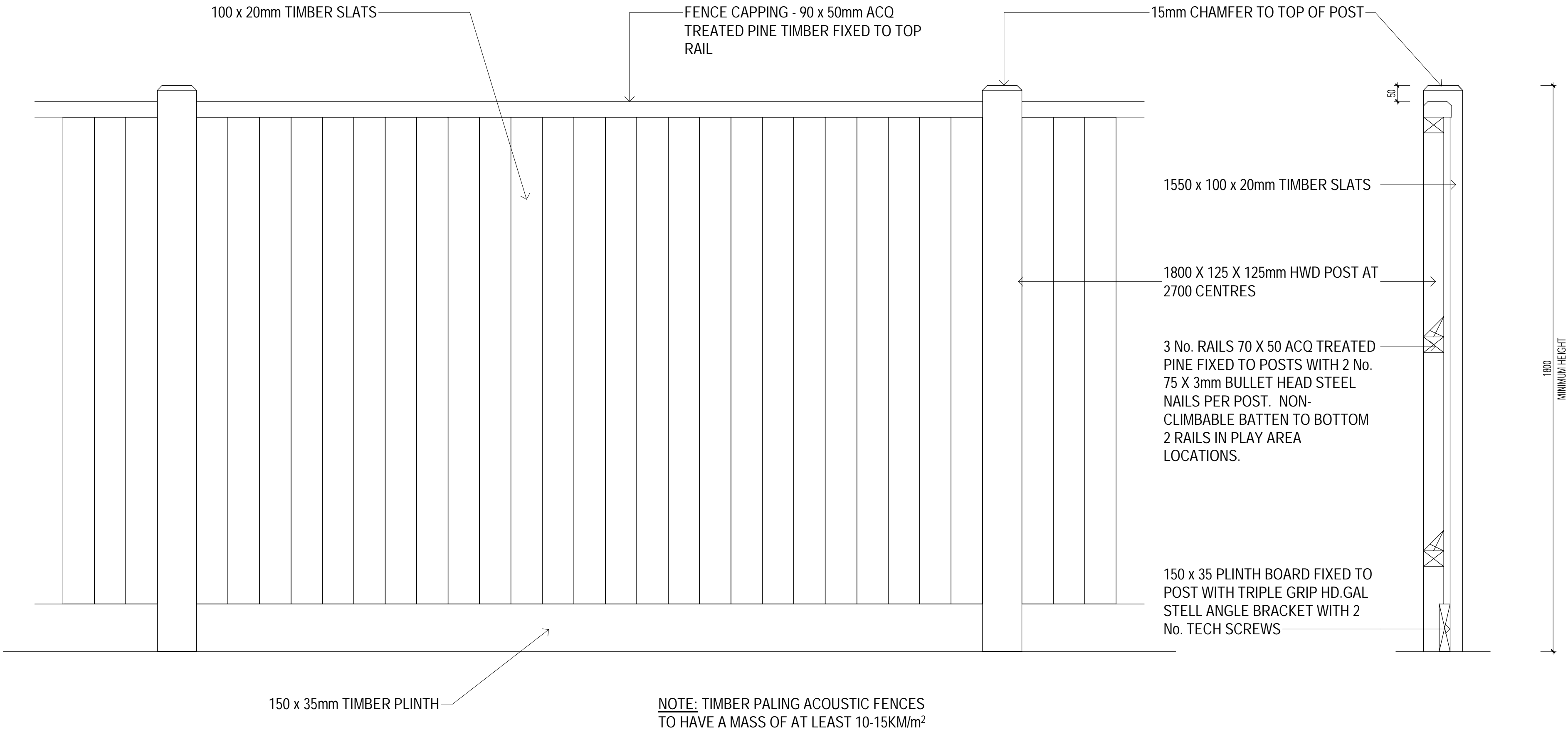




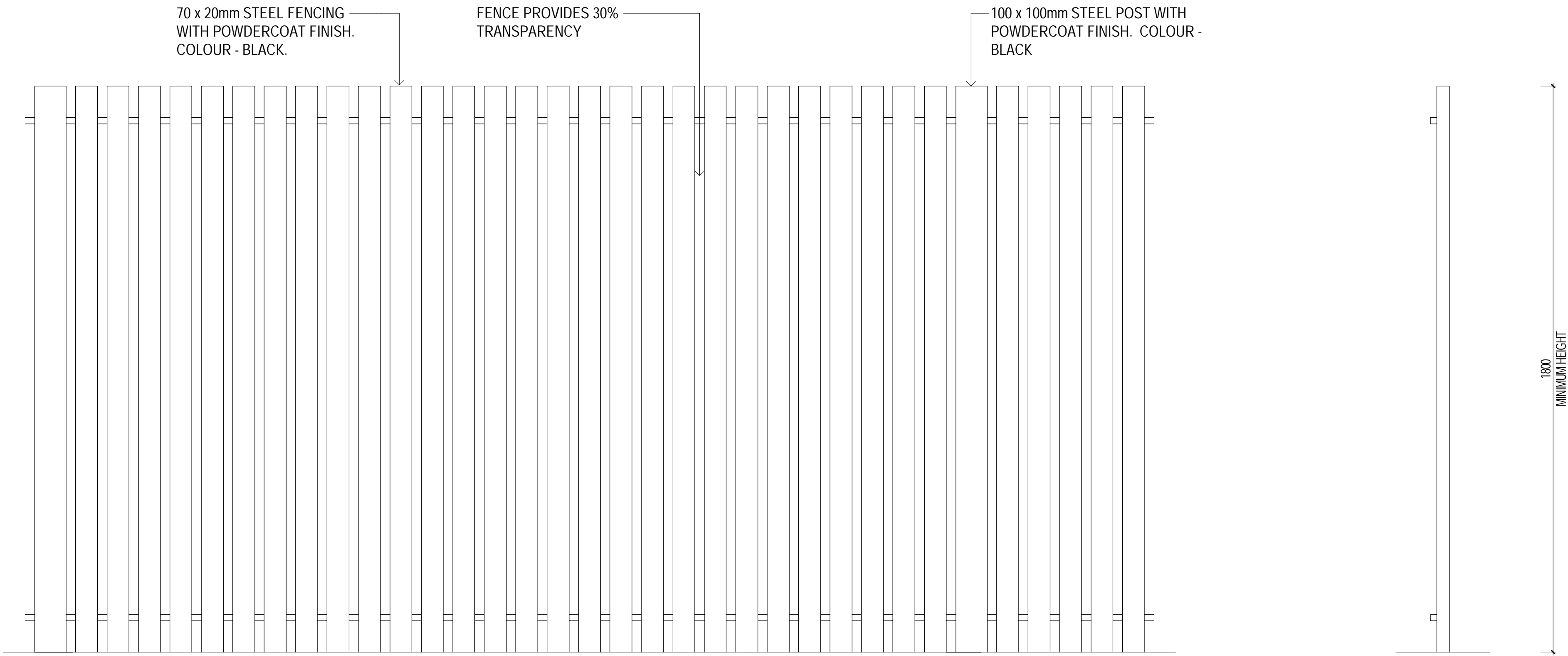


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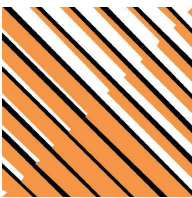
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2 REAR FENCE DETAIL
1 : 10



1 PLAY AREA FENCE DETAIL
1 : 10



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